



**Town of Aurora
Committee of Adjustment
Meeting Agenda**

Date: Thursday, August 14, 2025
Time: 7 p.m.
Location: Video Conference

Meetings are available to the public via live stream on the [Town's YouTube channel](#). To participate electronically, please visit aurora.ca/participation.

	Pages
1. Call to Order	
2. Appointment of Secretary-Treasurer	
3. Land Acknowledgement	
4. Approval of the Agenda	
That the Agenda as circulated by the Secretary-Treasurer be approved.	
5. Declarations of Pecuniary Interest and General Nature Thereof	
6. Receipt of the Minutes	
6.1 Committee of Adjustment Meeting Minutes of July 10, 2025, Meeting Number 25-07	1
That the Committee of Adjustment Minutes from Meeting Number 25-07 be adopted as circulated.	
7. Presentation of Applications	
7.1 MV-2025-30 - Shabahang - 77 Aurora Heights	4
7.2 MV-2025-29 - Manassis - 23 Cady Court	23
7.3 MV-2025-31 - Ben Walker Ltd. - 205 Industrial Parkway N	35
7.4 C-2023-06 - Tangreda - 20 Oak Court	44
7.5 MV-2025-28 - El-Dassouki - 7 Steeplechase	54

8. **New Business**

9. **Adjournment**



Town of Aurora
Committee of Adjustment
Meeting Minutes

Date: Thursday, July 10, 2025

Time: 7 p.m.

Location: Video Conference

Committee Members: John Hartman
Maricella Saucedo
Alida Tari (Chair)
Michael Visconti (Vice Chair)
Klaudia Watts

Other Attendees: Antonio Greco, Senior Planner
Peter Fan, Secretary-Treasurer, Committee of Adjustment

1. Call to Order

The Chair called the meeting to order at 7:04 p.m.

2. Land Acknowledgement

The Committee acknowledged that the meeting took place on Anishinaabe lands, the traditional and treaty territory of the Chippewas of Georgina Island, recognizing the many other Nations whose presence here continues to this day, the special relationship the Chippewas have with the lands and waters of this territory, and that Aurora has shared responsibility for the stewardship of these lands and waters. It was noted that Aurora is part of the treaty lands of the Mississaugas and Chippewas, recognized through Treaty #13 and the Williams Treaties of 1923.

3. Approval of the Agenda

Moved by Maricella Saucedo

Seconded by Klaudia Watts

That the Agenda as circulated by the Secretary-Treasurer be approved.

Carried

4. Declarations of Pecuniary Interest and General Nature Thereof

There were no declarations of pecuniary interest under the *Municipal Conflict of Interest Act, R.S.O. 1990, c. M.50*.

5. Receipt of the Minutes

5.1 Committee of Adjustment Meeting Minutes of June 12, 2025, Meeting Number 25-06

Moved by Klaudia Watts

Seconded by Michael Visconti

That the Committee of Adjustment Minutes from Meeting Number 25-06 be adopted as circulated.

Carried

6. Presentation of Applications

6.1 MV-2025-28 - El-Dassouki - 7 Steeplechase (Deferral)

Planning Staff are requesting a deferral of the above noted minor variance application for 7 Steeplechase Avenue (MV-2025-28).

Additional time is required for the applicant to submit a scoped Natural Heritage Evaluation (NHE) for staff to review the subject application.

Moved by Michael Visconti

Seconded by Klaudia Watts

That the Minor Variance application MV-2025-28 be DEFERRED.

Carried

6.2 MV-2025-15 to 20 and 22 to 27- Highfair Investments Inc - All of Lots 20 – 31, Plan 65M-4836

The owner/applicant is requesting relief from the requirements of the Town's Comprehensive Zoning By-law 6000-17, as amended, to facilitate the development of detached dwellings. The following relief is being requested:

1. Section 24.546.2.1 requires a minimum interior side yard of 1.2 metres on both interior side yards. The applicant is proposing an interior side yard setback of 1.2 metres on one side, and 0.65 metres on the other side.

The Chair invited the Applicant or Owner to address the Committee. In attendance was the Angela Sciberras The agent provided a brief introduction to their application.

The Chair invited members of the public to provide comments. There were no public delegates in attendance for this application.

The Committee had inquired to the agent on whether the 0.65m will affect the eavestroughs of the roof from either side.

Moved by Michael Visconti

Seconded by Klaudia Watts

That the Minor Variance application MV-2025-15 to 20 and 22 to 27 be APPROVED.

Carried

7. New Business

None.

8. Adjournment

Moved by Michael Visconti

That the meeting be adjourned at 7:19PM

Carried



100 John West Way
Aurora, Ontario
L4G 6J1
(905) 727-3123
aurora.ca

Town of Aurora

Committee of Adjustment Report

No. MV-2025-30

Subject: **Minor Variance Application**
 Mohammad Hossein Shabahang
 77 Aurora Heights Dr, Aurora, ON L4G2X1
 PLAN 475 LOT 320
 File: MV-2025-30

Prepared by: **Peter Fan, Planner**

Department: Planning and Development Services

Date: August 14, 2025

Application

The owner/applicant is requesting relief from the requirements of the Town's Comprehensive Zoning By-law 6000-17, as amended, to facilitate the construction of an attached Carport. The following relief is being requested:

- A) Section 24.497.3.2 of the Zoning By-law requires a minimum interior side yard of 1.5 metres. The applicant is proposing a carport, which is 1.2 metres to the interior side property line, thereby requiring a variance of 0.3 metres.

Background

Subject Property and Area Context

The subject lands, municipally known as 77 Aurora Heights Drive, is located within the Aurora Heights Stable Neighbourhood Area, on the Southwest corner of Aurora Heights Drive and Haida Drive.

The subject lands currently feature a one-storey detached dwelling. The subject property has an approximately lot area of 610.56 m² (6572.00 ft²) with approximately 18.26 m (59.9 ft) of lot frontage along Aurora Heights Drive. Vehicular access is provided by way of driveway access along Aurora Heights Drive.

Proposal

The applicant has requested a side yard setback in order to accommodate a recently constructed carport, built without a building permit. Subsequently, the Town of Aurora received a complaint on the proposed structure, in which, the owner is trying to bring into compliance.

The applicant is also applying for an addition located at the rear of the dwelling at this time. However, the building permits are awaiting the completion of the Minor Variance application. The proposed rear addition meets all zoning requirements.

This application is strictly to bring the recently completed carport into compliance with the Zoning By-law as outlined in blue in Appendix B.

Official Plan

The subject property is designated "Stable Neighbourhoods" by the Town of Aurora Official Plan, which permits Ground-related Residential Uses and accessory structures.

Zoning

The subject property is zoned "Detached Third Density Residential Exception R3-SN (497) Zone" in the Town of Aurora's Comprehensive Zoning By-law. Residential uses and associated accessory uses are permitted under this zoning.

Preliminary Zoning Review

A Preliminary Zoning Review (PZR) has been completed by the Town of Aurora's Building Division. The PZR identified the required variances, and no other non-compliance was identified.

Applicant's stated reason(s) for not complying with the Zoning By-law

As stated on the application form, "the available space for the driveway is only 4.0 metres (13 feet), so there will be 2.5 metres (8 feet) available space if I were to stay 1.5 metres (5 ft) from the property line. This is not sufficient, and parking will be very tight."

Planning Comments

Planning Staff have evaluated Minor Variance Application MV-2025-30 pursuant to the prescribed tests as set out in Section 45 (1) of the *Planning Act*, as follows:

a) The proposed variance meets the general intent of the Official Plan

The intent of the Official Plan “Stable Neighbourhoods” designation is to ensure that residential neighbourhoods are protected from incompatible forms of development, while allowing the neighbourhoods to be enhanced and evolve over time.

Planning staff are of the opinion that the subject variance will result in minimal impact and no disruption to the existing streetscape and the surrounding context of the neighbourhood. The location and orientation of the subject carport are similar to designs that presently existing on properties within the neighbourhood. There is minimal to no disruption on the streetscape, and the surrounding context of the neighbourhood is not impacted.

Furthermore, the Stable Neighbourhoods designation outlines design policies for all new development that shall respect and reinforce the existing physical character and uses of the surrounding area. The attention to the building type, heights and scale of nearby residential properties is essential for all new development. The proposed carport adequately meets the intent of these design policies and allows for a smooth transition between neighbouring properties.

Based on the above, staff are of the opinion that the requested variances are in keeping with the general intent of the Official Plan

b) The proposed variance meets the general intent of the Zoning By-law

The intent of the “Detached Third Density Residential R3-SN (497)” zoning is to ensure that the streetscape and public realm are maintained with appropriately sized and oriented buildings and structures. The intent of the side yard setback provision is to ensure appropriate spacing is achieved between dwellings for privacy, access, maintenance, and drainage.

Although the proposed carport exceeds the minimum side yard requirement by 0.3 metres, , the carport remains modest in its overall mass and continues to meet all other provisions of the zoning by-law, thus resulting in minimal visual obstruction and impact.

Staff are of the opinion that the subject carport is modest in overall mass, and as they meet all other provisions of the Zoning By-law, and that there is adequate space for maintenance along the side yard for both properties. The carport is intended to provide

shelter from the elements of the weather. Furthermore, Engineering Staff and external agencies have also reviewed and have no objections with the proposed variance and anticipate that the future drainage will be able to managed within the subject property.

c) The proposed variance is considered desirable for the appropriate development of the land

The minor variance has been considered in the context of the site itself and the adjacent neighbourhood. The proposed carport has been designed in a manner that respects the existing neighbourhood and adjacent neighbour. The proposed location of the carport is to be in a similar location to other existing carports in the neighbourhood.

The proposal allows for appropriate development of a carport to facilitate vehicular parking within a covered structure, while also providing additional storage space for residential functions. It will enhance the residential function for the owner in transitioning from an open driveway to a covered carport which provides additionally storage space and safety, in a manner that in keeping with surrounding properties with similar structures.

It is Staff's opinion that the requested variance is desirable for the appropriate development of the land.

d) The proposed variance is considered minor in nature

The proposed carport is considered moderate in scale and is not anticipated to generate any adverse impacts to the abutting properties or streetscape. Although the requested variance of 0.3 metres reduction in the side yard setback, the reduction will enhance the residential function for the owners as a garage does not exist currently exist. Staff are of the opinion that the requested variances are minor in nature.

Additional Comments

The minor variance application was circulated to Town Department/Divisions and to external agencies for review and comment. The following comments were provided:

Department or Agency	Comments
Building Division	Preliminary Zoning Review was completed. No objections.

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Department or Agency	Comments
Engineering Division	No objections.
Operational Services (Parks)	No objections.
Operational Services (Public Works)	The Owner will be required to obtain a Road Occupancy Permit through Public Works. No objections.
Central York Fire Services	No objections.
York Region	No objections.
LSRCA	No objections.
Alectra	No objections.

Public Correspondence

Written submissions were not received at the time of writing of this report. Should written submissions be received after the writing of this report, the Secretary Treasurer will provide the submission(s) to Committee members at the meeting.

Conclusion

Planning staff have reviewed the application regarding Section 45 (1) of the Planning Act, R.S.O, 1990, c.P.13, as amended, and believe that the requested variance meets the four tests of the Planning Act for granting minor variances. Staff recommend approval of the requested variance subject to the conditions outlined in Appendix 'A.'

Attachments

Appendix 'A' – Recommended Conditions of Approval

Appendix 'B' – Site Plan

Appendix 'A' – Conditions of Approval**Planning and Development Services:**

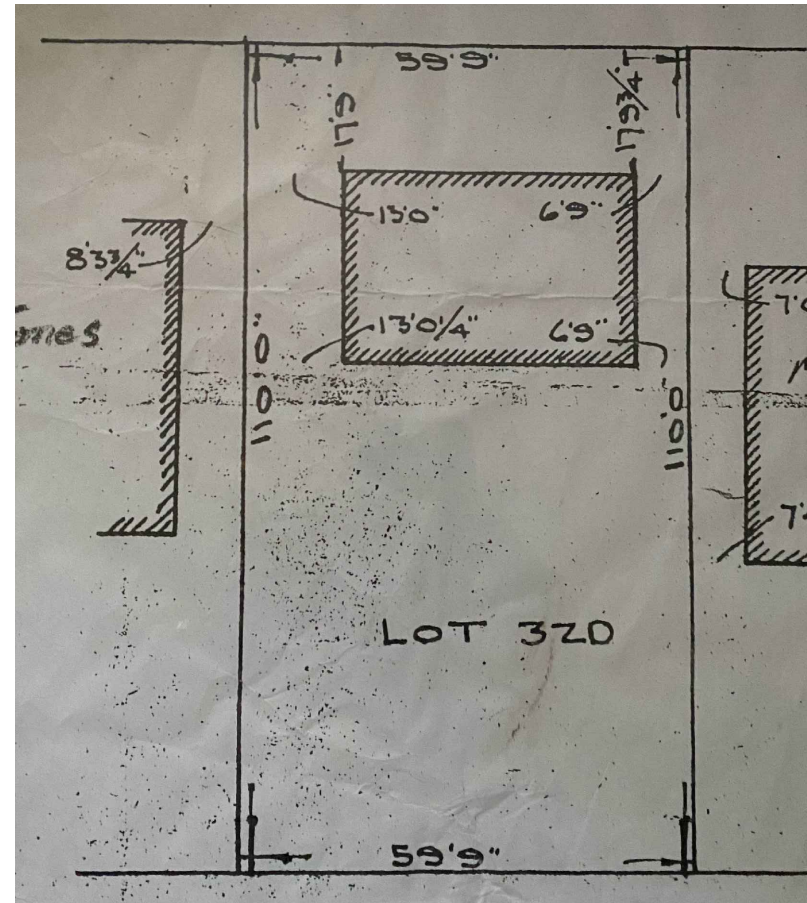
1. That the variance only applies to the subject property in conformity with the plans attached as 'Appendix B' to this Staff Report, to the satisfaction of the Director of Planning and Development Services or designate.

Operational Services (Public Works)

2. That the Owner obtain a Road Occupancy Permit through Public Works.

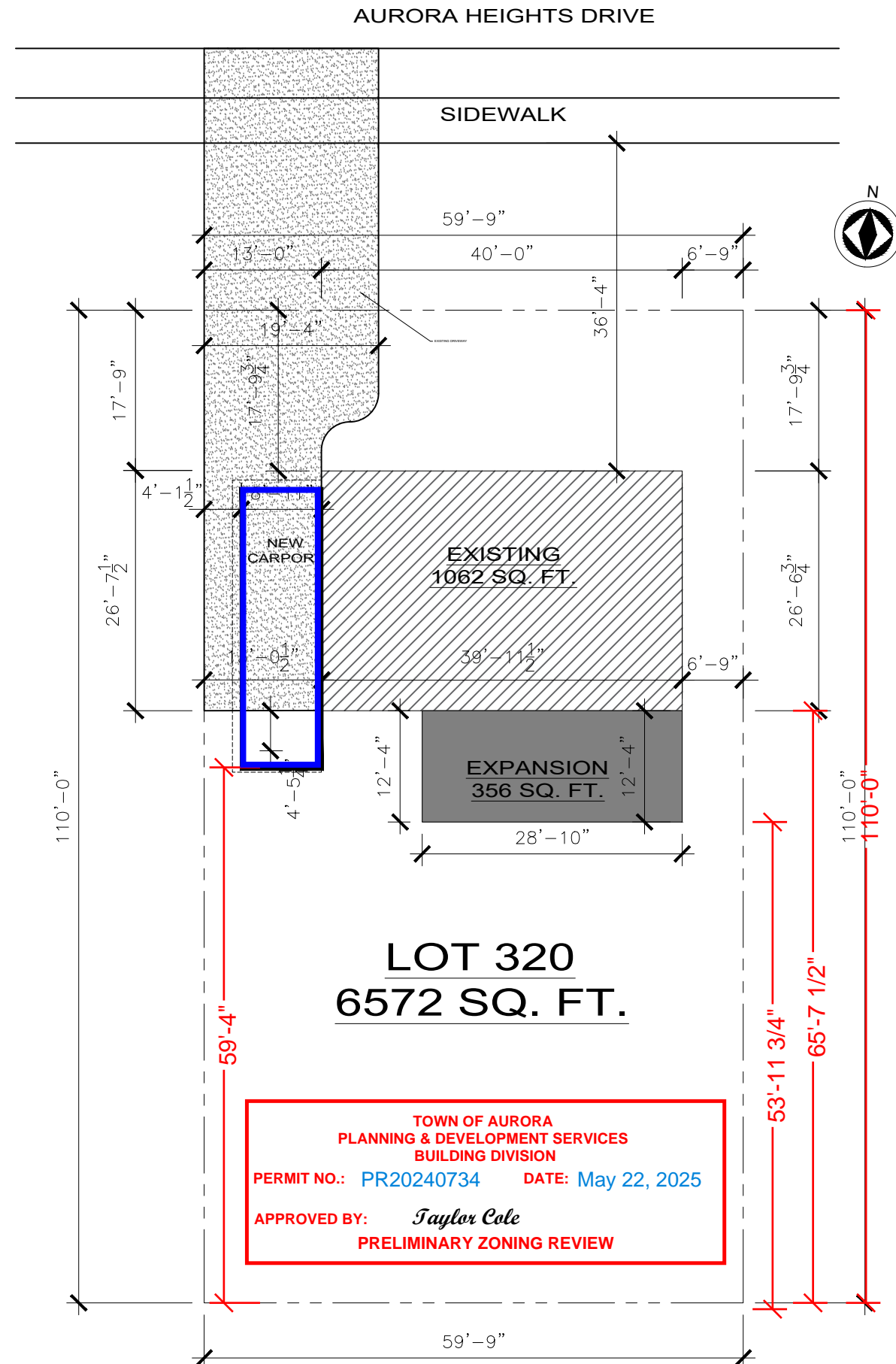
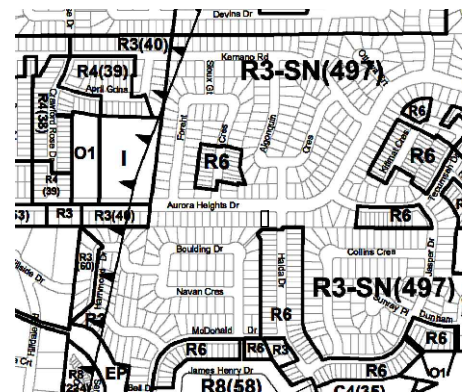
EXPANSION & CARPORT ADDITION TO THE EXISTING RESIDENCE

77 AURORA HEIGHTS DR.
L4G 2X1 AURORA ON

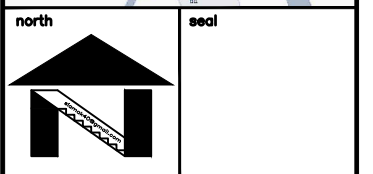
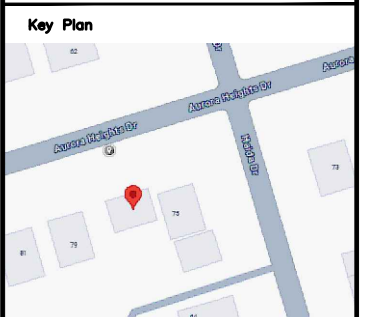


ARCHITECTURAL DRAWING LIST

- | | |
|------------------------------|-----|
| COVER SHEET, SITE PLAN | A0 |
| EXISTING FLOOR PLANS | A1 |
| EXISTING ELEVATIONS | A2 |
| PROPOSED MAIN FLOOR | A3 |
| PROPOSED ROOF PLAN | A5 |
| PROPOSED CROSS SECTION | A6 |
| PROPOSED EXTERIOR ELEVATIONS | A7 |
| STRUCTURAL PLANS & NOTES | A8 |
| GENERAL NOTES | A9 |
| ROOF STRUCTURAL DRAWINGS | A10 |



No.	Revisions	Date	Ck.
	AREA	EXISTING	PROPOSED
LOT COVERAGE	%16	%21.5	
FIRST FLOOR SQ.FT.	1,062SF	1,418SF	
TOTAL G.F.A. SQ.FT.	1,062SF	1,418SF	
NEW ADDITION SQ.FT.	1,062SF	356SF	
NO. OF STORIES HEIGHT	1 16'-10 ¹ / ₂ "	1 16'-10 ¹ / ₂ "	
WIDTH LENGTH	AS SHOWN	AS SHOWN	



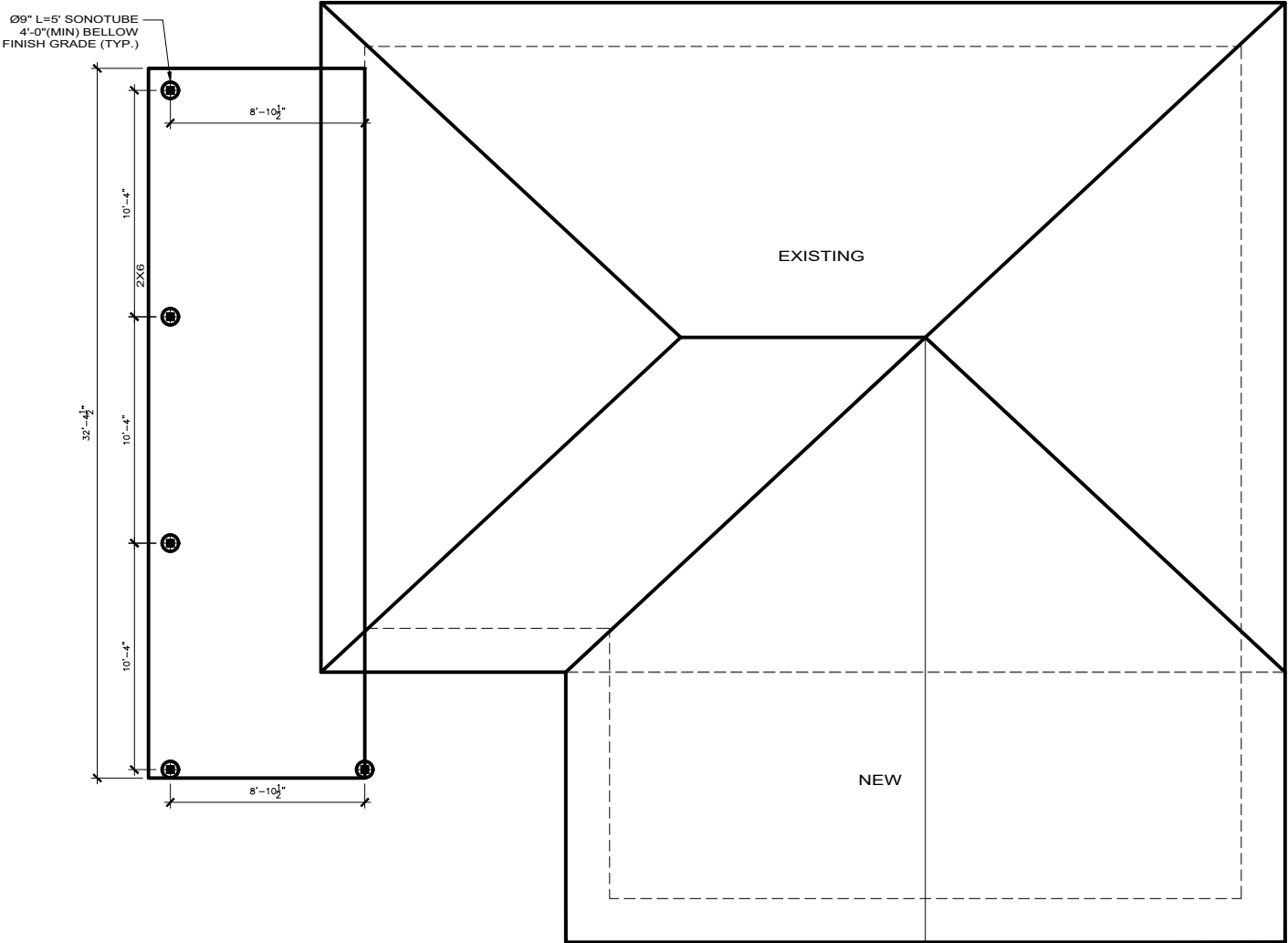
SITE STATISTICS	
ZONING	R3-SN(497)
LOT #	320
PLAN #	PIN 21376 - 0071(LT)
LOT AREA	6,572 SQ.FT.
LOT FRONTAGE	59'-9" FT.
LOT DEPTH	110'-0" FT.

location
77 AURORA HEIGHTS DR.
AURORA, ON
L4G 2X1

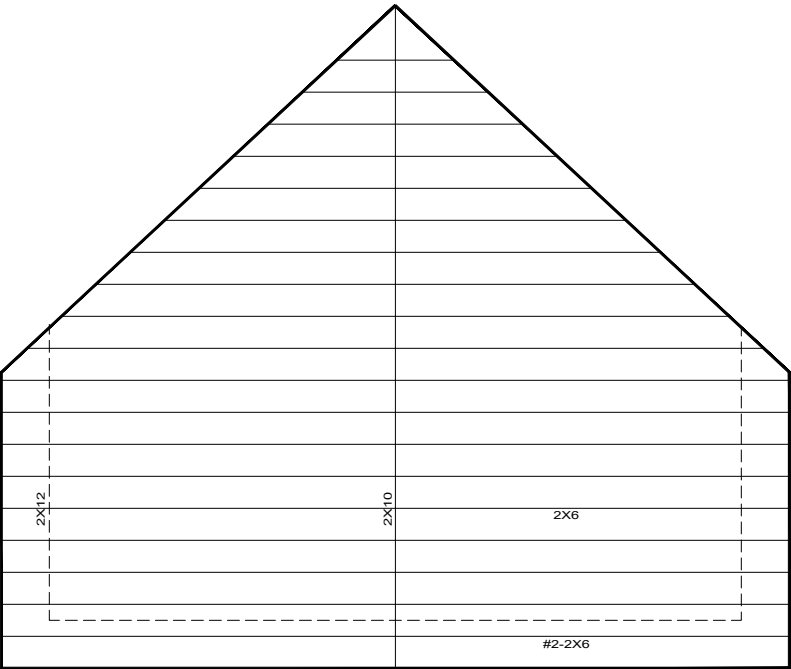
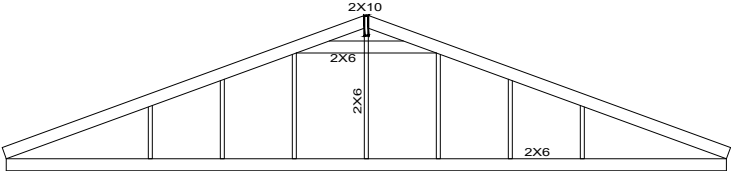
drawing title

SITE PLAN
PLAN

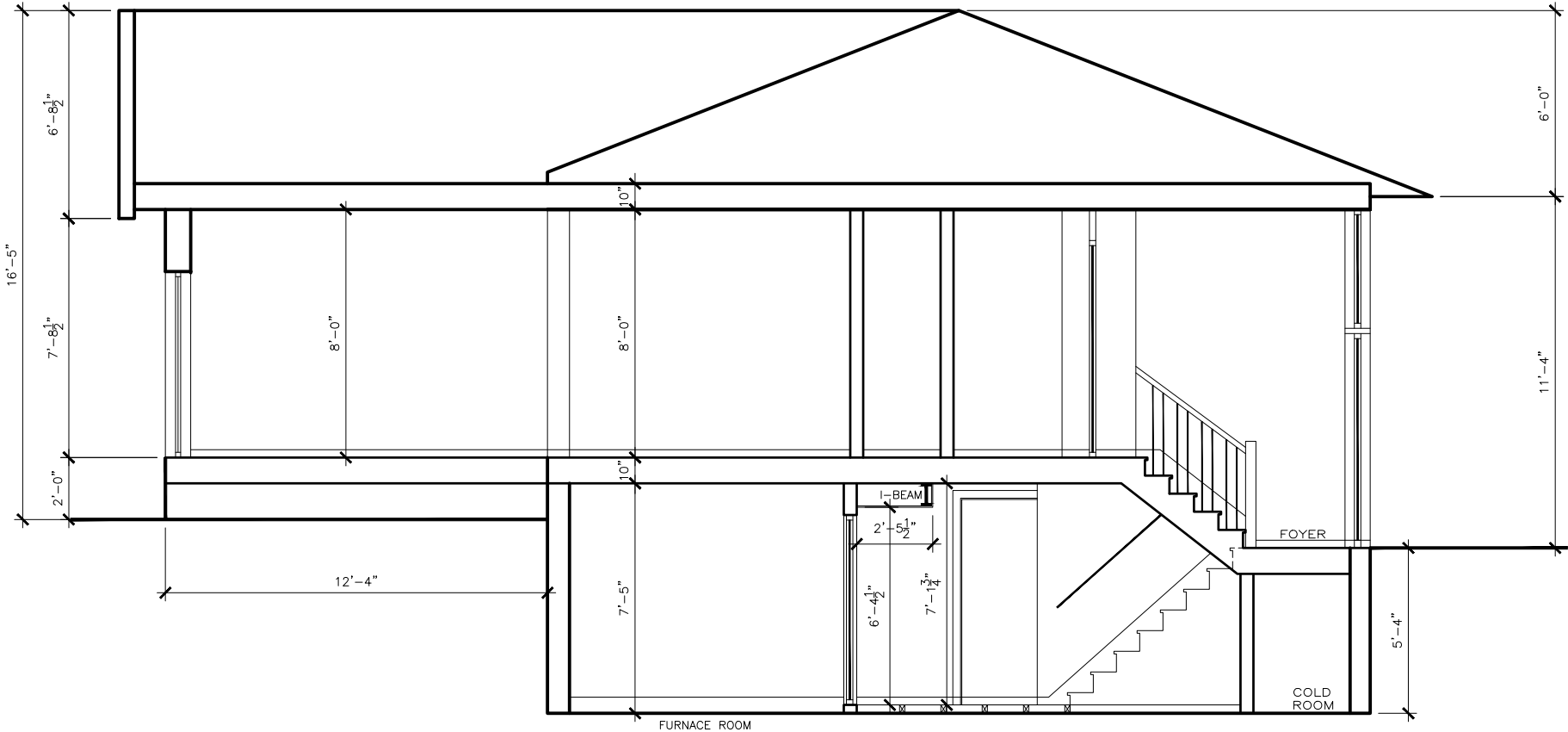
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rev. no.		
drawn by:	SS	
checked by:		
filename:		77 AURORA HEIGHTS DR.
last edit date:		MAR 1, 2025



PROPOSED ROOF PLAN
77 AURORA HEIGHTS DRIVE



No.	Revisions	Date	Ck.



SECTION A-A

No.	Revisions	Date	Ck.

Key Plan

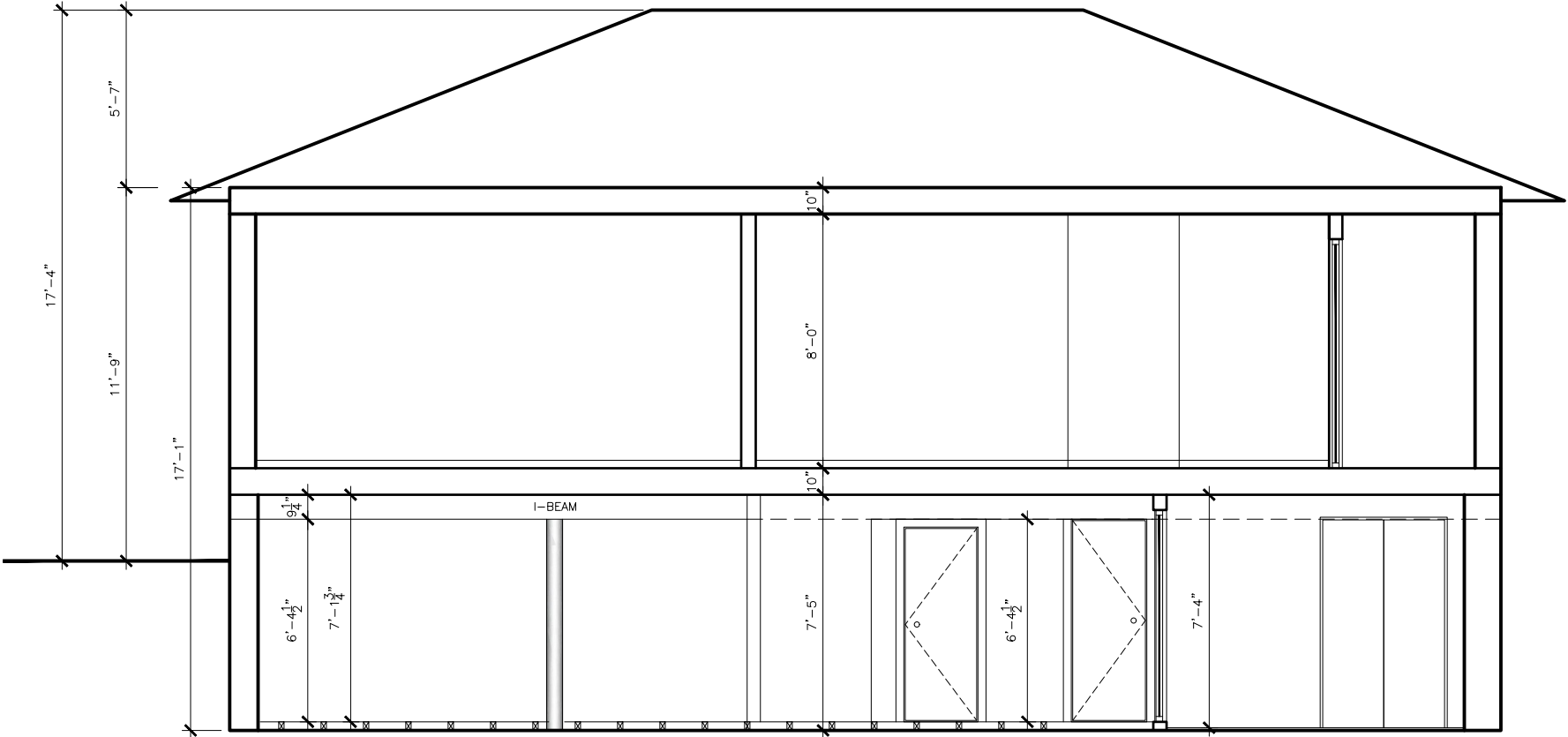
north

seal

location
77 AURORA HEIGHTS DR.
AURORA, ON

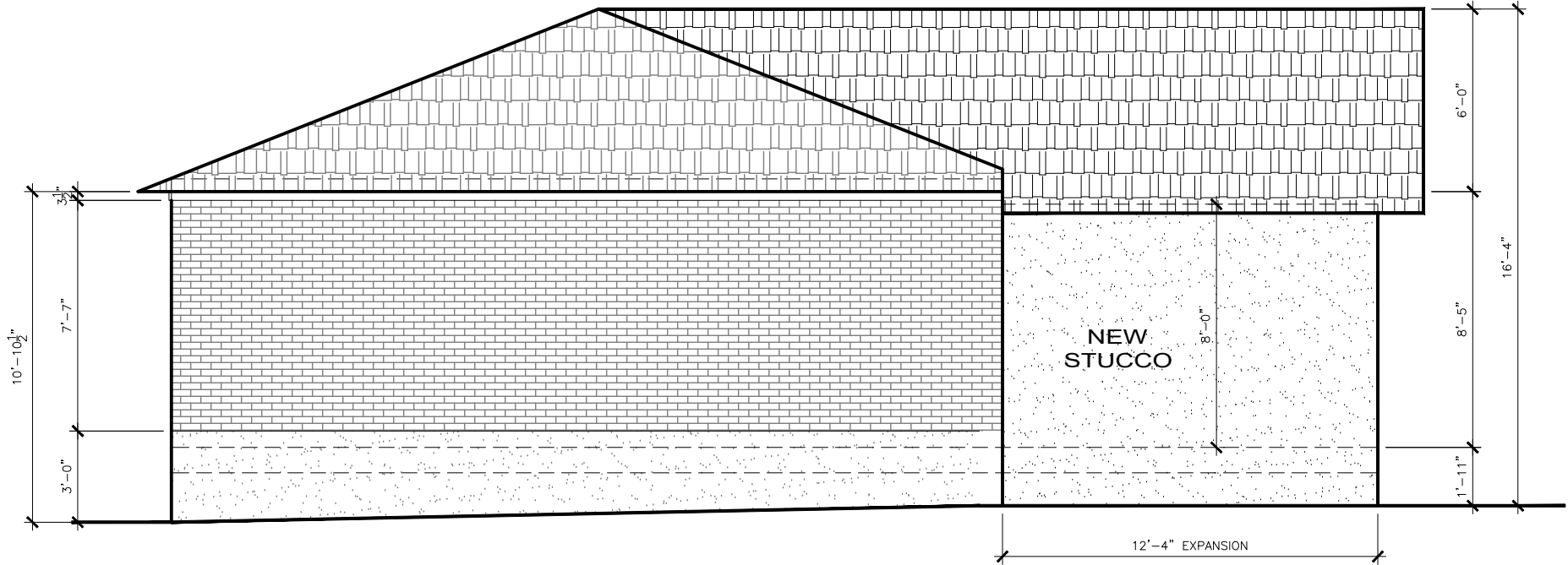
drawing title
CROSS
SECTION AA

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rev. no.		
drawn by:	SS	
checked by:		
filename:	77 AURORA HEIGHTS DR.	
last edit date:	SEP 7, 2023	

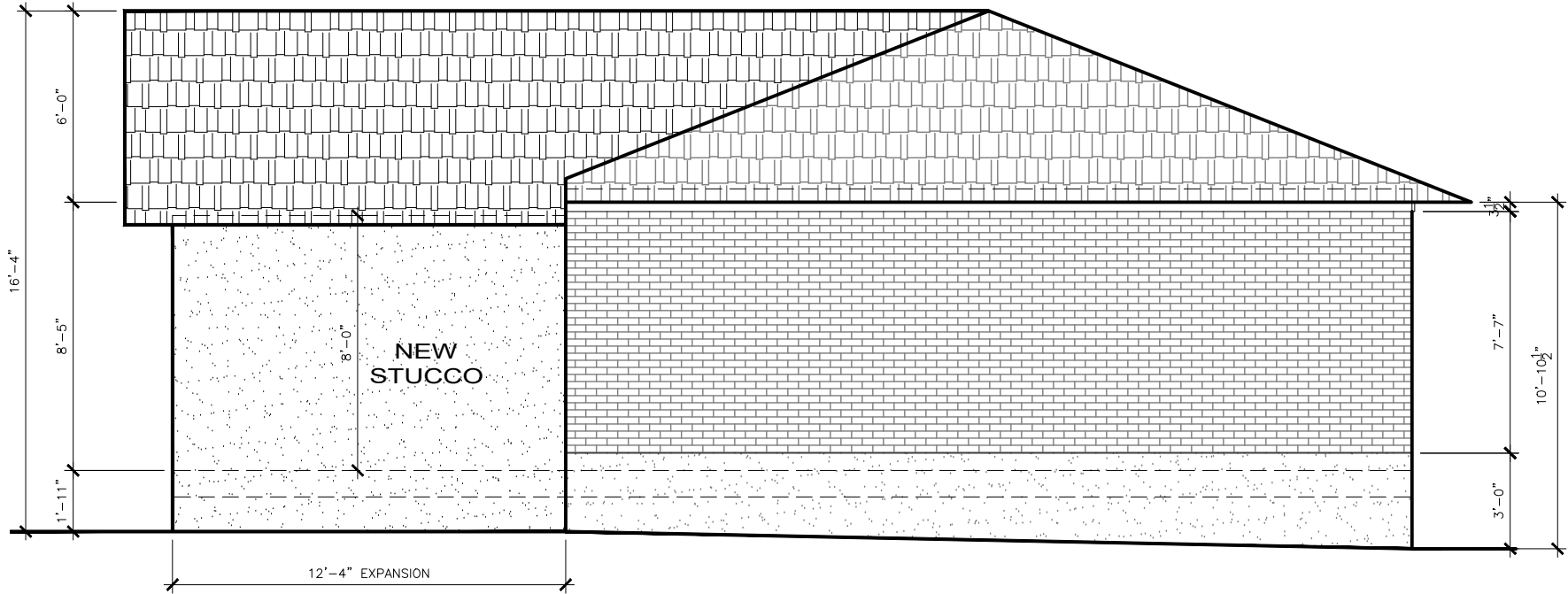


SECTION B-B

No.	Revisions	Date	Ck.

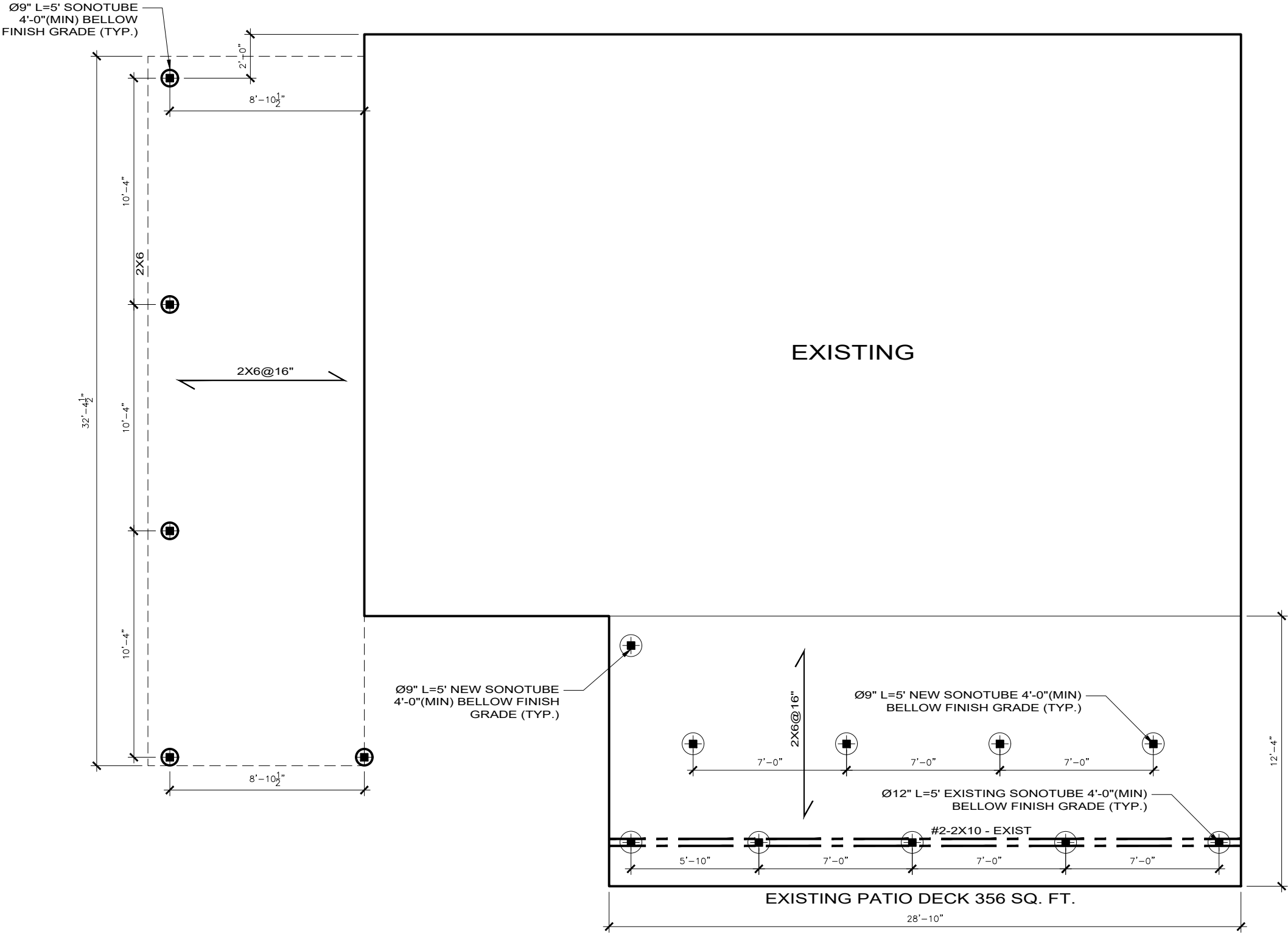


PORP. WEST ELEVATION
285.0+118.8SF



PROP. EAST ELEVATION
285.0+118.0SF

No.	Revisions	Date	Ck.
Key Plan			
<div><div><div>north</div></div><div><div>seal</div></div></div>			
location 77 AURORA HEIGHTS DR. AURORA, ON			
drawing title PROPOSED EAST & WEST ELEVATIONS			
date: MAR 2024		drawing no.	
scale: 1/8"=1'-0"		A7-2	
rev. no.			
drawn by: SS			
checked by:			
filename: 77 AURORA HEIGHTS DR.			
last edit date: SEP 7, 2023			



STRUCTURAL PLAN
77 AURORA HEIGHTS DRIVE

No.	Revisions	Date	Ck.

GENERAL NOTES:

1. THESE NOTES ARE A PART OF ALL DRAWINGS THAT REFER TO THEM. WHERE DISCREPANCIES EXIST BETWEEN DRAWINGS, NOTES OR THE CODE, THE MOST RESTRICTIVE SHALL APPLY.
2. ALL DIMENSIONS ARE SHOWN IN IMPERIAL AND ALL LEVELS AND CO-ORDINATES ARE SHOWN IN METERS.
3. DO NOT SCALE THE DRAWINGS.
4. ALL STRUCTURAL DRAWINGS SHALL BE IN CONJUNCTION WITH RELEVANT ARCHITECTURAL, MECHANICAL AND LANDSCAPE DRAWINGS.
5. ANY DISCREPANCY NOTED SHALL BE BROUGHT TO THE NOTICE OF THE ENGINEER BEFORE COMMENCING ANY WORKS.
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS, AND ALL APPLICABLE CODES, ORDINANCES AND ACCEPTED INDUSTRY STANDARDS.
7. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS AND ESTABLISHING THE COMPATIBILITY OF ALL NEW WORK WITH THE EXISTING CONDITIONS.
8. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS SO AS NOT TO DAMAGE THE EXISTING STRUCTURES.
9. ALL DRAWINGS ARE THE PROPERTY OF THE OWNER AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM THE ENGINEER.
10. ANY FIELD MODIFICATIONS NOT IN ACCORDANCE WITH THE ORIGINAL SEALED DRAWINGS SHALL BE APPROVED BY THE ENGINEERING DEPARTMENT. A MODIFICATION WITHOUT ITS APPROVAL SHALL VOID THE ENGINEER'S RESPONSIBILITY.

FOUNDATIONS:

1. SUBGRADES TO BE ASSESSED BY GEOTECHNICAL ENGINEER BEFORE CASTING FOUNDATION OR SLAB. REMOVE LOOSE, UNSUITABLE SOILS AND REPLACE WITH ENGINEERED FILLS AS SPECIFIED.
2. FOOTING SHALL REST ON UNDISTURBED SOIL, CAPABLE OF SUSTAINING 110 KPa AT SERVICEABILITY LIMIT STATES (SLS) OR ROCK.
3. IF WATER TABLE IS WITHIN A DISTANCE BELOW THE BEARING SURFACE EQUAL TO THE WIDTH OF THE FOOTING, THE AREA OF THE FOOTING SHALL BE DOUBLED. CONTRACTOR SHOULD VERIFY THE ELEVATION OF WATER TABLE.
4. THE BOTTOM OF EXCAVATION SHALL BE FREE OF ALL ORGANIC MATERIAL.
5. FOUNDATION SHOULD BE PLACED AT A MINIMUM DEPTH OF 4'-0" BELOW FINISHED OUTSIDE GRADE.
6. PROTECT ALL FOOTING, WALLS, SLAB ON GRADE AND ADJACENT SOIL AGAINST FROST ACTION AND FREEZING AT ALL TIME DURING CONSTRUCTION.
7. PROOF-ROLL SUBGRADE TO THE SATISFACTION OF THE GEOTECHNICAL CONSULTANTS PRIOR TO PLACING FOUNDATION OR SLAB.
8. THE MAXIMUM SLOPE BETWEEN ADJACENT EXCAVATIONS FOR FOOTINGS OR ALONG STEPPED FOOTINGS SHALL NOT EXCEED A RISE OF 7 IN A RUN OF 10 MAXIMUM STEP OF APPROXIMATELY 24".
9. ALL FOUNDATION WALLS TO EXTEND A MINIMUM OF 6" ABOVE GRADE.
10. BASEMENT AND GROUND FLOOR FRAMING MUST BE IN PLACE BEFORE BACK FILLING.
11. BACKFILL AGAINST FOUNDATION WALL AND RETAINING WALL SHALL BE PLACED AFTER THE CONCRETE GOT CURED AT LEAST FOR THREE DAYS AND FRAMING ON TOP OF THE FOUNDATION WALL INSTALLED COMPLETELY. BACKFILL WITHIN 24" OF THE FOUNDATION SHALL BE FREE OF DELETERIOUS DEBRIS AND BOULDERS LARGER THAN 10" DIAMETER.
12. EXTERIOR SURFACE OF FOUNDATION WALL BELOW GROUND LEVEL, (EXCLUDE IN GARAGES, UNENCLOSED PORTION, OR INSTALLED OVER GRANULAR FILL,) SHALL BE DAMPROOFED. MINIMUM OVERLAPPED IS 4".
13. WHERE HYDROSTATIC OCCURES, WATERPROOFING IS REQUIRED FOR EXTERNAL SURFACE WHICH SHALL BE PREPARED BY PARGING/MORTAR AND BE FREE OF PROJECTIONS.
14. SLAB-ON-GRADE SHALL BE 5" THICK AND REINFORCED WITH 152X152 MW18.7XMM18.7 U.N.O. PROVIDE MINIMUM 300MM OF ¾" SIZE CRUSHER RUN LIMESTONE COMPACTED TO 98% MODIFIED PROCTOR DRY DENSITY (MPDD).
15. UNLESS STATED OTHERWISE, SLAB-ON-GRADE SHALL BE PLACED ON SUB-GRADE CAPABLE OF SAFELY SUPPORTING 25 KPA (500PSF) WITHOUT RELATIVE SETTLEMENT WITH RESPECT TO BUILDING FOOTINGS.
16. FOUNDATION WALL STEPPING AS PER ELEVATION CONFIRM WITH GRADING PLAN.
17. ALL FOOTING ABOVE FREEZING DEPTH TO BE COVERED PROPERLY DURING WINTER TIME.
18. IF FOUNIDNG HAPPENS LOCATION OF FOOTING BECAUSE OF RAINING OR WATER TABLE, THEE ENGINEER SHALL BE INFORMED TO REVISE THE FOOTING SIZE ACCORDINGLY.
29. POURING CONCRETE SHALL TAKE PLACE IMMEDIATELY AFTER EXCAVATION.
11. SUMP PIT IS REQUIRED IF BOTTOM OF FOOTING IS ABOVE STORM SEWER.
12. LOCATE UTILITY PENETRATION BEFORE CONCRETE POURING.
13. ALL UTILITY MUST BE DISCONNECTED PRIOR TO COMMENCING ANY EXCAVATION TO DETERMINE THE LOCATION OF ANY NEARBY UNDER GROUND SERVICES.

MASONRY:

1. MASONRY IS DESIGNED WITH THE REQUIREMENTS OF CSA-S304.1-04.
2. MASONRY CONSTRUCTION AND REINFORCEMENT SHALL CONFORM TO THE REQUIREMENTS OF CSA-CAN3-A371-04.
3. MASONRY CONNECTORS SHALL CONFORM TO CSA-CAN3-A370-04.
4. REINFORCING FOR MASONRY WALLS SHALL CONFORM TO CSA-CAN3-S304-M84 (R1994).
5. LOAD BEARING SOLID CONCRETE BLOCK TO CSA-A165.1-04, TYPE S/15/A/M.
6. LOAD BEARING HOLLOW CONCRETE BLOCK TO CSA/A165.1-04, TYPE H/15/A/M.
7. MORTAR SHALL CONFORM TO CSA-A179-04, TYPE 'S'.
8. GROUT FILL SHALL BE OF HIGH SLUMP (225mm ±25mm)CONCRETE WITH A COMPRESSIVE STRENGTH OF 20MPa AT 28 DAYS.
9. PROVIDE VERTICAL REINFORCING 15M@24" FOR ALL 10" BLOCK WALLS.
10. UNDERTAKE METHODS OF LAYING MASONRY FOR WEATHER PROTECTION IN ACCORDANCE WITH CSA-CAN3-A371-04.
11. PROVIDE ADDITIONAL 1-15M VERTICAL FULL HEIGHT COMPLETE WITH MATCHING DOWELS AT CORNERS, INTERSECTIONS, EACH SIDE OF OPENINGS, AND EACH SIDE OF CONTROL JOINTS U.N.O.
12. FULLY GROUT CONCRETE MASONRY BLOCK CELLS WHERE WITH REINFORCEMENT.
13. MASONRY WALLS SHOWN ON STRUCTURAL DRAWINGS ARE LOAD BEARING U.N.O.
14. GROUT SOLID AROUND ALL BEAM AND CHANNEL BEARING LOCATIONS IN MASONRY WALLS AS PER STANDARD DETAILS.
15. BLOCKS SUPPORTING CONCENTRATED LOADS TO BE GROUTED SOLID 2 BLOCK COURSES BELOW BEARING U.N.O.
16. NO MASONRY WORK PERMITTED WITH TEMPERATURES BELOW 5°C UNLESS PROVISIONS ARE MADE FOR HEATING THE MATERIALS AND PROTECTING THE WORK.
17. PROVIDE PRIMED/PAINTED LINTELS OVER ALL OPENINGS OR RECESSES IN MASONRY WALLS WITH EVEN AND LEVEL BEARING NOT LESS THAN 150 mm LENGTH.
18. PROVIDE CHASES AND POCKETS IN WALLS FOR STRUCTURAL STEEL BEARING AND INSTALL ALL BEARING PLATES.
19. ALL OPENINGS IN MASONRY WALLS SHALL BE SPANNED BY LINTELS AS REQUIRED BY THE SPECIFICATIONS, UNLESS OTHERWISE NOTED.

DESIGN CODES AND LOADS:



1. STRUCTURAL DESIGN IS BASED ON NATIONAL BUILDING CODE OF CANADA, 2015 AND ONTARIO BUILDING CODE REGULATIONS, 2012.
2. LOADS SHOWN ON STRUCTURAL DRAWINGS ARE UNFACTORED U.N.O.
3. DESIGN LOADS AS SHOWN ON STRUCTURAL DRAWINGS SHALL NOT BE EXCEEDED DURING CONSTRUCTION.
6. CLIMATIC LOADS (BASED ON SUPPLEMENTARY STANDARD SB-1, TABLE 1.2):
 - 6.1. LOCATION: TORONTO, ONTARIO
 - 6.2. WIND PRESSURE (psf): 0.44 kPa
 - 6.3. SNOW LOAD (psf): Ss= 2.0 kpa , Sr=0.4 kPa
7. DESIGN LOADS (SERVICE):
 - 7.1. LIVE LOAD = 40 psf
 - 7.2. FLOOR DEAD LOAD (HARDWOOD FLOORING) = 12 psf
 - 7.3. FLOOR DEAD LOAD (¾" CERAMIC FLOORING FLOORING) = 15 psf
 - 7.4. EXTERNAL WALL DEAD LOAD = 7 psf
 - 7.5. PARTITION LOAD= 6 psf
 - 7.6. ROOF DEAD LOAD= 18 psf
 - 7.7. SNOW LOAD= 2.16 kpa
 - 7.8. WIND LATERAL LOAD=1.32 kpa
 - 7.9. WIND UPLIFT LOAD= 0.54 kPa

WOOD:

1. ALL FABRICATION, ERECTION AND DESIGN TO CONFORM TO CSA CAN3-086.1 (LATEST EDITION), CODE OF RECOMMENDED PRACTICE FOR ENGINEERING DESIGN IN WOOD.
2. MATERIAL SHALL BE IDENTIFIED BY A GRADE STAMP:
 - 2.1. REGULAR LUMBER : SPF No.1/No.2
 - 2.2. ENGINEERED LUMBER: LVL GRADE 2.0E, Fb=2900
 - 2.3. GLULAM: SPRUCE-FINE 20F-E,
 - 2.4. LSL: 2360Fb-1.3E
3. MOISTURE CONTENT OF LUMBER SHALL NOT MORE THAN 19% AT TIME OF INSTALLATION.
4. WOOD FRAME CONSTRUCTION SHALL BE IN ACCORDANCE WITH SECTION 9.23 OF THE ONTARIO BUILDING CODE 2012.
5. BUILDING FRAMES SHALL BE ANCHORED TO THE FOUNDATION.
6. ALL EXTERIOR EXPOSED WOOD TO BE NON-INCISED, PRESSURE TREATED.
7. NAILS AND SPIKES TO CSA STANDARD B111 (LATEST EDITION).
8. ALL WOOD COLUMNS TO BE CONTINUOUS TO FOUNDATION WALL OR SUPPORTING BEAM.
9. ALL WOOD COLUMNS ON FOOTING OR FOUNDATION WALLS SHALL BE CONNECTED WITH GALVANIZED METAL SHOE BY SIMPSON STRONG TIE OR EQUIVALENT.
10. ALL HARDWARE EXPOSED TO HUMIDITY INCLUDING BOLTS, LAGS, PINS, ETC. SHALL BE HOT DIP GALVANIZED.
11. LOAD BEARING WALLS SHALL BE 2"x6" @ 16" c/c UNLESS OTHERWISE NOTED.
12. ALL LINTELS IN LOAD BEARING WALLS SHALL BE 2-2"x8" MIN. UNLESS OTHERWISE SPECIFIED.
13. PROVIDE FULL WIDTH SILL PLATES, MIN. 38x89 (2x4) ANCHORED TO FOUNDATION WITH 1/2" DIAMETER BOLTS x 8" LONG SET IN CONCRETE.
14. ALL PARTITIONS TO BE SUPPORTED WITH DOUBLE JOISTS.
15. DOUBLE TOP PLATE FOR ALL BEARING PARTITIONS. DOUBLE STUDS AT ALL CORNERS AND EACH SIDE OF OPENINGS. DOUBLE JOIST UNDER ALL NON-BEARING PARTITIONS. TRIMMER JOISTS AROUND FLOOR OPENINGS SHALL BE DOUBLED.
16. JOIST SHALL HAVE MINIMUM 1½" BEARING, BEAMS TO HAVE 3" BEARING.
17. ALL JOIST TO HAVE BRIDGING MAXIMUM 7'-0" O.C. WITH 1"x3" OR 1½"x1½" CROSS BRIDGING.
18. WHERE JOISTS FRAME INTO THE SIDE OF A STEEL BEAM, JOISTS OR LEDGER BLOCKING SHALL BE SUPPORTED ON THE BOTTOM FLANGE OF THE BEAM OR ON NOT LESS THAN 2"x3" LUMBER BOLTED TO THE FLANGE WITH MINIMUM 1/4" DIAMETER BOLTS AT MAX. 24" CENTRES UNLESS NOTED OTHERWISE.
19. HEADER JOISTS OVER 4'-0" TO A MAXIMUM 10'-8" TO BE DOUBLED. TRIMMER JOIST TO BE DOUBLED IF SUPPORTED HEADER IS BETWEEN 2'-8" AND 6'-8" LONG. JOIST PARALLEL TO WALLS TO HAVE LATERAL SUPPORT MAXIMUM 6'-8" O.C.
20. ALL WOOD IN CONTACT WITH CONCRETE SLAB TO HAVE MINIMUM 2 mm POLYETHYLENE FILM OR TYPE S ROLL ROOFING UNDERNEATH.
21. PROVIDE SOLID STUDDING UNDER ALL BEAMS, LINTELS AND DOUBLE JOIST U.N.O.
22. HOLES DRILLED IN ROOF, FLOOR OR CEILING FRAMING MEMBERS SHALL BE NOT LARGER THAN ONE-QUARTER THE DEPTH OF THE MEMBER AND SHALL BE LOCATED NOT LESS THAN 50 MM FROM THE EDGES, UNLESS THE DEPTH OF THE MEMBER IS INCREASED BY THE SIZE OF THE HOLE.
23. FLOOR, ROOF AND CEILING FRAMING MEMBERS ARE PERMITTED TO BE NOTCHED PROVIDED THE NOTCH IS LOCATED ON THE TOP OF THE MEMBER WITHIN HALF THE JOIST DEPTH FROM THE EDGE OF BEARING AND IS NOT DEEPER THAN ONE-THIRD THE JOIST DEPTH, UNLESS THE DEPTH OF THE MEMBER IS INCREASED BY THE SIZE OF THE NOTCH.
24. WALL STUDS SHALL NOT BE NOTCHED, DRILLED, INCISED OR OTHERWISE DAMAGED SO THAT THE UNDAMAGED PORTION OF THE STUD IS LESS THAN TWO-THIRDS THE DEPTH OF THE STUD IF THE STUD IS LOAD-BEARING OR 40 mm IF THE STUD IS NON-LOADBEARING, UNLESS THE WEAKENED STUDS ARE SUITABLY REINFORCED.
25. STUD WALLS DESIGNED FOR DRY SERVICE CONDITION AND SHOULD EFFECTIVELY PINNED AND Laterally RESTRAINED AT BOTH ENDS, AND PREVENT FROM BUCKLING ABOUT THE WEAK AXIS BY WALL SHEATHING.
26. STUD WALL SYSTEM CONSIST OF AT LEAST 3 STUDS SPACED NO FARTHER APART THAN 610 mm.
27. MINIMUM DOUBLE STUDS AT OPENINGS AND TRIPLE STUDS AT CORNERS UNLESS OTHERWISE SPECIFIED.
28. PROVIDE MID-HEIGHT BLOCKING FOR ALL STUD WALLS, UNLESS AT LEAST ONE SIDE IS SHEATHED.
29. TOP PLATES IN WALLS SHALL NOT BE NOTCHED, DRILLED, INCISED OR OTHERWISE WEAKENED TO REDUCE THE UNDAMAGED WIDTH TO LESS THAN 50 MM UNLESS THE WEAKENED PLATES ARE SUITABLY REINFORCED.
30. THE EXISTING FLOOR JOISTS SHALL BE SHORED ON BOTH SIDES OF THE WALL TO BE CUT. SHORES CAN BE REMOVED ONLY AFTER ALL THE NEW BEAMS ARE IN PLACE.

STRUCTURAL STEEL:

1. DESIGN:
 - 1.1. DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL IN ACCORDANCE WITH CSA-S16 "DESIGN OF STEEL STRUCTURES", LAST EDITION
 - 1.2. SHEAR CONNECTIONS SHALL BE DESIGNED BASED ON 50% OF BEAM'S SHEAR CAPACITY , NOT LESS THAN 50 kN FOR SHEAR CONNECTIONS.
 - 1.3. MOMENT CONNECTION SHALL BE DESIGNED BASED ON 100% OF BEAM'S MOMENT CAPACITY.
2. MATERIAL:
 - 2.1. ROLLED W SHAPES SECTIONS: CSA G40.21, GRADE 350W
 - 2.2. PLATES, ANGLES AND CHANNELS: CSA G40.21, GRADE 300W
 - 2.3. HSS : CSA-G40.21, GRADE 350W CLASS H
 - 2.4. ROUND BAR: CSA G30.18, GRADE 400W AND SHALL BE DEFORMED BAR
 - 2.5. WELDED WIRE FABRIC: SMOOTH WIRE (CSA G30.3-M1983) , DEFORMED WIRE (CSA G30.14-M1983)
 - 2.6. BOLTS AND NUTS: A325M
3. CORROSION PROTECTION:
 - 3.1. STEELWORK TO BE COATED SHALL, AS A MINIMUM, BE GIVEN A ONE-COAT SHOP PAINT THAT MEETS THE REQUIREMENTS OF CISC/CPMA STANDARD 1-73A AND 2-75. THE COATING SHALL BE APPLIED THOROUGHLY AND EVENLY TO DRY, CLEAN SURFACES. (CSA/S16-28.8.3.3)
 - 3.2. EXTERIOR STEEL BEAMS SUSCEPTIBLE TO CORROSION SHALL BE SHOP PRIMED WITH RUST-INHIBITIVE PAINT.
 - 3.3. STEEL ANGLE LINTELS SUPPORTING MASONRY SHALL BE PRIMED OR PAINTED OR OTHERWISE PROTECTED FROM CORROSION.
 - 3.4. EXTERIOR STEEL COLUMNS SUSCEPTIBLE TO CORROSION SHALL BE TREATED ON THE OUTSIDE SURFACE WITH AT LEAST ONE COAT OF RUST-INHIBITIVE PAINT. (9.17.3.3)
 - 3.5. MATERIAL TO BE HOT-DIP GALVANIZED SHALL COMPLY WITH CSA STANDARD G164. (CSA/S16-28.8.7.1)
4. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BEFORE FABRICATION.
5. ALL FIELD BOLTED CONNECTIONS WILL BE BEARING TYPE U.N.O USING ASTM A325 BOLTS M20 MINIMUM DIAMETER (U.N.O.) C/W NUT AND ONE HARDENED WASHER, MINIMUM TWO BOLTS PER CONNECTION.
6. BURNING OF HOLES FOR BOLTED CONNECTIONS WILL NOT BE PERMITTED.
7. MINIMUM CONNECTION MATERIAL THICKNESS ¾"
8. WELDING CONFORM TO CSA W59, USING E49XX ELECTRODES, AND TO BE UNDERTAKEN BY A FABRICATOR FULLY APPROVED BY THE CANADIAN WELDING BUREAU TO THE REQUIREMENTS OF THE CSA SPECIFICATION W47.1
9. MINIMUM SHOP/FIELD WELD SHALL BE ¼" CONTINUOUS FILLET U.N.O.
10. ALL WELDS OF STEEL MEMBERS SHALL BE TOUCHED-UP WITH PAINT COAT.
11. PROVIDE WELDED STIFFENER PLATES ON BOTH SIDES OF BEAMS AT POINTS OF CONCENTRATED LOADS INCLUDING BEAMS SUPPORTING COLUMNS OR RUNNING OVER TOP OF COLUMNS.
12. ALL WELDS SHALL BE VISUAL INSPECTED. COMPLETE PENETRATION JOINTS SHALL BE NDT TESTED.
13. DEBURR AND REMOVE ALL SHARP EDGES.
14. ATTACHMENTS TO STRUCTURAL STEEL AND OPEN WEB STEEL JOIST FOR MECHANICAL, ELECTRICAL AND OTHER SERVICES SHALL BE MADE BY APPROVED CLAMPING DEVICES OR U-BOLT TYPE CONNECTORS. NO CUTTING, DRILLING OR WELDING OF STEEL MEMBERS WILL BE PERMITTED UNLESS.
15. GROUT UNDER BASE PLATES TO BE NON-METALIC TYPE (SIKA TYPE 211 OR STRENSON TYPE M-BED). AFTER GROUT HAS CURED, THE ANCHOR BOLTS ARE TO BE BACKED OFF AND RE-TIGHTENED IN ORDER TO OBTAIN A PRE-TENSION. NOMINAL GROUT THICKNESS = 1" U.N.O.
16. PROVIDE TEMPORARY SUPPORTS, SUCH AS TEMPORARY GRIPS, BRACES, FLATWORK, CRIBBING, OR OTHER ELEMENTS REQUIRED FOR THE ERECTION OPERATION, THESE TEMPORARY SUPPORTS WILL SECURE THE STEEL FRAMING, OR ANY PARTLY ASSEMBLED STEEL AGAINST LOADS COMPARABLE IN INTENSITY TO THOSE FOR WHICH THE STRUCTURE WAS DESIGNED, RESULTING FROM WIND, SEISMIC AND ERECTION OPERATION.
17. PROVIDE MINIMUM LENGTH OF BEARING OF 4" FOR ALL STEEL BEAM BEARINGS ON CONCRETE/CONCRETE BLOCK U.N.O.
18. MAINTAIN TEMPORARY BRACING UNTIL COMPLETION OF ENTIRE STRUCTURE ELEMENTS, WHICH OF PART OF THE LATERAL LOAD RESISTING SYSTEM.
- 19.

No.	Revisions	Date	Ck.
Key Plan			
			
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- CONCRETE:
1. CONCRETE MEMBERS ARE DESIGNED IN ACCORDANCE WITH CSA-A23.3-04 "DESIGN OF CONCRETE STRUCTURES"
 2. THE CONSULTANT'S APPROVAL SHALL BE OBTAINED PRIOR TO PLACEMENT OF ANY CONCRETE.
 3. CONCRETE: TO CSA-A23.1-04 "CONCRETE MATERIALS AND METHODS OF CONCRETE CONSTRUCTION"
- | | CLASS OF EXPOSURE | MAXIMUM WATER/CEMENTING MATERIALS (W/C RATIO) | MINIMUM 28D COMPRESSIVE STRENGTH (MPa) | AIR CONTENT (%) | SPECIFIED SLUMP (MM) |
|--|-------------------|---|--|-----------------|----------------------|
| FOOTING | R-1 | 0.70 | 30 | 3-6 | 100 |
| FOUNDATION WALL | R-2 | 0.70 | 30 | 4-7 | 80 |
| INTERIOR SLAB | R-3 | 0.65 | 20 | - | 60 |
| GARAGE FLOOR, WALKWAY, RAISING AND PORCH | C-2 | 0.45 | 32 | 5-8 | 70 |
- NOTE: CONCRETE FOR WALLS TO BE MINIMUM 12 MPa PRIOR TO STRIPPING FORMS.
4. USING NORMAL PORTLAND CEMENT TYPE GU, U.N.O.
 5. ADDITION OF FLY ASH TO THE CONCRETE MIXES IS NOT PERMITTED. ADMIXTURES CONTAINING CALCIUM CHLORIDE ARE NOT PERMITTED.
 6. ABSORPTION TO BE A MAXIMUM OF 5%.
 7. MIX DESIGN FOR CONCRETE WALLS PROPORTIONED IN ORDER TO MEET FREEZE THAW DURABILITY REQUIREMENTS.
 8. MAXIMUM AGGREGATE SIZE IS 19 mm (¾")
 9. WHEN AIR TEMPERATURE IS BELOW 5°C, CONCRETE SHALL BE KEPT AT A TEMPERATURE OF NOT LESS THAN 10°C OR MORE THAN 25°C WHILE BEING MIXED AND PLACED, AND MAINTAINED AT A TEMPERATURE OF NOT LESS THAN 10°C FOR 72h AFTER PLACING.
 10. NOT FROZEN MATERIAL OR ICE SHALL BE USED IN CONCRETE.
 11. SLAB ON GRADE 4" THICK AS SHOWN ON THE DRAWINGS SHALL BE REINFORCED WITH WWM152X152 MW18.7XMW18.7 CONCRETE U.N.O. PROVIDE MINIMUM OF MIN. 5" DEEP OF GRANULAR SUB-GRADE MATERIAL COMPACTED TO 98% MODIFIED PROCTOR DENSITY.
 12. CONCRETE FOR WALLS SHALL BE DEPOSITED CONTINUOUSLY IN APPROXIMATELY EQUAL HORIZONTAL LIFTS NOT EXCEEDING 4'.
 13. REINFORCING STEEL : Fy = 400 MPa
ANCHOR BOLTS : ASTM - A307 (MIN.)
EMBEDDED STEEL : Fy = 300 MPa
WELDED WIRE FABRIC : Fy = 440 MPa
 14. REINFORCING FOR MASONRY WALLS SHALL CONFORM TO CSA-CAN3-S304, LATEST REVISION.
 15. NON-CONTACT LAP SPLICING IS RECOMMENDED. WHEN LAPS ARE NECESSARY REFER TO CSA-A23.3-94. NOT MORE THAN 50% OF REBAR TO BE SPLICED AT ANY ONE LOCATION. MINIMUM LENGTH OF OVERLAP LISTED BELOW:
 - 10M ----- 23"
 - 15M ----- 33"
 - 20M ----- 40"
 16. ALL EXPOSED EDGES TO BE CHAMFERED ¾" x ¾"
 17. CLEAR COVER TO PRIMARY REINFORCEMENT. TO CSA-A23.1-04 U.N.O.:
 - CONCRETE DEPOSITED AGAINST EARTH ----- 3"
 - BEAMS , COLUMNS ----- 2"
 - WALLS ----- 1½"
 - SLAB ----- 1"
 24. WHERE THE STRUCTURAL THICKNESS OF A SLAB VARIES OR WHERE THE TOP SURFACE OF A SLAB IS SHOWN SLOPED, MAINTAIN CONSTANT COVER TO THE REINFORCING STEEL.
 25. AT OPENINGS IN CONCRETE WALLS, ADD 2-15M BARS AT HEADS, JAMBS AND SILLS UNLESS OTHERWISE NOTED.
 26. GIVE TOP OF FOUNDATION A TROWEL FINISH. IT MUST BE LEVEL AND SMOOTH.
 27. ANCHOR BOLT MUST BE LOCATED BY MEANS OF A TEMPLATE. DO NOT HAND SET ANCHOR BOLTS. USE REINFORCING STEEL AS REQUIRED TO PROVIDE HORIZONTAL LOAD ON ANCHOR BOLT.
 28. PROPER CONSOLIDATION BY VIBRATION DURING POURING CONCRETE IS REQUIRED OTHERWISE SELF-COMACTING CONCRETE WITH SUPERPLASTICIZERS AND VISCOSITY-MODIFY ADMIXTURES (VMAs) IN ACCORDANCE WITH CSA/A23.1 (8.b) SHALL BE USED.

2-Ply Nailing Recommendations

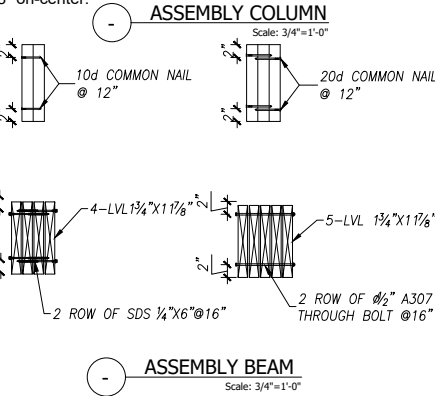
Minimum of two rows of 16d (0.131" x 3¼") pneumatic nails at 10" on-center, staggered. Nail from one side.

3-Ply Nailing Recommendations

Minimum of three rows of 16d (0.131" x 3¼") pneumatic nails at 5" on-center, staggered. Nail from both sides.

4-Ply Nailing Recommendations

Nail each ply to the other with a minimum of three rows of 16d (0.131" x 3¼") pneumatic nails at 5" on-center. When connecting each ply, offset nail rows by 2" from the ply below.or,
Minimum of two rows of ½" diameter bolts spaced at 8" on-center.



NAILING FOR FRAMING, Table 9.23.3.4.			
ITEM	CONSTRUCTION DETAIL	MINIMUM LENGTH OF NAILS	MINIMUM NUMBER OR MAXIMUM SPACING OF NAILS
1	FLOOR JOIST TO PLATE –TOE NAIL	¾"	2
2	WOOD OR METAL STRAPPING TO UNDERSIDE OF FLOOR JOISTS	¾"	2
3	CROSS BRIDGING TO JOISTS	¾"	2 at each end
4	DOUBLE HEADER OR TRIMMER JOISTS	3"	1½" (o.c.)
5	FLOOR JOIST TO STUD (BALLOON CONSTRUCTION)	3"	2
6	LEDGER STRIP TO WOOD BEAM	¾"	2 per joist
7	JOIST TO JOIST SPLICE (SEE ALSO TABLE 9.23.13.8.)	3"	2 at each end
8	HEADER JOIST END NAILED TO JOISTS ALONG PERIMETER	4"	3
9	TAIL JOIST TO ADJACENT HEADER JOIST (END NAILED) AROUND OPENINGS	¾"	5
		4"	3
10	EACH HEADER JOIST TO ADJACENT TRIMMER JOIST (END NAILED) AROUND OPENINGS	¾"	5
		4"	3
11	STUD TO WALL PLATE (EACH END) TOE NAIL OR END NAIL	¾"	4
		¾"	2
12	DOUBLED STUDS AT OPENINGS, OR STUDS AT WALLS OR WALL INTERSECTIONS AND CORNERS	3"	2½" (o.c.)
13	DOUBLED TOP WALL PLATES	3"	2½" (o.c.)
14	BOTTOM WALL PLATE OR SOLE PLATE TO JOISTS OR BLOCKING (EXTERIOR WALLS)(1)	¾"	1½" (o.c.)
15	INTERIOR WALLS TO FRAMING OR SUBFLOORING	¾"	2½" (o.c.)
16	HORIZONTAL MEMBER OVER OPENINGS IN NON-LOADBEARING WALLS –EACH END	¾"	2
17	LINTELS TO STUDS	¾"	2 at each end
18	CEILING JOIST TO PLATE –TOE NAIL EACH END	¾"	2
19	ROOF RAFTER, ROOF TRUSS OR ROOF JOIST TO PLATE –TOE NAIL	¾"	3
20	RAFTER PLATE TO EACH CEILING JOIST	4"	2
21	RAFTER TO JOIST (WITH RIDGE SUPPORTED)	3"	3
22	RAFTER TO JOIST (WITH RIDGE UNSUPPORTED)	3"	See Table 9.23.13.8.
23	GUSSET PLATE TO EACH RAFTER AT PEAK	¾"	4
24	RAFTER TO RIDGE BOARD –TOE NAIL – END NAIL	¾"	3
25	COLLAR TIE TO RAFTER –EACH END	3"	3
26	COLLAR TIE LATERAL SUPPORT TO EACH COLLAR TIE	¾"	2
27	JACK RAFTER TO HIP OR VALLEY RAFTER	¾"	2
28	ROOF STRUT TO RAFTER	3"	3
29	ROOF STRUT TO LOADBEARING WALL – TOE NAIL	¾"	2
30	2X6 OR LESS PLANK DECKING TO SUPPORT	¾"	2
31	PLANK DECKING WIDER THAN 2X6 TO SUPPORT	¾"	3
32	2" EDGE LAID PLANK DECKING TO SUPPORT (TOE NAIL)	3"	1
33	2" EDGE LAID PLANK TO EACH OTHER	3"	1¾" (o.c.)



location
77 AURORA HEIGHTS DR.
AURORA, ON

drawing title

STRUCTURAL
NOTES

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GENERAL NOTES

1. **CONSTRUCTION** SHALL BE IN ACCORDANCE WITH PART 9 OF THE ONTARIO BUILDING CODE (MOST RECENT EDITION) AND LOCAL ORDINANCES. SOIL CONSULTANT TO VERIFY SOIL CONDITIONS AND REPORT FINDINGS TO THE CONTRACTOR.
2. **ALL EXTERIOR DOORS** TO BE INSULATED H.M. TYPE C/W WEATHER STRIPPING AND ALUMINUM THRESHOLD, UNLESS OTHERWISE SHOWN.
3. **VAPOUR BARRIERS** ARE TO BE OVERLAPPED MIN. 4" AND BE SEALED W/ ACOUSTIC SEALANT.
4. **WOOD FRAMING MEMBERS** THAT ARE NOT TREATED WITH A WOOD PRESERVATIVE AND WHICH ARE SUPPORTED ON THE CONCRETE IN CONTACT WITH THE GROUND OR FILL SHALL BE SEPARATED FROM THE CONCRETE BY MIN. 6" MIL. POLYURETHANE OR OTHER APPROVED DAMP PROOFING MATERIAL EXCEPT THAT SUCH DAMP PROOFING IS NOT REQUIRED WHERE THE WOOD MEMBER US AT LEAST 6" ABOVE THE GROUND.
5. **CONTRACTOR:** TO VERY ALL EXISTING DIMENSIONS AND GRADING WITH RESPECT TO THE PROPOSED BUILDING AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH FURTHER CONSTRUCTION.
6. **SMOKE ALARMS:** SHALL BE INSTALLED ON ALL FLOOR LEVELS AS PER O.B.C
7. **CO DETECTORS:** AT FURNACE ROOM AND WOOD-BURNING FIREPLACE LOCATIONS. INSTALL AS PER MANUFACTURER'S SPECIFICATIONS.
8. **SURFACE FLAME SPREAD RATING:** ALL NEW INTERIOR FINISHES NOT TO EXCEED 150
9. **JOINTS** BETWEEN FOUNDATION WALLS, AROUND PIPES, CONDUITS OR DUCTS THAT PENETRATE SUCH, SHALL BE FILLED W/ BITUMEN RUBBER OR COIL TAR
10. **FOOTING:** TO BE POURED ON NATURALLY UNDISTURBED SOIL CAPABLE OF BEARING 3 K.S.F. AT MIN 4'-0" BELLOW GRADE. USE 3600 P.S.I. CONCRETE @ 28 DAYS FOR FOOTING AND FOUNDATION WALLS. STEP FOOTINGS HORIZONTAL STEPS SHALL BE MIN. 2'-0" AND VERTICAL STEPS SHALL BE NO GRATER THAN $\frac{2}{3}$ OF HORIZONTAL STEP TO A MAX. OF 2'-0" AS PER O.B.C. 9.15.3.8. FOOTING OVER TRENCHES TO BE REINFORCED W/ 2-#4 BARS @ $\frac{1}{3}$ POINTS
11. **DRAINAGE:** Ø4" WEEPING TILE W/ 6" CRUSHED STONE COVER
12. **ALL STRUCTURAL STEEL** TO CONFORM TO REQUIREMENTS FOR GRADE 300W STEEL IN CAN. CSA.G40.21, "STRUCTURAL QUALITY STEELS"
13. **MASONRY:** DRAINAGE LAYER OVER 2 COATS OF BITUMINOUS DAMP PROOFING ON POURED CONCRETE FOUNDATION WALL, MOISTURE BARRIER TO HEIGHT OF EXTERIOR GRADE, 2x3 WOOD STRAPPING, MIN. R12 BATT INSUL. W/ 6 MIL FULL HEIGHT POLY AIR/ VAPOUR BARRIER ON THE WARM SIDE, $\frac{1}{2}$ " INTERIOR DRYWALL FINISH
14. **MASONRY:** 4" NATURAL STONE OR ARISCROFT STONE OR BRICK LAYER W/ WEEP HOLES AT 31"O.C., 1" AIR SPACE. 0.03 THK. $\frac{7}{8}$ " WIDE GALVANIZED METAL TIES INSTALLED W/ GALVANIZED SPIRAL NAILS OR SCREWS 52" O.C. HORIZONTAL 16"O.C. VERTICAL, 20 MIL POLY FLASHING MIN. 6" UP BEHIND THE SHEATHING PAPER, SHEATHING PAPER LAYERS TO OVERLAP EACH OTHER, $\frac{1}{2}$ " THK. EXTERIOR TYPE PLYWOOD SHEATHING, 2x6 WOOD STUDS @ 16" O.C., R19 BATT INSUL. IN CONTINUOUS CONTACT W/ EXTERIOR SHEATHING, 6 MIL CONTINUOUS POLY AIR/ VAPOUR BARRIER ON WARM SIDE, $\frac{1}{2}$ " INTERIOR DRYWALL FINISH, DOUBLE PLATE @ TOP, SOLE PLATE @ BOTTOM
15. **GRADE:** SLOPE GRADE AWAY FROM BUILDING FACE
16. SILL PLATE: 2x6 SILL PLATE FASTENED TO FOUNDATION WALL WITH

- MIN. Ø $\frac{1}{2}$ ". ANCHOR BOLTS EMBEDDED MIN. 4" INTO CONCRETE @ 4' O.C. a PROVIDE CAULKING OR GASKET BETWEEN PLATE & FOUNDATION WALL
17. **FLOOR INSULATION:** CONTINUOUS HEADER JOIST W/ R19 BATT INSUL., EXTEND VAPOUR/ AIR BARRIER & SEAL TO JOIST & SUB FLOOR
18. **BASEMENT SLAB:** 3" POURED CONCRETE SLAB (3600 PSI CONC. STRENGTH) 6" CRUSHED STONE BELOW. THICKEN THE SLAB TO 6" UNDER THE STAIRCASE AREA.
19. **ROOF CONSTRUCTION:** 20 YEARS ASPHALT SHINGLES (2 LAYERS OF FELT ROOFING MEMBRANE WHERE FLAT ROOF) ON $\frac{3}{8}$ " EXTERIOR PLYWOOD HEATING ON APPROVED ROOF TRUSSES
20. **OVERHANG CONSTRUCTION:** PRE FINISHED ALUMINUM FACIA, EAVES TROUGH & RAIN WATER LEADERS TO MATCH THE EXTERIOR FINISHES. PROVIDE DRIP EDGE AT FACIA & VENTED SOFFIT, EXTEND DOWNSPOUT TO GRADE LEVEL, PROVIDE PRECAST CONCRETE SPLASH PAD
21. **ROOF VENTILATION:** 1/300 OF THE INSULATED CEILING AREA UNIFORMLY DISTRIBUTED
22. **EAVES PROTECTION:** EAVES TROUGH PROTECTION MEMBRANE TO EXTEND FROM THE EDGE OF THE ROOF 36" UP THE SLOPE BUT NOT LESS THAN 12" BEYOND THE INTERIOR FACE OF THE EXTERIOR WALL
23. **CEILING CONSTRUCTION:** $\frac{5}{8}$ " THK. INTERIOR DRYWALL FINISH, CONTINUOUS AIR/ VAPOUR BARRIER W/ MIN. R40 BATT INSULATION.
24. **FLOOR CONSTRUCTION:** $\frac{3}{4}$ " T&G PLYWOOD SUB FLOOR GLUE-NAILED ON TJI FLOOR JOISTS @ 16"O.C. UNLESS NOTED OTHERWISE, DOUBLE ALL JOISTS UNDER PARTITIONS THAT ARE PARALLEL TO THE FLOOR JOISTS UNLESS OTHERWISE NOTED
25. **INTERIOR STUD PARTITION:** $\frac{1}{2}$ " DRYWALL FINISH BOTH SIDES OF 2x4 WOOD STUDS @16"O.C., 2 TOP PLATES & 1 BOTTOM PLATE, PROVIDE SOUND ATTENUATION INSULATION IN BATHROOM WALLS & WHERE INDICATED ON DRAWINGS, USE MOISTURE RESISTANT DRYWALL IN BATHROOMS
26. **MECHANICAL VENTILATION:** PROVIDE MIN I AIR CHANGE PER HOUR IN ROOMS SPECIFIED TO BE MECHANICALLY VENTED, 80 CFM FOR BATH PRIMARY VENTS
27. **STAIRS INTERIOR/EXTERIOR:**

27.1. MAXIMUM RISE $7\frac{7}{8}$ "

27.2. MINIMUM RISE 4'-JIB"

27.3. MINIMUM RUN $8\frac{1}{4}$ "

27.4. MAXIMUM RUN 14"

27.5. MINIMUM TREAD $9\frac{1}{4}$ "

27.6. MAXIMUM TREAD 14"

27.7. MAXIMUM NOSING 1"

27.8. MINIMUM WIDTH 2'-10"

27.9. MINIMUM HEADROOM 6'-0"
28. **GUARDS:**

28.1. INTERIOR LANDINGS 2'-11"

28.2. EXTERIOR BALCONY 3'-6"

28.3. INTERIOR STAIRS 2'-11"

28.4. EXTERIOR STAIRS 2'-11"

28.5. MAXIMUM BETWEEN PICKETS 4" GUARD HEIGHT IF DECK TO GRADE IS GREATER THAN 5'-11", 3 '-6", S'-11" OR LESS 2'-I 1" NO MEMBER OR ATTACHMENT BETWEEN 4" & 2'-11" HIGH SHALL FACILITATE CLIMBING
29. **SKYLIGHT:** 24"X36" VELUX ELECTRIC VENTILATION BLIND FOR THE BATHROOM

NOTE TO CONTRACTOR

SHOP DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR FOR THE WINDOWS, DOORS, TRUSSES, AND OTHER PREFABRICATED STRUCTURE, MILLWORK, CUT STONE TRIM, OR PRECAST AND OTHER FABRICATED ITEMS

No.	Revisions	Date	Ck.
Key Plan			
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location 77 AURORA HEIGHTS DR. AURORA, ON			
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Town of Aurora

Committee of Adjustment Report

No. MV-2025-29

Subject: **Minor Variance Application**
Heather & Orphanides Manassis
23 Cady Court
Lot 37, Registered Plan 65M-2786
File: MV-2025-29

Prepared by: **Felix Chau, Planner**

Department: Planning and Development Services

Date: August 14, 2025

Application

The owner/applicant is requesting relief from the requirements of the Town's Comprehensive Zoning By-law 6000-17, as amended, to facilitate the construction of a one-storey addition at the rear of an existing detached dwelling. The following relief is being requested:

- a) Section 7.2 of the Zoning By-law requires a minimum rear yard of 7.5 metres. The applicant is proposing a minimum rear yard of 4.0 metres; and,
- b) Section 24.84.1.3 of the Zoning By-law permits a maximum lot coverage of 35.0%. The applicant is proposing a maximum lot coverage of 38.6%.

Background

Subject Property and Area Context

The subject property is located north of Kennedy Street West, west of Murray Drive. The subject lands have an area of approximately 502 square metres (5,405 square feet) and a lot frontage of approximately 17 metres (56 feet). The subject property currently features a two-storey detached dwelling with a ground floor area of approximately 162.4 square metres (1,748 square feet).

Proposal

The applicant is proposing a one-storey addition totaling 25.4 square metres (273 square feet) to facilitate a family room. The total resulting ground floor area of the detached dwelling is 187.8 square metres (2,021 square feet). Majority of the existing detached dwelling is two-storey in height, with the exception of the eastern portion of the dwelling which is one-storey in height and features an attached garage. The proposed addition is at the rear of the one-storey portion of the dwelling.

Official Plan

The subject property is designated 'Stable Neighbourhoods' by the Town of Aurora Official Plan. Single detached dwellings are permitted in the Stable Neighbourhoods designation.

Zoning

The subject property is zoned "Detached Third Density Residential Exception Zone R3 (84)" by Zoning By-law 6000-17, as amended, which permits a single detached dwelling.

Preliminary Zoning Review

A Preliminary Zoning Review (PZR) has been completed by the Town of Aurora's Building Division. The PZR identified the required variances, and no other non-compliance was identified.

Applicant's stated reason(s) for not complying with the Zoning By-law

As stated on the application form, the applicant is seeking approval for a "proposed rear single storey addition of a family room".

Planning Comments

Planning Staff have evaluated Minor Variance Application MV-2025-29 pursuant to the prescribed tests as set out in Section 45(1) of the *Planning Act*, as follows:

a) The proposed variances meet the general intent of the Official Plan

The intent of the Official Plan "Stable Neighbourhoods" designation is to ensure that residential neighbourhoods are protected from incompatible forms of development, while allowing the neighbourhoods to be enhanced and evolve over time.

The proposed variances to facilitate an addition at the rear of the existing dwelling will not change the existing massing or other design characteristics of the property from the street. Furthermore, the proposed addition being single-storey, whereas the existing dwelling is two-storeys, limits any potential privacy or shadowing impacts towards the surrounding residential properties.

It is the opinion of staff that the requested variances meet the general intent and purpose of the Official Plan.

b) The proposed variance meets the general intent of the Zoning By-law

The subject property is zoned “Detached Third Density Residential Exception Zone R3 (84)”. The site-specific zoning ensures all new developments are appropriately sized and buildings and structures are orientated properly.

The intent of the minimum rear yard setback provision is to ensure adequate separation between structures and to maintain sufficient space for private amenity area in the rear yard. As seen on Appendix B to this report, the proposed 25.4 square metre addition is limited towards the eastern portion of the detached dwelling. Sufficient rear yard private amenity space is maintained towards the south and west of the addition. Additionally, the proposed addition has no window openings along the side yard facing wall. Therefore, it is Staff’s opinion that the addition is modest in size and given that it is only one storey, it will not exacerbate any existing privacy or shadowing concerns towards the closest neighbouring dwelling.

The intent of the maximum lot coverage provision is to ensure that properties are not overdeveloped relative to their lot area. The site-specific “R3 (84)” zone permits a maximum lot coverage of 35% for two-storey dwellings. For dwellings with a combination of one and two storey heights, the Building Division considers them as two-storeys dwellings for the purpose of lot coverage calculation.

The existing dwelling covers 33.3% of the total lot area, the one-storey addition represents a 5.5% increase to the lot area, yielding a total lot coverage of 38.5%. Given that the proposed addition is one-storey in height and located in the rear yard, it poses no impact on the massing of the dwelling towards the streetscape. Additionally, sufficient functional space is maintained for grading, drainage, and private amenities on the property, therefore the dwelling will continue to be appropriately developed relative to its lot area.

It is the opinion of staff that the requested variances meet the general intent and purpose of the Zoning By-law.

c) The proposed variances are considered desirable for the appropriate development of the land

The requested variances to permit a one-storey addition for a family room is desirable as it facilitates a modest increase in liveable space within the existing dwelling. The requested variances to facilitate an addition in the rear yard allows the property owners to maximize the lot area in a tasteful manner, as the addition is not visible from the street and is scaled appropriately relative to the surrounding residential area. The Town's Engineering Division has reviewed the subject application and has commented no concerns to any related drainage or grading matters. Additionally, no trees are proposed to be removed.

Staff consider the requested variances to be desirable for the appropriate development of the lands.

d) The proposed variance is considered minor in nature

The question of the minor in nature of a proposed variance can be related to its scale and impact on adjacent properties. In the opinion of Staff, the requested variance is minor and is not expected to have any adverse effects on the subject lands, neighbouring properties, or the character of the existing neighbourhood as a whole.

Since the subject property located in a cul-de-sac, the immediate surrounding lotting pattern is inconsistent. This non-uniformity benefits the proposed development as the addition will not worsen potential massing, shadowing, or privacy concerns towards neighbouring properties, as sightlines are already impeded by the sporadic lotting pattern.

Based on the one-storey nature of the proposed addition, which extends only the east portion of the rear wall (as shown in Appendix B), Staff would consider the variance to be minimal and will have no impact on surrounding properties or the neighbourhood character.

Additional Comments

The minor variance application was circulated to Town Department/Divisions and to external agencies for review and comment. The following comments were provided:

Department or Agency	Comments
Building Division	Preliminary Zoning Review was completed. No objections.

August 14, 2025

5 of 6

Report No. MV-2025-29

Engineering Division	No objections.
Operational Services (Parks)	No objections.
Operational Services (Public Works)	No objections.
Central York Fire Services	No objections.
York Region	No objections.
LSRCA	No objections.
Alectra	No objections.

Public Correspondence

Written submissions were not received at the time of writing of this report. Should written submissions be received after the writing of this report, the Secretary Treasurer will provide the submission(s) to Committee members at the meeting.

Conclusion

Planning staff have reviewed the application regarding Section 45 (1) of the *Planning Act*, R.S.O. 1990, c.P.13, as amended, and believe that the requested variance meets the four tests of the *Planning Act* for granting minor variances. Staff recommend approval of the requested variance subject to the conditions outlined in Appendix 'A.'

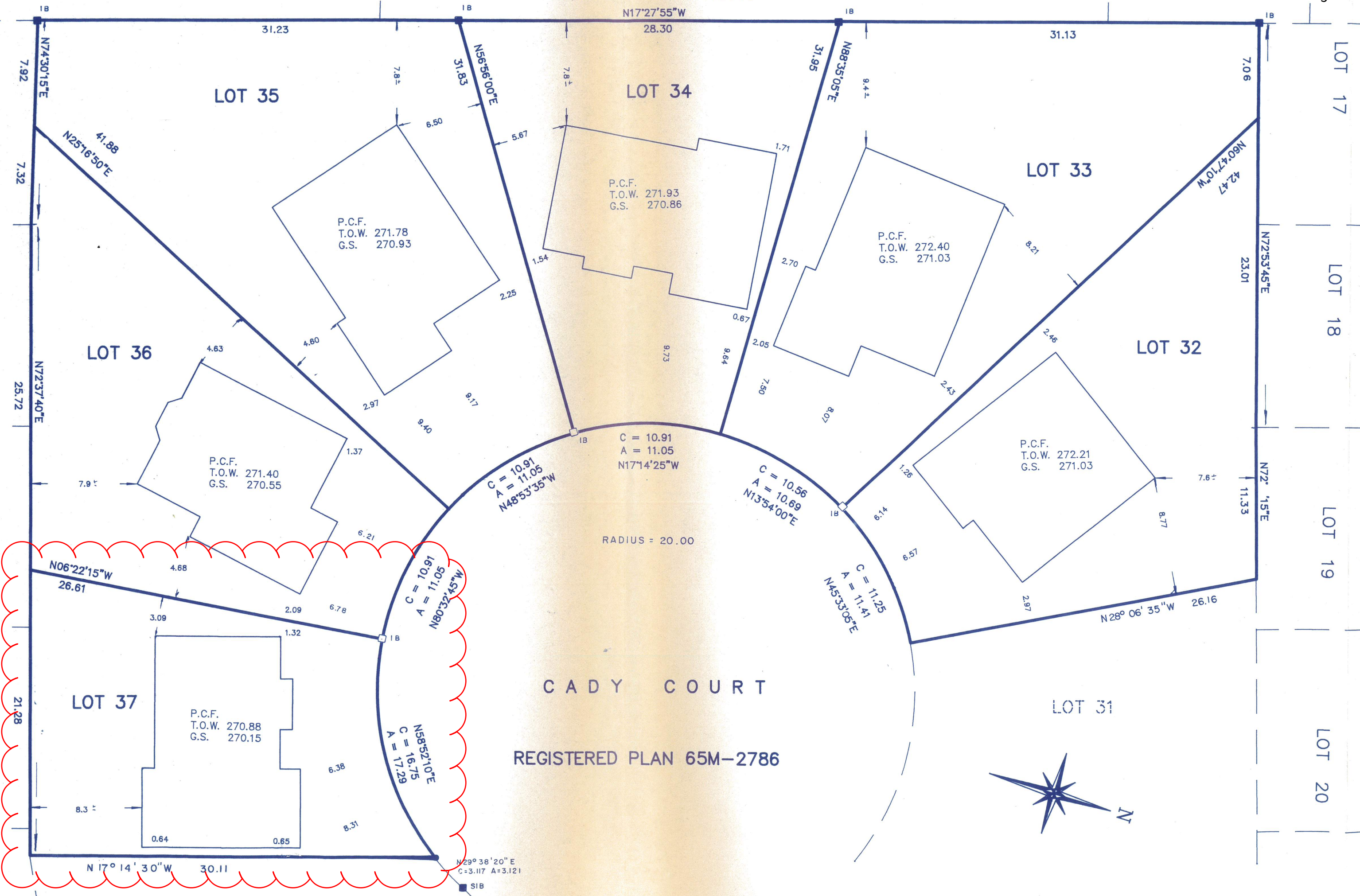
Attachments

Appendix 'A' – Recommended Conditions of Approval

Appendix 'B' – Site Plan

Appendix 'A' – Conditions of Approval**Planning and Development Services:**

1. That the variance only applies to the subject property in conformity with the plans attached as 'Appendix B' to this Staff Report, to the satisfaction of the Director of Planning and Development Services or designate.



The following Registered Design Firm and Registered Designer take responsibility for the design of the herein described work.

Registered Design Firm: **New Image Architectural Design**
BCIN 23165

Registered Designer: **Stan Mallory**
BCIN 29764

Signature/Date: 05-06-25

This drawing, as an Instrument of Service, is provided by and is the property of the Designer. The contractor shall check and verify and accept responsibility for all dimensions and conditions on site and shall notify the Designer of any errors, variations or discrepancies from the supplied drawings and/or information. All drawings forming a part of this drawing set shall be read together and not independently.

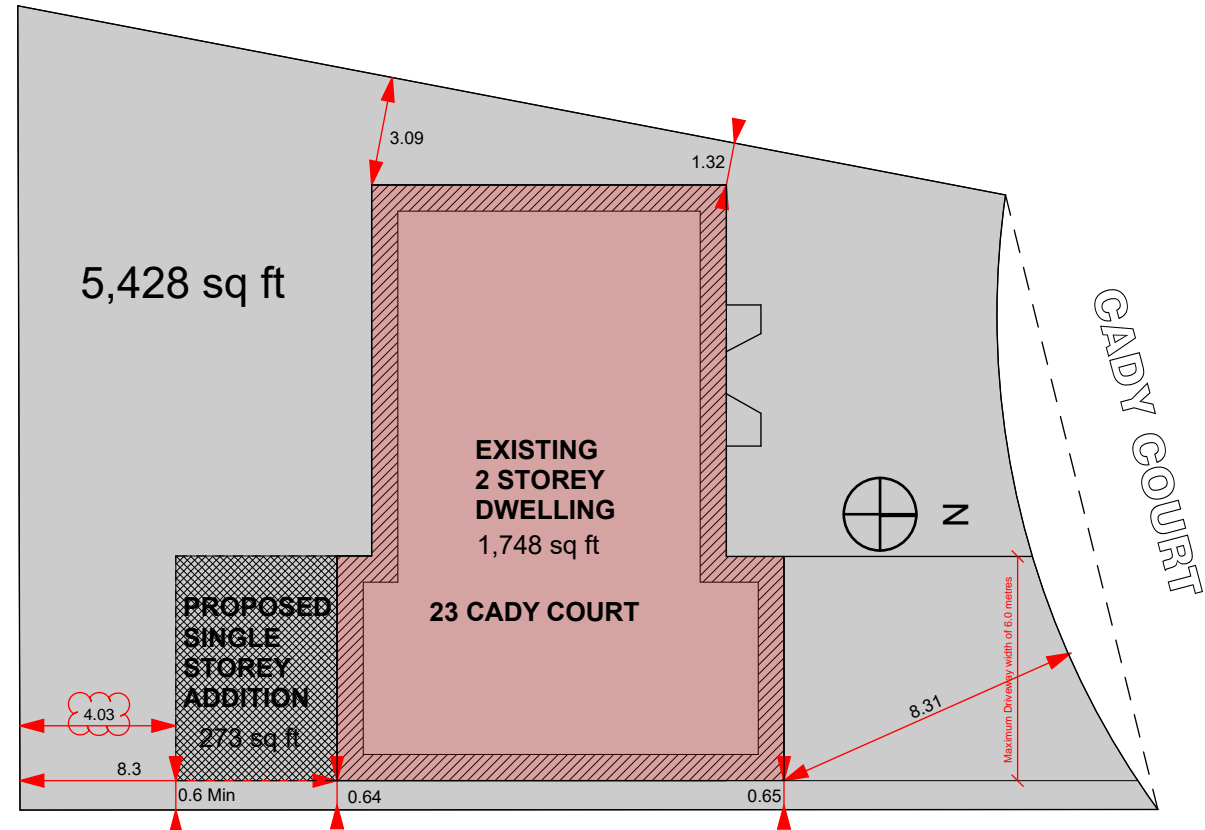
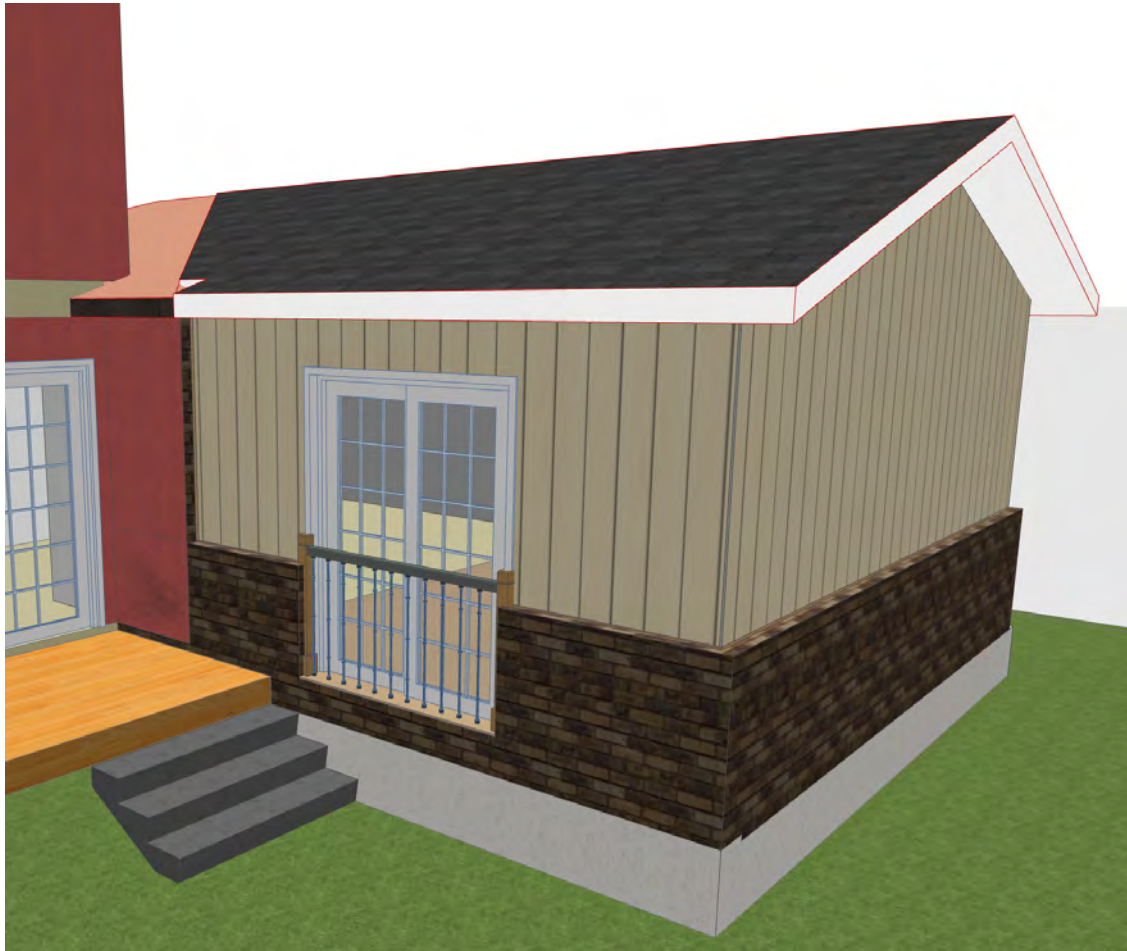
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23 CADY COURT
AURORA, ONTARIO

DATE: 040625	PROJECT No.
SCALE: 3/16" = 1'=-0"	DRAWING No.
DRAWN BY:	A2.01

Date of issue: June 5, 2025



LOT AREA: 5248 sq.ft. (487.56 sq.m.)
HOUSE AREA: 1748 sq.ft. (162.40 sq.m.)
EXISTING HOUSE COVERAGE: 33.31%
PROPOSED REAR ADDITION AREA: 273 sq.ft. (25.36 sq.m.)
TOTAL PROPOSED BUILDING AREA: 2021 sq.ft. (187.76 sq.m.)
TOTAL PROPOSED LOT COVERAGE: 38.51%

1 SITE PLAN

SCALE: 1:200

SCALE: 1:200

**TOWN OF AURORA
PLANNING & DEVELOPMENT SERVICES
BUILDING DIVISION**

PERMIT NO.: PR20251007 **DATE:** Jun. 6, 2025

APPROVED BY: Ashley Vanderwal

PRELIMINARY ZONING REVIEW

[illegible]

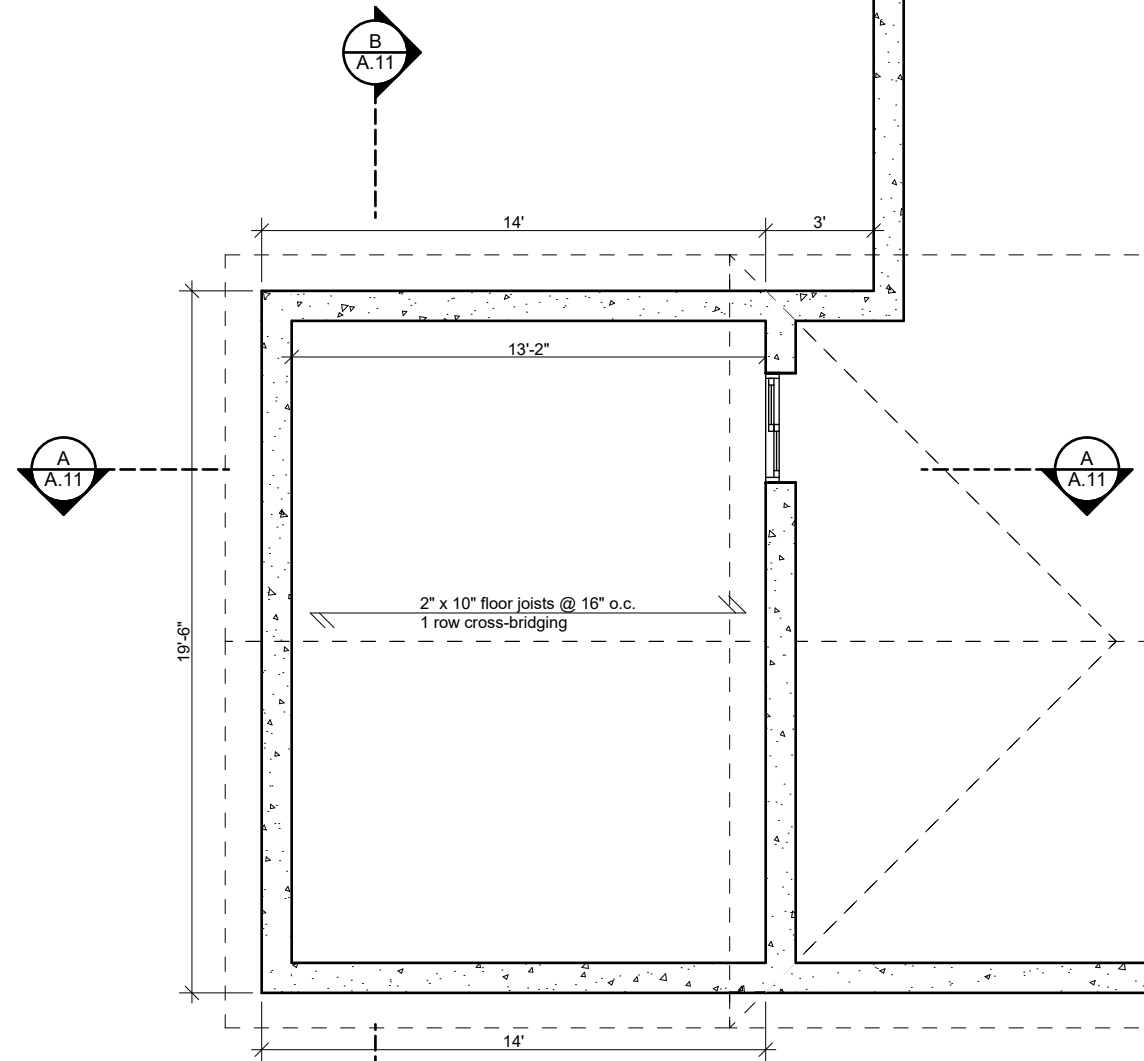
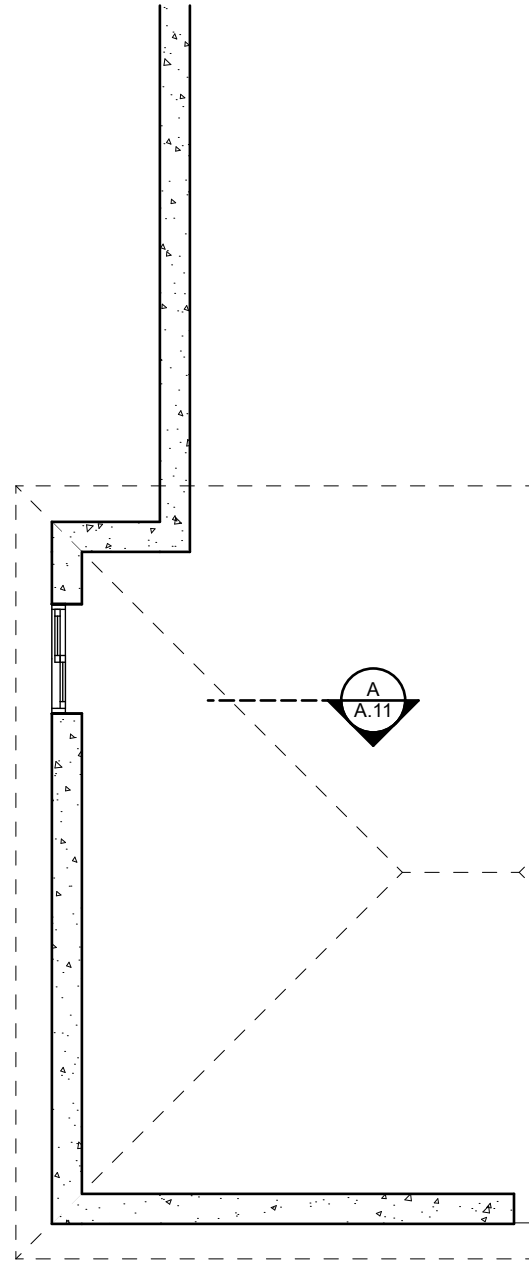
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PROPOSED ADDITION

DRAWING:

DATE: 040625	PROJECT No.
SCALE: 3/16" = 1'=-0"	DRAWING No. A3.01
DRAWN BY:	

Date of issue: June 5, 2025



**TOWN OF AURORA
PLANNING & DEVELOPMENT SERVICES
BUILDING DIVISION**

PERMIT NO.: PR20251007 DATE: Jun. 6, 2025

APPROVED BY: *Ashley Vanderwal*

PRELIMINARY ZONING REVIEW



NEW IMAGE ARCHITECTURAL DESIGN
1-800-363-4294
199 Carlson Drive, Newmarket, Ontario L3Y 3H4

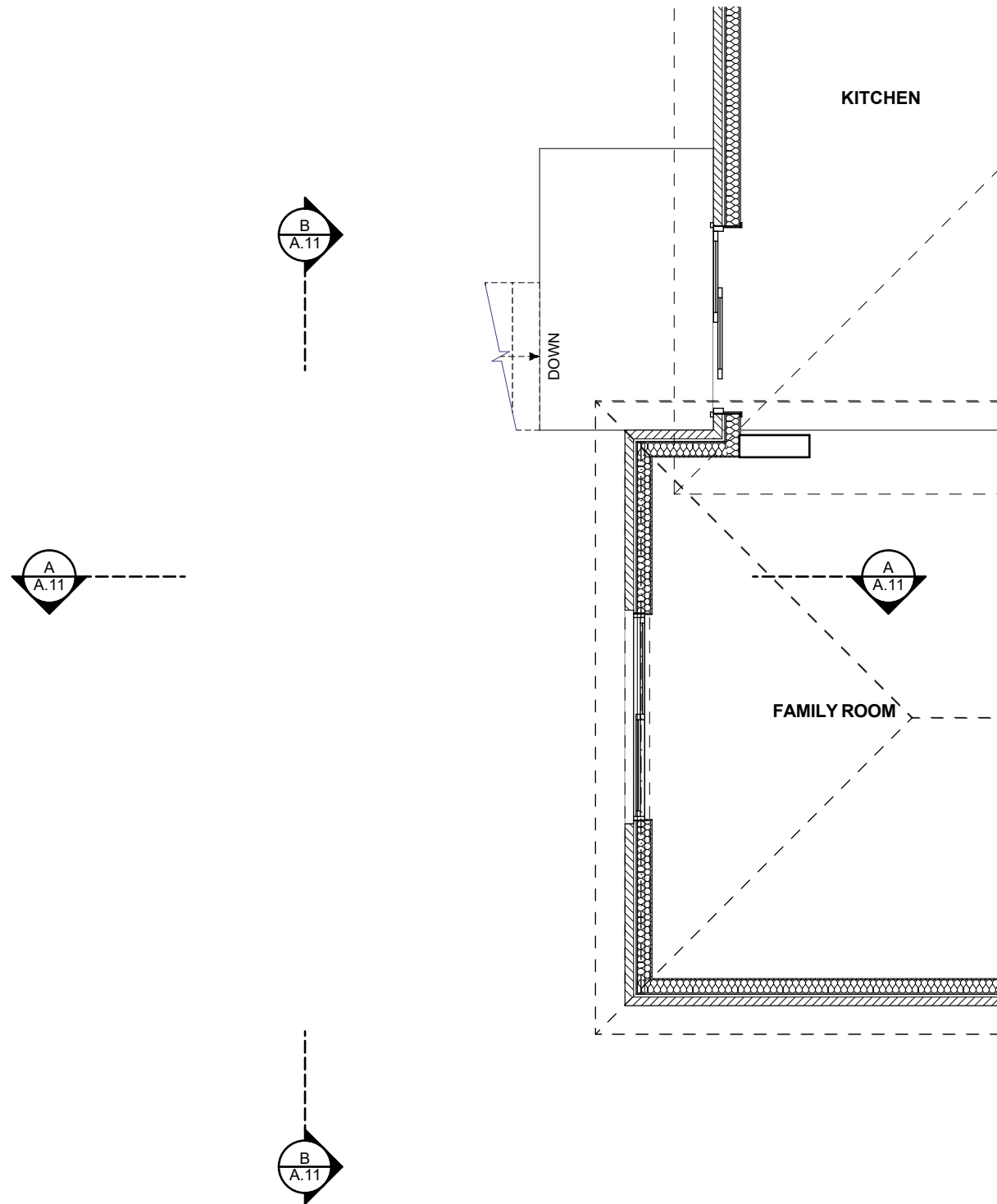
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BCIN 23165

Registered Designer: **Stan Mallory**
BCIN 29764

Signature/Date: 05-06-25

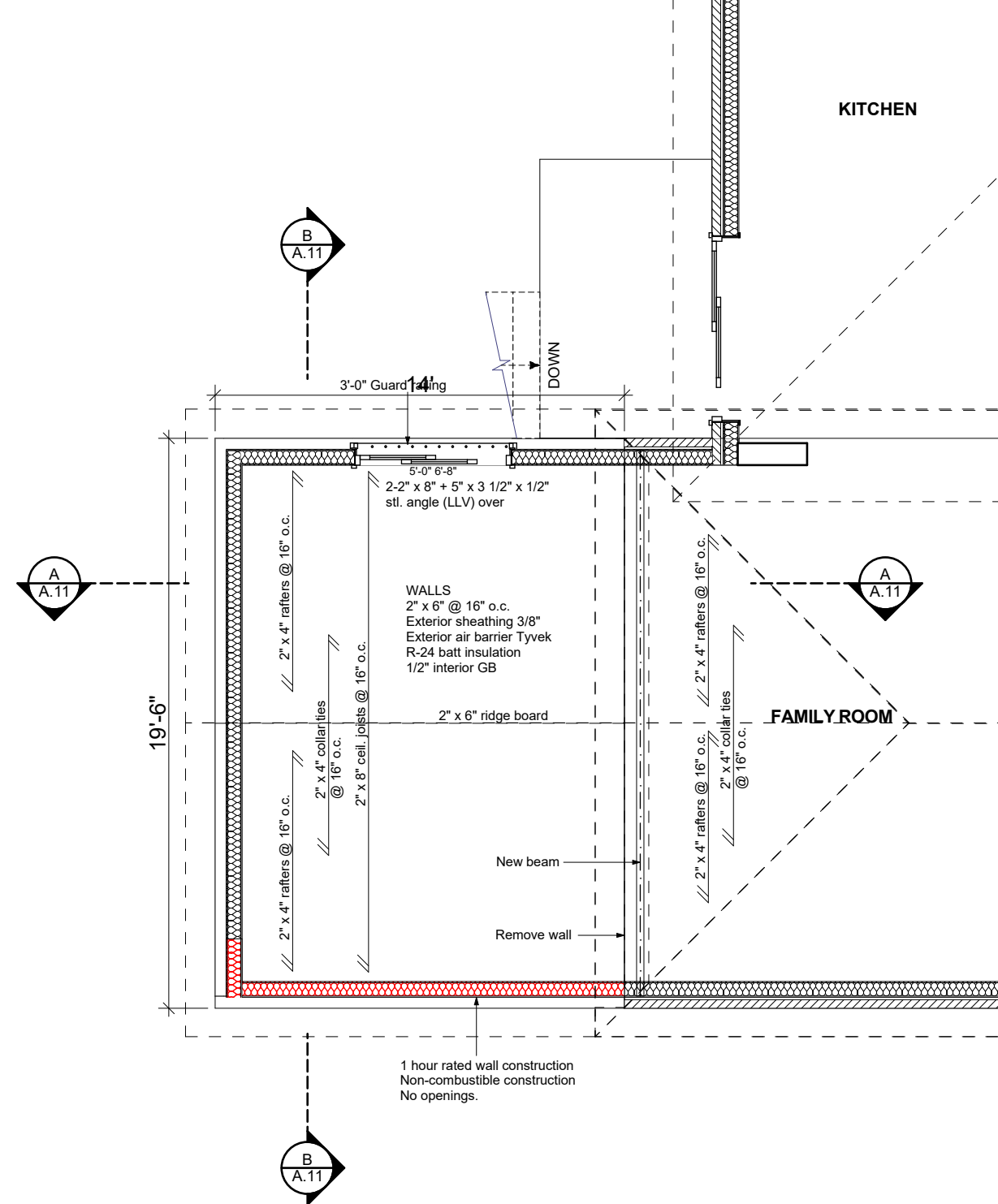
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2

MAIN FLOOR PLAN - EXISTING

SCALE: 3/16" = 1'-0"



1

MAIN FLOOR PLAN - PROPOSED

SCALE: 3/16" = 1'-0"

PRELIMINARY

PROJECT:

PROPOSED ADDITION

23 CADY COURT
AURORA, ONTARIO

DRAWING:

DATE: 040625

SCALE:	DR
3/16" = 1'=-0"	

DRAWN BY:

PROJECT No.

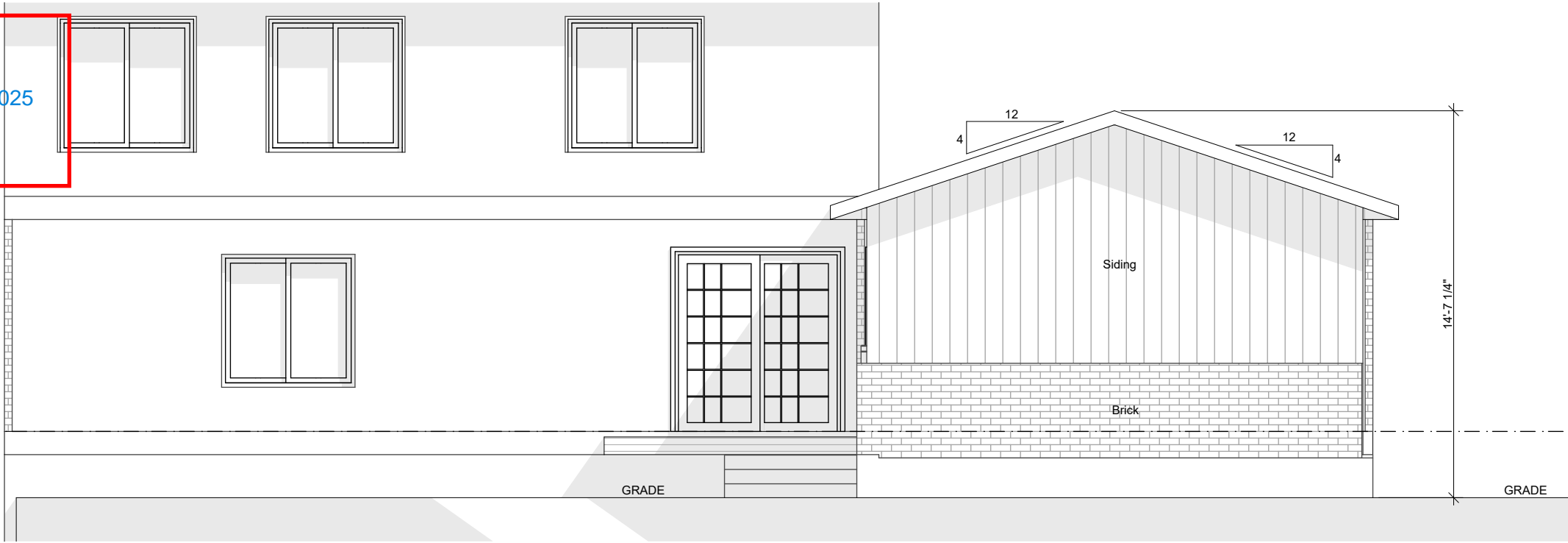
DRAWING No.

A3.02

Date of issue: June 5, 2025

TOWN OF AURORA
PLANNING & DEVELOPMENT SERVICES
BUILDING DIVISION
PERMIT NO.: PR20251007 DATE: Jun. 6, 2025
APPROVED BY: *Ashley Vanderwal*
PRELIMINARY ZONING REVIEW

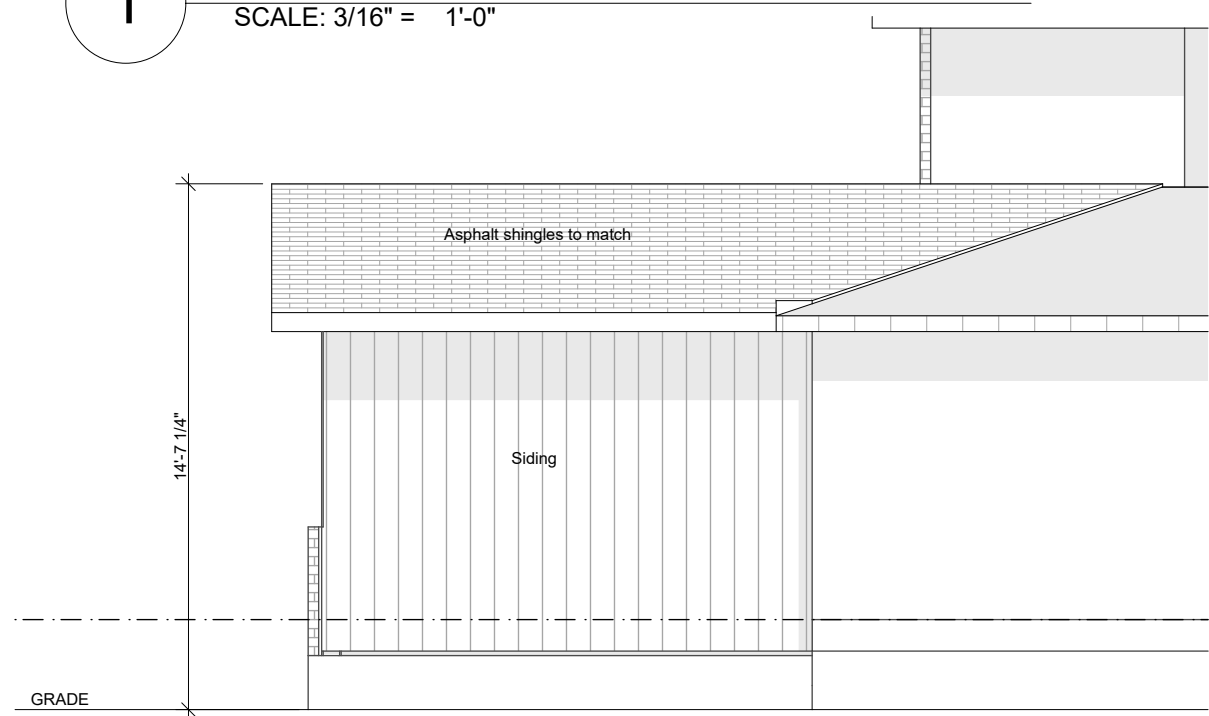
±0"
1 FIRST FLOOR



1

SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



3

EAST ELEVATION

SCALE: 3/16" = 1'-0"



2

WEST ELEVATION

SCALE: 3/16" = 1'-0"



NEW IMAGE ARCHITECTURAL DESIGN
1-800-363-4294
199 Carlson Drive, Newmarket, Ontario L3Y 3H4

The following Registered Design Firm and Registered Designer take responsibility for the design of the herein described work.
Registered Design Firm: **New Image Architectural Design**
BCIN 23165
Registered Designer: **Stan Mallory**
BCIN 29764
Signature/Date: _____ 05-06-25

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PRELIMINARY

PROJECT:
PROPOSED ADDITION
23 CADY COURT
AURORA, ONTARIO

DRAWING:

DATE: 040625
SCALE: 3/16" = 1'-0"
DRAWN BY:
PROJECT No.
DRAWING No.
A4.01

DATE OF ISSUE: June 6, 2025

PRELIMINARY ZONING REVIEW





100 John West Way
Aurora, Ontario
L4G 6J1
(905) 727-3123
aurora.ca

Town of Aurora

Committee of Adjustment Report

No. MV-2025-31

Subject: **Minor Variance Application**
Ben Walker Limited
205 Industrial Parkway North
PLAN 246 PT LOT 87 RP 65R4573 PARTS 5 TO 7 PT PART 1 RP
65R27176 PARTS 1 AND 2
File: MV-2025-31

Prepared by: Katherine Gatzos, Planner

Department: Planning and Development Services

Date: August 14, 2025

Application

The owner/applicant is requesting relief from the requirements of the Town's Comprehensive Zoning By-law 6000-17, as amended, to facilitate a Recreation Centre use in the existing building. The following relief is being requested:

- a) Section 24.346.1 of the Zoning By-law 6000-17 does not permit a Recreation Centre as a permitted use if a part of the building is used for Industrial Uses or Warehouse Uses. There are Industrial Uses existing in the building.

Background

Subject Property and Area Context

The subject lands have two (2) municipal addresses being 185 and 205 Industrial Parkway North as the lands feature two (2) standalone buildings. The subject application is only pertaining to building municipally known as 205 Industrial Parkway North. The lands are situated on the east side of Industrial Parkway North, north of Lambert Wilson Park. Immediately north of the subject lands is the Town of Aurora Joint Operations Centre.

The building subject to this variance is the northerly building which contains six (6) units occupied by multiple industrial and warehouse uses.

The southerly building contains a daycare (Aurora Children's Centre). The lands have an approximate lot area of 4.436 hectares (10.9 acres), and a lot frontage of approximately 105 metres (344.5 feet) with three (3) vehicular accessways into the property.

In January 2025, the Committee of Adjustment granted a Minor Variance for the subject property to facilitate a Fitness Centre use in a building where there are Industrial uses or Warehouses.

Proposal

The applicant is requesting to permit a Recreation Centre as a permitted use.

Official Plan

The subject property is designated "General Industrial" by the Town of Aurora Official Plan. This designation is intended to ensure long-term protection and continued evolution of existing industrial areas in the Town. A broad range of employment opportunities as well as commercial recreational uses are permitted.

Zoning

The subject property is zoned "Service Employment Exception Zone – E1 (346)" under Zoning By-law 6000-17, as amended. This site-specific zoning clarifies that permitted uses for the subject building is in accordance with the E1 Zone, whereas the southerly building on the lot shall only permit a day nursery.

Preliminary Zoning Review

A Preliminary Zoning Review (PZR) has been completed by the Town of Aurora's Building Division. The PZR identified the required variances and no other non-compliance was identified.

Applicant's stated reason(s) for not complying with the Zoning By-law

As stated on the application form, "Because there are existing industrial use tenants in the building, the existing tenants have "clean operations" consisting of storing and transporting low hazard stock. The potential tenant would like to propose a "Go-Kart" facility use in unit 1 that would complement similar uses along Industrial Parkway North and contrast usage of parking spaces with other tenants by time of day (mostly evenings after regular working hours)".

Planning Comments

Planning Staff have evaluated Minor Variance Application MV-2025-31 pursuant to the prescribed tests as set out in Section 45(1) of the *Planning Act*, as follows:

a) The proposed variance meets the general intent of the Official Plan

The subject property is designated “General Industrial” by the Town of Aurora Official Plan. This designation is intended to ensure the long-term protection and continued evolution of existing, older industrial areas. Within this designation, a broad range of employment opportunities as well as commercial recreational uses are permitted.

The proposed variance which requests to add a “Recreation Centre” use to a building with existing Industrial uses conforms to the Official Plan and provides for a use that is permitted under the General Industrial designation. Additionally, the proposed variance will contribute to the Town’s economic growth and generate local job opportunities. Planning staff are of the opinion that the requested minor variance maintains the general intent and purpose of the Official Plan.

b) The proposed variance meets the general intent of the Zoning By-law

The subject lands are zoned “Service Employment Exception Zone – E1 (346)” under Zoning By-law 6000-17, as amended, which permits a wide variety of uses such as industrial uses, warehouses, offices, food processing establishments, and repair shops. A Fitness Centre use was permitted in January 2025 through Minor Variance application MV-2024-33. The applicant has submitted this subject Minor Variance application to permit a Recreation Centre use, to complement the existing Fitness Centre Use, in order to provide a wider range of activity based services to the community.

The intent of the Zoning By-law provision is to control excessive usage of an industrial property during peak hours to protect from potential vehicular movement and parking conflicts. The site features three (3) vehicular accesses along Industrial Parkway North, with two (2) buildings on site. The subject building is the northerly building 12,667 m² (136,346 square feet) in size which features six (6) units which include industrial/warehousing uses. The southerly building is 1,650 m² (17,760 square feet) in size and is used for a daycare. All existing and proposed loading docks for the subject building are located on the south side of the northerly building, which are accessible from the middle entrance of the three along Industrial Parkway North. As such, the multiple entrances along industrial parkway will help separate potential truck and passenger vehicle entering and exiting the site. Furthermore, potential parking congestion concerns

are mitigated as peak hours of the proposed recreation centre are predominantly weekday evenings and weekends which contrasts with the peak hours of the industrial/warehouse and daycare uses – predominantly weekday mornings and afternoons.

The subject property is in an industrial area within the Town that contains a mix of employment, warehousing, and fitness/recreational uses. A variance to include a Recreation Centre at the subject property is in keeping within the range of permitted uses in the E1 (346) Zone. Staff are of the opinion that the subject variance maintains the general intent and purpose of the Zoning By-law.

c) The proposed variance is considered desirable for the appropriate development of the land

The subject property is located in an industrial area within the Town that predominantly contains employment, industrial, and manufacturing uses. South of the property is Lambert Wilson Park which contains numerous baseball fields, and further south is the Aurora Family Leisure Complex and the Aurora Sports Dome. While the proposed Recreation Centre is within a multi-unit industrial building with existing industrial/warehouse uses, it abuts properties which contain fitness and recreational facilities/infrastructure. Furthermore, the proposed Recreation Centre use complements the existing Fitness Centre use as permitted through minor variance application MV-2024-33, allowing for a multitude of activity based services to be provided to the public.

The proposed variance also demonstrates the vision and fundamental principles outlined in the Official Plan through the “Advancing the Economy” principle. This speaks to encouraging a competitive business environment and ultimately advancing and sustaining Aurora’s long-term economic prosperity. The proposed minor variance application enhances the ability to live, work, and play within the Town of Aurora. It is Staff’s opinion that the variance is considered desirable for the appropriate development of the land.

d) The proposed variance is considered minor in nature

The request to add a Recreation Centre use to a building with existing Industrial uses is minor in nature and will not negatively impact the industrial building or surrounding area. The subject variance to permit the Recreation Centre use within the existing industrial building maintains the integrity of the Official Plan and Zoning Bylaw and will not have an impact on the existing operations or uses. Furthermore, no physical changes to the building are proposed.

Given the types of uses immediately surrounding the proposed location of the business, their hours of operation, the proposed use of the subject property will not detract from the overall site and surrounding area's employment/industrial character. Overall, staff consider the proposed variance minor in nature

Additional Comments

The minor variance application was circulated to Town Department/Divisions and to external agencies for review and comment. The following comments were provided:

Department or Agency	Comments
Building Division	Preliminary Zoning Review completed. No objection.
Engineering Division	No objection.
Operational Services (Parks)	No objection.
Operations (Public Works)	No objection.
Central York Fire Services	No objection.
York Region	No objection.
LSRCA	No objection.

Public Correspondence

Written submissions were not received at the time of writing of this report. Should written submissions be received after the writing of this report, the Secretary Treasurer will provide the submission(s) to Committee members at the meeting.

Conclusion

Planning Staff have reviewed the application with respect to Section 45 (1) of the Planning Act, R.S.O., 1990, c.P.13, as amended, and believe that the requested variance meets the four tests of the Planning Act for granting minor variances. Staff recommend approval of the requested variance subject to the condition outlined in Appendix 'A'.

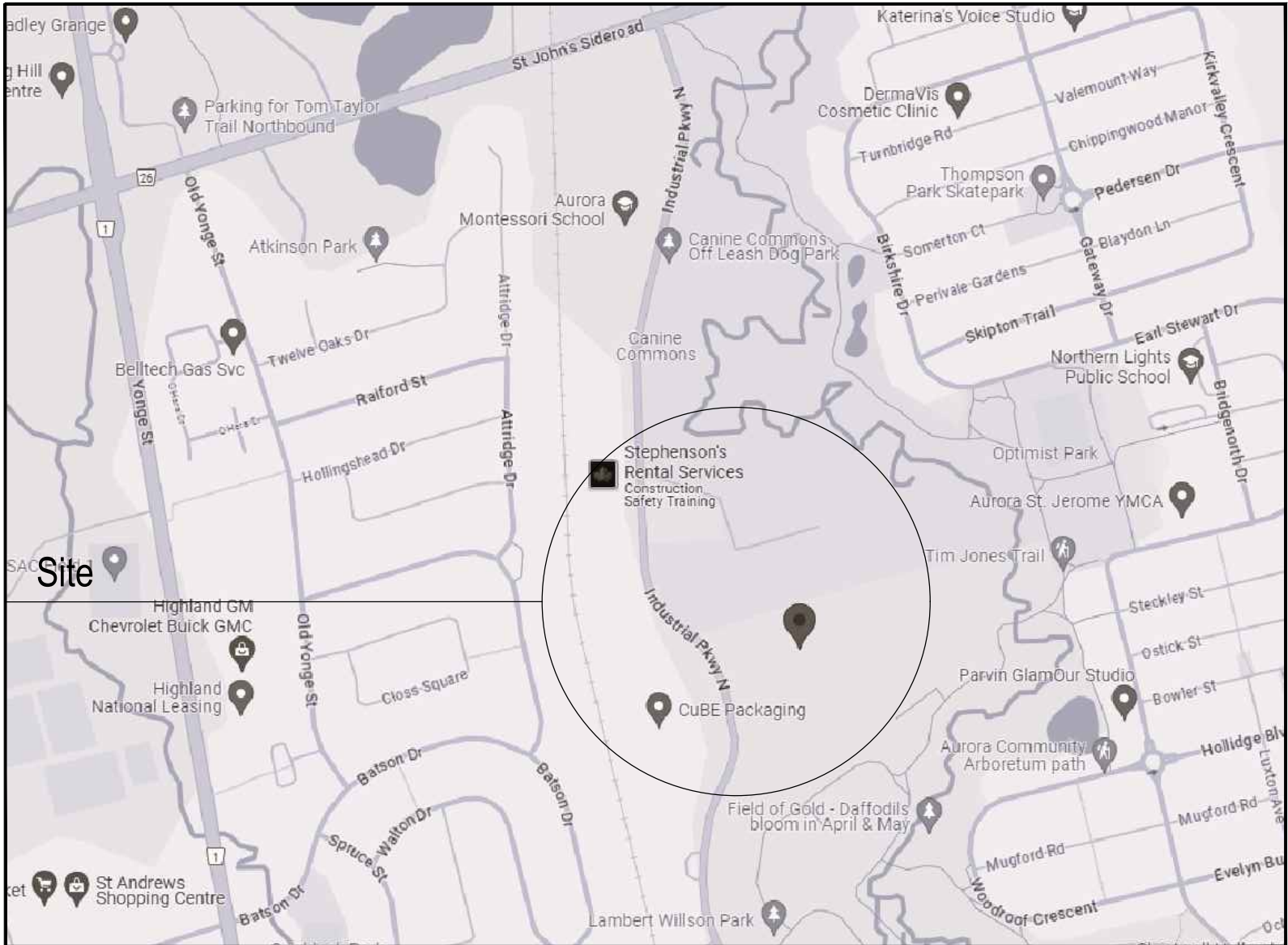
Attachments

Appendix 'A' – Recommended Conditions of Approval

Appendix 'B' – Proposed Site Plan

Appendix 'A' – Conditions of Approval**Planning and Development Services:**

1. That the variance only applies to the subject property in conformity with the plans attached as 'Appendix B' to this Staff Report, to the satisfaction of the Director of Planning and Development Services or designate.



INDUSTRIAL - RECREATIONAL USE

205 INDUSTRIAL PARKWAY NORTH, SUITE 1

AURORA, ONTARIO

SCOPE OF WORK

PROPOSED RECREATIONAL USE IN EXISTING INDUSTRIAL BUILDING

SHEET LIST

ARCHITECTURAL
A001 COVER PAGE
A101 EXISTING SITE PLAN

PROJECT CONTACT

ARCHITECTURAL:

CSPACE

ARCHITECTURE

58-8841 GEORGE BOLTON PKWY, BOLTON, ON L7E 2X8
T: 647.588.1784 E: info@cspacex.ca

GENERAL NOTES

TENDERING, PERMITS AND INSPECTIONS, COMPLIANCE OF WORK:

1. NO DEMOLITION OR CONSTRUCTION IS TO START WITHOUT ISSUANCE OF A BUILDING PERMIT.
2. THE CONTRACTOR SHALL GIVE ALL REQUIRED NOTICES FOR INSPECTIONS AS REQUIRED BY THE BUILDING PERMIT AND ALL AUTHORITIES HAVING JURISDICTION.
3. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PAY FOR, AND OBTAIN, A SIGNED RELEASE FROM THE MUNICIPALITY HAVING JURISDICTION INDICATING THAT ALL WORK IS COMPLETED AND THE PERMIT IS SIGNED OFF.
4. ALL WORK IN THIS CONTRACT SHALL CONFORM TO THE REQUIREMENTS OF ALL EXISTING BY-LAWS, CODES, MUNICIPAL GOVERNMENTS AND JURISDICTIONS HAVING AUTHORITY OVER THIS PROJECT.
5. CONTRACTOR IS TO COMPLY WITH ALL BASE BUILDING WORK REGULATIONS AND PROCEDURES. REFER TO TENANT GUIDELINES AND/OR CO-ORDINATE WITH PROPERTY MANAGER.

SITE MEETINGS:

1. THE GENERAL CONTRACTOR, DURING THE COURSE OF THE WORK, SHALL CO-ORDINATE REGULARLY SCHEDULED SITE MEETINGS.
2. IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO CHAIR, RECORD AND DISTRIBUTE MEETING MINUTES INCLUSIVE OF SCHEDULE UPDATES.

CO-ORDINATION OF THE WORK:

1. IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO ENSURE THAT THE CONTRACT DOCUMENTS ARE MADE AVAILABLE TO ALL TRADES IN ORDER TO ENSURE INCLUSION OF ALL ASPECTS OF THE WORK.
2. ALL DRAWINGS AND SPECIFICATIONS MUST BE REVIEWED IN CONJUNCTION WITH ALL OTHER DRAWINGS OF ALL CONSULTANTS INCLUDING BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL ENGINEERING DRAWINGS AND SPECIFICATIONS. EXTRAS FOR MISSED WORK THAT WAS COVERED ON ANY OF THE DRAWINGS EVEN IF NOT COVERED IN ALL OF THE DRAWINGS WILL NOT BE CONSIDERED.
3. ANY CONFLICTS, DISCREPANCIES AND/OR OMISSIONS ARE TO BE REPORTED TO COMLEY VAN BRUSSEL DESIGN AND MANAGEMENT FOR CLARIFICATIONS PRIOR TO PROCEEDING WITH ANY WORK.

SITE MAINTENANCE, PROTECTION AND CLEANING:

1. THE GENERAL CONTRACTOR SHALL PROTECT ALL FINISHED AREAS DURING THE SCOPE OF THE PROJECT. ANY RESULTANT DAMAGE SHALL BE MADE GOOD BY THE GENERAL CONTRACTOR TO THE SATISFACTION OF THE DESIGNER.
2. CONTRACTOR IS TO PROVIDE PROTECTION TO ANY BASE BUILDING ELEMENTS DURING THE SCOPE OF THE PROJECT.
3. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL, SAFE STORAGE AND RE-INSTALLATION OF CEILING TILES AS REQUIRED FOR THE SUB-TRADES TO COMPLETE THEIR WORK.
4. ALL DEBRIS SHALL BE REMOVED FROM SITE ON A DAILY BASIS. SITE TO BE LEFT BROOM CLEAN DAILY.
5. CONTRACTOR IS TO INCLUDE FOR ALL NECESSARY AND REQUIRED MEANS TO MAINTAIN A CLEAN WORK SITE AND FOR THE REMOVAL OF DEBRIS AND RUBBISH INCLUDING BUT NOT LIMITED TO GARBAGE CHUTES AND DISPOSAL BINS.
6. EXITS AND POINTS OF EGRESS SHALL BE CLEARLY IDENTIFIED AND MAINTAINED ACCESSIBLE DURING THE PROJECT.

DEMOLITION AND CONSTRUCTION:

1. DESIGNATED MATERIALS (E.G. ASBESTOS); IMMEDIATELY REPORT THE DISCOVERY OF DMS AND STOP WORK IN THE AREA UNTIL THE BUILDING MANAGER OR OWNER AUTHORIZES OTHERWISE. ALL CLEAN UP, REMOVAL AND DISPOSAL OF DMS SHALL CONFORM TO THE ONTARIO MINISTRY OF LABOUR CURRENT REGULATIONS.
2. FIREPROOFING: PATCH AND REPAIR ALL FIREPROOFING DAMAGED DURING THE CONSTRUCTION.

1	25.06.27	ISSUED FOR PRELIMINARY ZONING REVIEW
NO.	DATE	REVISION

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.

DO NOT SCALE DRAWINGS.

THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED.

COPYRIGHT RESERVED.

CSPACE

ARCHITECTURE

58-8841 GEORGE BOLTON PKWY, BOLTON, ON L7E 2X8
T: 647.588.1784 E: info@cspacex.ca

PROJECT
INDUSTRIAL - FITNESS CENTER
205 INDUSTRIAL PARKWAY NORTH,
SUITE 1,
AURORA, ON.

DRAWING TITLE
COVER PAGE

SCALE AS NOTED		PROJECT NO. 25-2207	
DRAWN BY AC	APPROVED CCP		DATE 25.06.26

DRAWING NO.

A001



100 John West Way
Aurora, Ontario
L4G 6J1
(905) 727-3123
aurora.ca

Town of Aurora
Committee of Adjustment Report
No. C-2025-06

Subject: **Consent Application**
Tangreda
20 Oak Court
PLAN M1457 LOT 27
File: C-2023-06

Prepared by: **Katherine Gatzos, Planner**

Department: Planning and Development Services

Date: August 14, 2025

Application

The proposed consent application is to sever the subject lands as follows (see Appendix 'B' and 'C'):

a) **Proposed Retained Lands**

Part 1 of the Draft Plan of Severance (southern half). Part 1 features a lot area of 597 m² (6426.05 ft²) and a lot frontage of 17.61 m (57.78 ft).

b) **Proposed Severed Lands**

Part 2 of the Draft Plan of Severance (northern half). Part 2 features a lot area of 650 m² (6996.54 ft²) and a lot frontage of 27.24 m (89.37 ft).

Background

Subject Property and Area Context

The subject property, municipally known as 20 Oak Court, is located on the north side of the Oak Court cul-de-sac, east of Spruce Street. The existing property contains a two-storey dwelling. The rear lot line of the subject property has frontage onto Spruce Street and is therefore considered a through lot.

Proposal

The severance plan is shown in Appendix 'B,' with Part 1 being the Retained Lands at the south and Part 2 being the Severed Lands at the north. The application proposes to sever a 650 m² parcel of land on the northern portion to create a new lot. The subject property is identified as a through lot, with frontage on Oak Court and Spruce Street. The retained lot will maintain existing access onto Oak Court, while the severed lot is proposed to have access onto Spruce Street. There is no proposed development currently associated with this application.

The details of the proposed consent are as follows:

	Part	Lot Area	Lot Frontage
Retained Parcel	1	597 m ² sqm 6426.05 ft ² sqft	17.61 m 57.78 ft
Severed Parcel	2	650 m ² sqm 6996.54 ft ² sqft	27.24 m 89.37 ft
Existing Lot (20 Oak Court)	1 & 2	1247 m ² 13422.59 ft ²	17.61 m 57.78 ft

Bill 23 – the More Homes Built Faster Act

Bill 23 amended the Planning Act to support the province's goal of adding 1.5 million new homes in Ontario by 2031. The intent of the legislation is to assist the province in meeting planned minimum housing and density targets. Infill developments are specifically seen as assisting with creating housing opportunities through the gentle intensification of traditionally lower density residential areas. The province has also implemented as-of-right permissions for other forms of housing including additional residential units, with lots now able to contain upwards of 3 units.

Official Plan

The subject property is designated "Stable Neighbourhoods" by the Town of Aurora Official Plan. Single detached dwellings are permitted under this designation.

Zoning

The subject lands are zoned Detached Third Density Residential (R3) in the Town of Aurora Zoning By-law 6000-17, as amended. The R3 zone permits single detached residential dwellings, and requires a minimum lot area of 460 m², and minimum lot frontage of 15 m. The proposed retained and severed lands comply to the minimum lot standards of the R3 zone.

Preliminary Zoning Review

A Preliminary Zoning Review (PZR) was undertaken by the Building Services Division prior to submission of the subject application. The PZR confirmed that the proposed application will not result in any non-compliance with the Zoning By-law for the severed or retained parcels.

Planning Comments

When considering an application for consent to sever lands, regard shall be had to the criteria of Section 51 (24) of the *Planning Act*. This includes, amongst other things:

- Matters of Provincial Interest
- Conformity with the Official Plan and adjacent plans of subdivision
- Suitability of the land for the purpose for which it is to be subdivided
- Adequacy of utilities, highways and municipal services
- The dimensions and shape of the proposed lots

Matters of Provincial Interest

Staff are satisfied that the proposed consent application is consistent with the Provincial Policy Statement and conforms with applicable provincial plans, as the consent is to facilitate the creation of a new single detached residential lot as part of creating new, gentle intensification housing opportunities in line with provincial objectives. The consent application implements the amendments made through Bill 23 and provides additional housing stock through the infill development of an oversized lot. Staff believe that the consent application demonstrates good planning and strives to provide alternative solutions to assist in the creation of new, attainable housing opportunities.

Conformity with the Official Plan and Adjacent Plans of Subdivision

The proposed consent application intends to add new attainable housing that assists the Town with implementing provincial and regional growth targets while also diversifying the local housing stock. The proposal will add gentle intensification and supports complete community development by providing housing opportunities in close proximity to commercial and social service amenities, parks, and public transportation. The proposed consent does not conflict with the existing lot fabric of the adjacent area, and maintains appropriate access for both parcels.

Staff are of the proposed consent application will align with the Town's Official Plan by creating a new single detached residential lot, in keeping with the existing built form and character of the surrounding neighbourhood. The gentle intensification of the subject property is compatible and located in an appropriate location in Town, that is well serviced by amenities and access to public transportation.

Suitability of the land and adequacy of utilities, services, highways, and access

There is a 0.3m reserve along the rear property line that was implemented through the original subdivision development. The primary intent of the 0.3 metre reserve is to control access from a public road to private property. In some instances, the reserve can dictate driveway locations, or to prevent access to future development lands (or future phases of development lands) until certain requirements are met.

In order to facilitate access to the proposed severed lot from Spruce Street, the applicant is required to lift a portion of the 0.3m reserve (Part 3 on Appendix B – Proposed Severance Plan) to facilitate access for a over Town lands. The lifting of a 0.3 metre reserve must be completed by a By-law enacted by Council. In June 2025, Council passed By-law 6715-25, being a By-law to establish a Public Highway over the subject property. Through the passing of this By-law, Council has permitted access from the subject property onto Spruce Street, therefore ensuring that municipal driveway access is provided to the proposed severed lot.

The proposed new residential lot and overall development is located in proximity to a variety of local amenities and public transportation opportunities. The Aurora Downtown Promenade is just to the west / southwest of the property, centred around the Yonge Street corridor. Additionally, the Aurora GO station is located southeast of the subject property, allowing future residents to be within general walking distance of a major transit station area.

Staff believe that the proposed consent application provides adequate local services and access to transit for the residential intensification. The Town's Engineering Staff have also confirmed that municipal services are available to accommodate the new residential lot and proposed redevelopment.

Dimension and shape of proposed lot

Staff are of the opinion that the proposed consent application is generally compatible with the surrounding area regarding the dimension and shape of both the proposed severed and retained lots and is not anticipated to result in negative impacts on adjacent properties and character of the area.

While no development plans are associated with the consent application, the applicant has provided a site plan for the severed lot that conforms to the lot standards of the Detached Third Density Residential (R3) zone, establishing that a future sizable dwelling can be built that conforms to the applicable zoning standards.

Appropriate access is ensured for both parcels, and the orientation of the proposed single detached residential lot along Spruce Street allows for the development of an appropriately dwelling unit.

As mentioned previously, the applicant intends to construct a single detached residential dwelling on the proposed lot. This form of housing is found within the neighbourhood and will maximize an underutilized lot for the benefit of adding gentle intensification in an appropriate manner as envisioned by provincial legislation. Planning staff are of the opinion that the dimension and shape of the proposed lots is appropriate, and in fact desirable as part of the wise use of land.

Additional Comments

The consent application was circulated to Town Departments/Divisions and external agencies for review and comment. The following comments were provided:

Department or Agency	Comments
Building Division	Preliminary Zoning Review completed. No objection.
Engineering Division	No objection.

August 14, 2025

6 of 8

Report No. C-2025-06

Department or Agency	Comments
Operational Services (Parks)	No objection.
Operations (Public Works)	No objection.
Central York Fire Services	No objection.
York Region	No objection.
LSRCA	No objection.
Alectra	No objection.

Public Correspondence

Written submissions were not received at the time of writing of this report. Should written submissions be received after writing this report, the Secretary-Treasurer will provide the submission(s) to Committee members at the meeting.

Conclusion

Staff have reviewed the application with respect to Section 51 (24) of the *Planning Act*, R.S.O., 1990, c.P.13, as amended, the Provincial Policy Statement, Provincial Plans and the Town's Official Plan and are satisfied with the proposed consent application.

Based on the aforementioned, Staff have no objection to approving the Consent application File. C-2023-06, subject to the conditions attached (Appendix 'A').

Attachments

Appendix 'A' – Recommended Conditions of Approval

Appendix 'B' - Survey

Appendix 'C' – Proposed Severance Plan

Appendix 'A' – Recommended Conditions of Approval

Planning and Development Services:

1. That the consent only applies to the subject property in conformity with the plans attached as Appendix 'B' to this report, to the satisfaction of the Director of Planning and Development Services.
2. That the Owner provide written confirmation of no outstanding payment of property taxes owing to date for the subject property, to the satisfaction of the Secretary-Treasurer.
3. Submission to the Secretary-Treasurer of four (4) white prints of a deposited Reference Plan for review showing the subject lands, which conforms substantially to the application form and sketch as submitted with this application (Appendix 'B'). One copy of the deposited reference plan must be submitted to the Town prior to the issuance of the Certificate of Official. Please note, if the transaction in respect of which the consent was given is not carried out within the two-year period following issuance of the Certificate of Official, the consent effectively will lapse [Planning Act, R.S.O. 1990, c.P.13, as amended, s. 53 (43)]
4. Submission to the Secretary-Treasurer of the required draft transfers to effect the severance applied for under Files C-2023-06 in duplicate, conveying the subject lands, and issuance by the Secretary Treasurer of the certificate required under subsection 53(42) of the Planning Act. Subsection 50 (3 or 5) of the Planning Act, R.S.O 1990, as amended, applies to any subsequent conveyance of or transaction involving the parcel of land that is the subject of this consent.
5. That the Owner pay the Legal Services Fees (\$238.00) regarding the Town's cost to obtain a Parcel Abstract/PIN as per the Application, and written confirmation be provided to the satisfaction of the Secretary-Treasurer. The cheque is payable to "The Corporation of the Town of Aurora" quoting file number C-2023-06 and delivered to the attention of Legal Services, 100 John West Way, Box 1000, Aurora, ON L4G 6J1.
6. That the Owner enter into a Letter of Undertaking to acknowledge the understanding that the Owner will be required to pay cash-in-lieu of Parkland, development charges, municipal service connection fees and any other fees as required and applicable per the Town's Fees and Charges By-law to the satisfaction of the Director of Planning and Development Services.

7. Fulfilment of all of the above conditions shall occur within two (2) years of the date that notice of the decision was given under Section 50(17) or 50(24) of the Planning Act. R.S.O. 1990, c.P.13, or the consent will lapse.
8. Applicant will require a Road Occupancy Permit (ROP) from the Town of Aurora Operations Department for work on Spruce Street and Oak Court. Removal of the sidewalk will not be permitted during the winter months – November 1st to April 1st to ensure winter maintenance operations are not impacted. The proposed driveway entrance will require the removal of the existing sidewalk and regrading to accommodate the entrance. Please follow Town standard R-202.

Metric DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.		Plan 65R-41387	
DATE: MAY 21 2025		DATE: May 23 2025	
JASON CHUN-HO MO ONTARIO LAND SURVEYOR		REPRESENTATIVE FOR THE LAND TITLES DIVISION OF YORK REGION (No. 65)	

Schedule

PART	LOT/BLOCK	REGISTERED PLAN	PIN	AREA(Sq.m.)
1	ALL OF LOT 27	M-1457	ALL OF PIN 03640-0321	597
2				650
3	PART OF BLOCK I (0.30 RESERVE)		PART OF PIN 03640-0342	7.2

PARTS 1 AND 2 - COMPRISES ALL OF PIN 03640-0321
PART 3 - COMPRISES PART OF PIN 03640-0342

PLAN OF SURVEY OF
ALL OF LOT 27 AND
PART OF BLOCK I (0.30 RESERVE)
REGISTERED PLAN M-1457
TOWN OF AURORA
REGIONAL MUNICIPALITY OF YORK
SCALE 1:200

PEARSON & PEARSON SURVEYING LTD. 2025
Ontario Land Surveyors

Bearing Note

BEARINGS SHOWN HEREON ARE GRID, DERIVED FROM OBSERVED REFERENCE POINTS (ORP'S) A, B, C & D BY REAL TIME NETWORK OBSERVATIONS, UTM Zone 17, NAD 83 (CSRS V6) (Epoch 2010.00) DISTANCES SHOWN ON THE PLAN ARE ADJUSTED GROUND DISTANCES AND CAN BE USED TO COMPUTE GRID DISTANCES BY MULTIPLYING BY A COMBINED SCALE FACTOR OF 0.99975145.

FOR BEARING COMPARISONS A ROTATION OF 03°33'10" COUNTER-CLOCKWISE WAS APPLIED TO BEARINGS ON RP, RP1, & P1 TO CONVERT TO UTM BEARINGS.

Integration Data

OBSERVED REFERENCE POINTS (ORP'S) DERIVED FROM GPS OBSERVATIONS USING THE SMARTNET NETWORK SERVICE AND ARE REFERRED TO UTM Zone 17, NAD 83 (CSRS V6) (Epoch 2010.00).

COORDINATE VALUES ARE TO URBAN ACCURACY IN ACCORDANCE WITH SECTION 14(2) OF O.R.G. 216/10, AND CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

POINT ID	NORTHING	EASTING
ORP A	4873642.34	622975.24
ORP B	4873674.30	622928.38
ORP C	4873680.83	622948.96
ORP D	4873654.06	622983.40

Legend

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT SET
SIB	DENOTES	STANDARD IRON BAR
SSIB	DENOTES	SHORT STANDARD IRON BAR
	DENOTES	(PLANTED DUE TO EXISTENCE OF BELOW GRADE SERVICES OR TREE ROOTS)
IB	DENOTES	IRON BAR
IP	DENOTES	IRON PIPE
CC	DENOTES	CUT CROSS
WIT	DENOTES	WITNESS
OU	DENOTES	ORIGIN UNKNOWN
S	DENOTES	SET
M	DENOTES	MEASURED
PRODN	DENOTES	PRODUCTION
PRC	DENOTES	POINT OF REVERSE CURVATURE
N/S/E/W	DENOTES	NORTH/SOUTH/EAST/WEST
RP	DENOTES	REGISTERED PLAN M-87
RP1	DENOTES	REGISTERED PLAN M-1457
RP2	DENOTES	REGISTERED PLAN M-57
P	DENOTES	SURVEYOR'S REAL PROPERTY REPORT BY PEARSON & PEARSON SURVEYING LTD., O.L.S. DATED JANUARY 29, 2024.
P1	DENOTES	PLAN OF SURVEY BY JOHN D. CARTER, O.L.S., DATED SEPTEMBER 12, 1972.
819	DENOTES	R.H. MCBAIN, O.L.S.
921	DENOTES	P. SALNA, O.L.S.
1670	DENOTES	PEARSON & PEARSON SURVEYING LTD., O.L.S.
FDN	DENOTES	TIES TO CONCRETE FOUNDATION
BR	DENOTES	TIES TO BRICK
FR	DENOTES	TIES TO FRAME
DBF	DENOTES	DOUBLE BOARD FENCE
CLF	DENOTES	CHAIN LINK FENCE
WRW	DENOTES	WOOD RETAINING WALL


Surveyor's Certificate

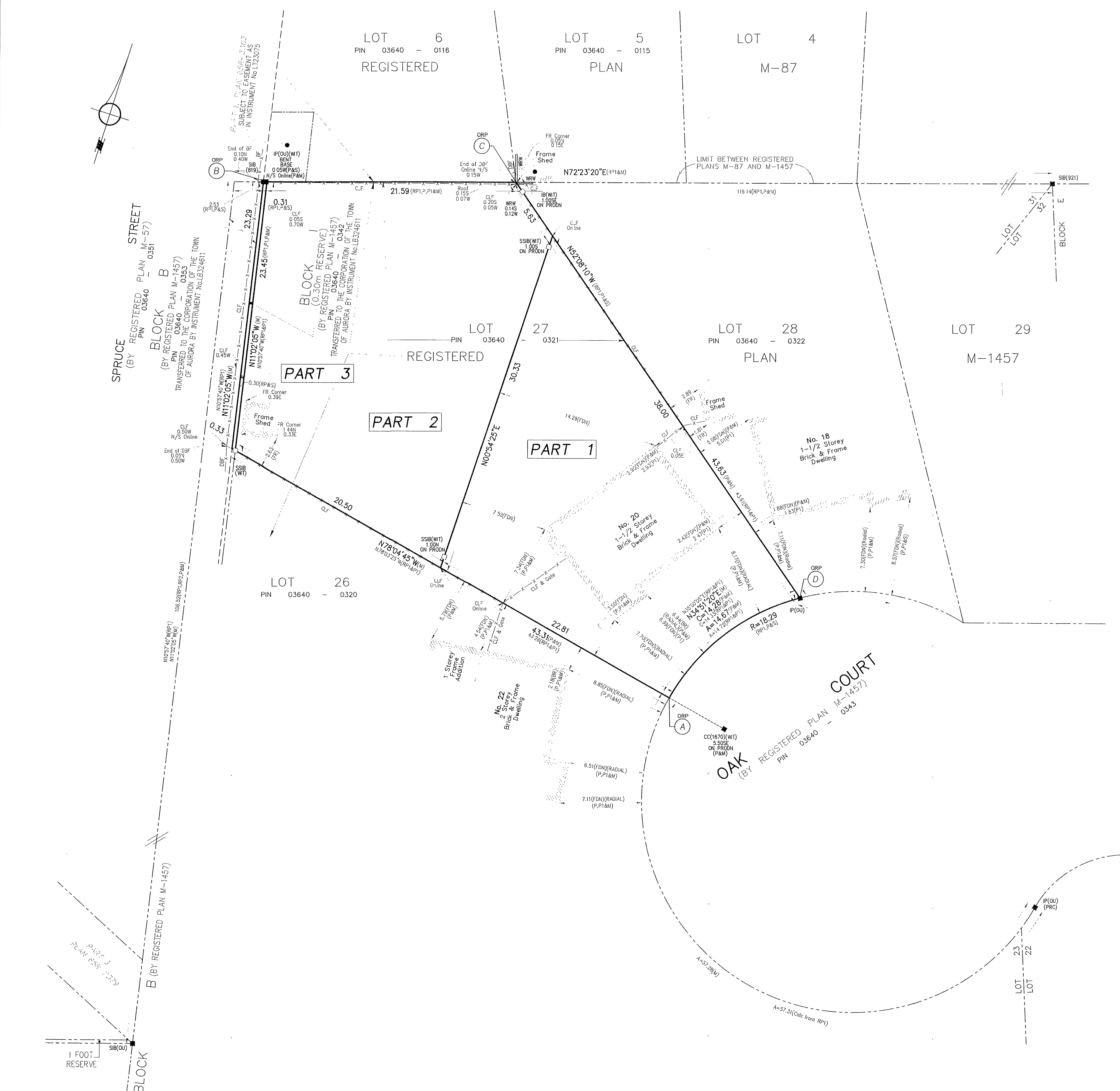
- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY'S ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 - THE SURVEY WAS COMPLETED ON THE 13TH DAY OF MAY, 2025.

May 14, 2025
Date

Jason Chun-Ho Mo
Ontario Land Surveyor

THIS PLAN OF SURVEY RELATES TO A.O.S.
PLAN SUBMISSION FORM NUMBER V-101892

10211 KEELE STREET, UNIT #116, MAPLE ONTARIO, L6A 4R7 O.: (289) 553-8453 E.: michie@pearsonandpearson.com		 PEARSON & PEARSON SURVEYING LTD.
DRAWING: 2812-OakCourt20-RP.DWG PROJECT: 2812 CALC. BY DL DRAWN BY TM/JM CHECKED BY MP/JM		





CONCEPT PLAN

20 OAK COURT
 Part of Lot 82, Concession 1 E &
 Lot 27 - Registered Plan M-1457
 Town of Aurora, Region of York

Legend

- Subject Lands
- Conceptual Dwelling
- Public Boulevard
- Proposed Driveway
- Proposed Curb Cut



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Town of Aurora

Committee of Adjustment Report

No. MV-2025-28

Subject: **Minor Variance Application**
El-Dassouki
7 Steeplechase Avenue
PLAN M1582 LOT 34
File: MV-2025-28

Prepared by: **Kenny Ng, Planner**

Department: Planning and Development Services

Date: August 14, 2025

Application

The owner/applicant is requesting relief from the requirements of the Town's Comprehensive Zoning By-law 6000-17, as amended, to facilitate the construction of a detached garage with loft. The following relief is being requested:

- a) Section 4.1.2(b) of the Zoning By-law permits a maximum height of 4.5 metres. The applicant is proposing a detached garage with a height of 8.07 metres, thereby requiring a variance of 3.57 metres.

Background

Subject Property and Area Context

The subject property is municipally known as 7 Steeplechase Avenue, located on the south side of Steeplechase Avenue, north of Bloomington Road. The subject property currently accommodates a two-storey detached dwelling and have an approximate lot area of 0.2 ha (2.03 ac), and an approximate lot frontage of 71.82 metres (235.63 feet). The existing two-storey detached dwelling has a Gross Floor Area of 340.9 square metres (3669.42 square feet) with driveway access on Steeplechase Avenue. The subject property is located within an estate residential neighbourhood and contains a tennis court, a playground, two decks and mature vegetation across the site.

Proposal

The applicant proposes to construct a detached garage with an upstairs loft and a new asphalt driveway. A new walkway will connect part of the existing driveway to the proposed asphalt driveway that will be used to access the detached garage. The proposed garage can house up to five vehicles and has a loft which is planned to be used as an arts studio. The proposed garage has a gross floor area of 150.44 square metres and height of 8.07 metres. A new armour retaining wall is also being constructed around the detached garage.

Official Plan

The subject property is designated "Estate Residential" by the Town of Aurora Official Plan. The subject property is also designated "Estate Residential" by the Yonge Street South Secondary Plan (OPA 34) and is located within an "Oak Ridge Moraine Settlement Area". The permitted uses within an Estate Residential designation shall be limited to one detached dwelling per lot, accessory structures, and compatible home occupations.

Furthermore, Schedule 'F1' of the Town Official Plan also identifies the presence of a Key Natural Heritage Feature (Woodland) and its associated Minimum Vegetation Protection Zone (MVPZ) on the subject property. As per the Town Official Plan and Oak Ridges Moraine Conservation Plan (ORMCP), a scoped Natural Heritage Evaluation is required to support the construction of the detached garage to demonstrate there is no adverse effects to the ecological integrity of the Plan Area.

Zoning

The subject lands are zoned "Estate Residential (ER)" in the Town of Aurora Zoning By-law 6000-17. The ER zone is characterized by larger lots and setbacks to establish an estate residential area.

Preliminary Zoning Review

A Preliminary Zoning Review (PZR) has been completed by the Town of Aurora's Building Division. The PZR identified the required variance and no other non-compliance was identified.

Applicant's stated reason(s) for not complying with the Zoning By-law

As stated on the application form, "The proposed detached garage will contain an artist loft above the garage space which does require additional building height. The proposed building height of the detached garage has been calculated by the Town of

Aurora at 8.07 m. However, it is the applicant's view that the way this has been calculated greatly exaggerates the perceived reality of building height once the detached garage is constructed. Since a swale is being provided around the structure for drainage purposes, the calculated Established Grade artificially increases the building height. In addition to this, building height has been calculated by the Town from the underside of the dormer soffit, while the applicant would suggest this height be taken from the underside of the garage soffit (the main portion of the roof). If the swale was not considered in the Established calculation and building height taken from the underside of garage soffit, the variance being sought would be as low as 0.86m."

Planning Comments

Planning Staff have evaluated Minor Variance Application MV-2025-28 pursuant to the prescribed tests as set out in Section 45(1) of the *Planning Act*, as follows:

a) The proposed variance meets the general intent of the Official Plan

The intent of the "Estate Residential" designation within the settlement Area of the ORMCP is to recognize the existing estate residential pockets within Aurora with very low densities, and to ensure that the estate lot character and density are maintained. The Oak Ridges Moraine (ORM) "Settlement Area" designation also recognizes the subject property as an established and developed community able to support residential uses. Lots within this designation shall preserve a minimum of 75% of the lot in an open, landscaped or natural condition.

The surrounding neighbourhood can be characterized by large estate lots with ample yard spaces and mature vegetation, with generous setback distances between properties. The subject property will maintain approximately 76% of its lot area in an undisturbed natural condition with its proposed development.

Furthermore, the Official Plan Schedule 'F1' identifies a woodland and its associated vegetation protection zone on the subject property. As per Town Official Plan Policy 12.3.3, a scoped Natural Heritage Evaluation (NHE) is required to support the proposed accessory use to demonstrate there are no adverse effects to the ecological integrity of the natural heritage feature or its functions. A Natural Heritage Evaluation was prepared by the applicant in support of the proposed structure, which includes an analysis of existing environmental conditions on the subject property and adjacent areas.

The submitted Natural Heritage Evaluation and Arborist Report found no presence of a Significant Woodland or Species at Risk (SAR) or SAR habitat. The NHE further provides

recommendations and mitigation measures to be implemented, which have been added to the conditions of approval (Appendix 'A') to ensure the proper implementations.

As per the Arborist Report, a total of 45 trees is to be removed to permit for the proposed development. A compensation value has been provided for the trees planned to be removed. Staff have implemented a condition of approval requiring a comprehensive re-planting plan to be provided with a minimum of 1:2 re-planting ratio for the subject property (minimum of two new trees for every one tree removed) which will consist of native species to the site. The re-planting plan shall have specific focus on the easterly side yard of the subject property to provide for appropriate screening from public view.

As shown on Appendix "C" – Tree Preservation Plan, there are existing mature trees within the front and rear yard of the proposed detached garage that will be retained as part of this development and also serve as visual screening. In staff's opinion, the submitted Natural Heritage Evaluation (NHE) and Arborist Report have sufficiently demonstrated that the proposed development can occur without resulting in negative impacts to the existing natural heritage feature.

Staff note that detached garage is a permitted use in the Estate Residential Neighbourhood. Although detached garages are not a commonly found use in the surrounding neighbourhood, the proposed massing and the built form of the detached garage with loft is generally compatible with the built form in the existing neighbourhood and would not incur any character incompatibility concerns.

Based on the above, staff are of the opinion that the requested variance is in keeping with the general intent of the Official Plan.

b) The proposed variance meets the general intent of the Zoning By-law

The subject property is zoned "Estate Residential (ER)" in the Town of Aurora Zoning By-law 6000-17. The intent of the accessory building height provision is to ensure that the accessory structures remain subordinate to the main dwelling on the property. The height provision also helps to reduce negative impacts on adjacent properties, such as shadowing, access to natural light and views. Furthermore, regulating the height can enhance the overall aesthetic and character of a community, ensuring a consistent scale and built form is maintained, thus resulting in a consistent streetscape.

The subject property is relatively isolated from the surrounding estate properties, as the setback distance to other houses is quite significant. The proposed detached garage will be situated in the easterly side yard of the property and will have a sizable setback distance to public view and any neighbouring buildings (15 metres to front, 30 metres to

side and 20 metres to rear), thus eliminating potential shadowing and massing impacts towards surrounding properties.

In comparing to the existing 2-storey dwelling, the proposed detached garage with loft will be approximately 1/3 of the size of the main dwelling's footprint, along with a lower building height. The detached garage with loft will maintain the goal of being subordinate and secondary to the main dwelling.

As the subject lands are an estate residential lot with generous setbacks and ample vegetated areas along all property lines, staff are of the opinion that the increase in building height for the detached garage will not result in any negative impacts to the streetscape or neighbouring properties.

Based on the above, staff are of the opinion that the requested variance meets the general intent and purpose of the zoning by-law.

c) The proposed variance is considered desirable for the appropriate development of the land

The requested variance to permit an increased building height for the proposed detached garage is considered to be desirable and appropriate development of the land, given that the structure is in keeping with the estate residential zoning provisions, without any anticipated impact to the public realm and streetscape.

The submitted NHE has also demonstrated that the proposed structure would not result in adverse impacts on the natural heritage feature (woodland), with recommended mitigation measures which will be implemented as conditions of approval for this proposed development. Additionally, staff note that the subject property is outside of the LSRCA Regulated Area and will not require an additional permit. Town Engineering staff has also reviewed the subject application and have no concern regarding to the proposed grading and drainage of the proposed development.

As confirmed by the applicant, the proposed detached garage will not be used as a secondary dwelling unit, and the accessory building will be used solely for car storage and leisure/recreational function only. Staff have also implemented corresponding condition of approval to prevent the detached garage being used as a dwelling unit. Another condition implemented by staff is that the applicant shall apply for new addressing for the detached garage. As the garage is situated quite far away from the main dwelling (over 15 metres), the separate addresses will allow for fire services to recognize the correct building to respond to.

Based on the above, staff are of the opinion that the requested variance to be desirable for the appropriate development and use of the lands.

d) The proposed variance is considered minor in nature

The requested variance to increase the maximum height is considered minor, as the subject property is occupied by quite a significant number of mature trees which provide for substantial screening of the proposed detached garage. Adequate amount of front and side yard space remain available to provide for sufficient accessibility and functionality for the owner. The existing landscaping surrounding the proposed structure is maintained, which provides for sufficient screening and will continue to maintain the aesthetic elements of the streetscape. Staff also note that the proposed garage's building footprint accounts for less than 2% of the total lot area, which will result in minimal impact on the existing streetscape and character.

Based on the above, staff are of the opinion that the variance is considered minor in nature.

Additional Comments

The minor variance application was circulated to Town Department/Divisions and to external agencies for review and comment. The following comments were provided:

Department or Agency	Comments
Building Division	Preliminary Zoning Review completed. No objections.
Engineering Division	No objections.
Operational Services (Parks)	No objections with conditions.
Operational Services (Public Works)	No objections.
Central York Fire Services	No objections.
York Region	No objections.
LSRCA	No objections.

Public Correspondence

Two neighbouring property owners have submitted letter in support of the subject variance application.

Conclusion

Planning staff have reviewed the application with respect to the Section 45 (1) of the Planning Act, R.S.O, 1990, c.P.13, as amended, and are of the opinion that the requested variance meets the four tests of the Planning Act for granting of minor variances. Staff recommend approval of the requested variance subject to the conditions outlined in Appendix 'A'.

Attachments

Appendix 'A' – Recommended Conditions of Approval

Appendix 'B' – Site Plan & Elevations

Appendix 'C' – Tree Preservation Plan

Appendix 'A' – Recommended Conditions of Approval

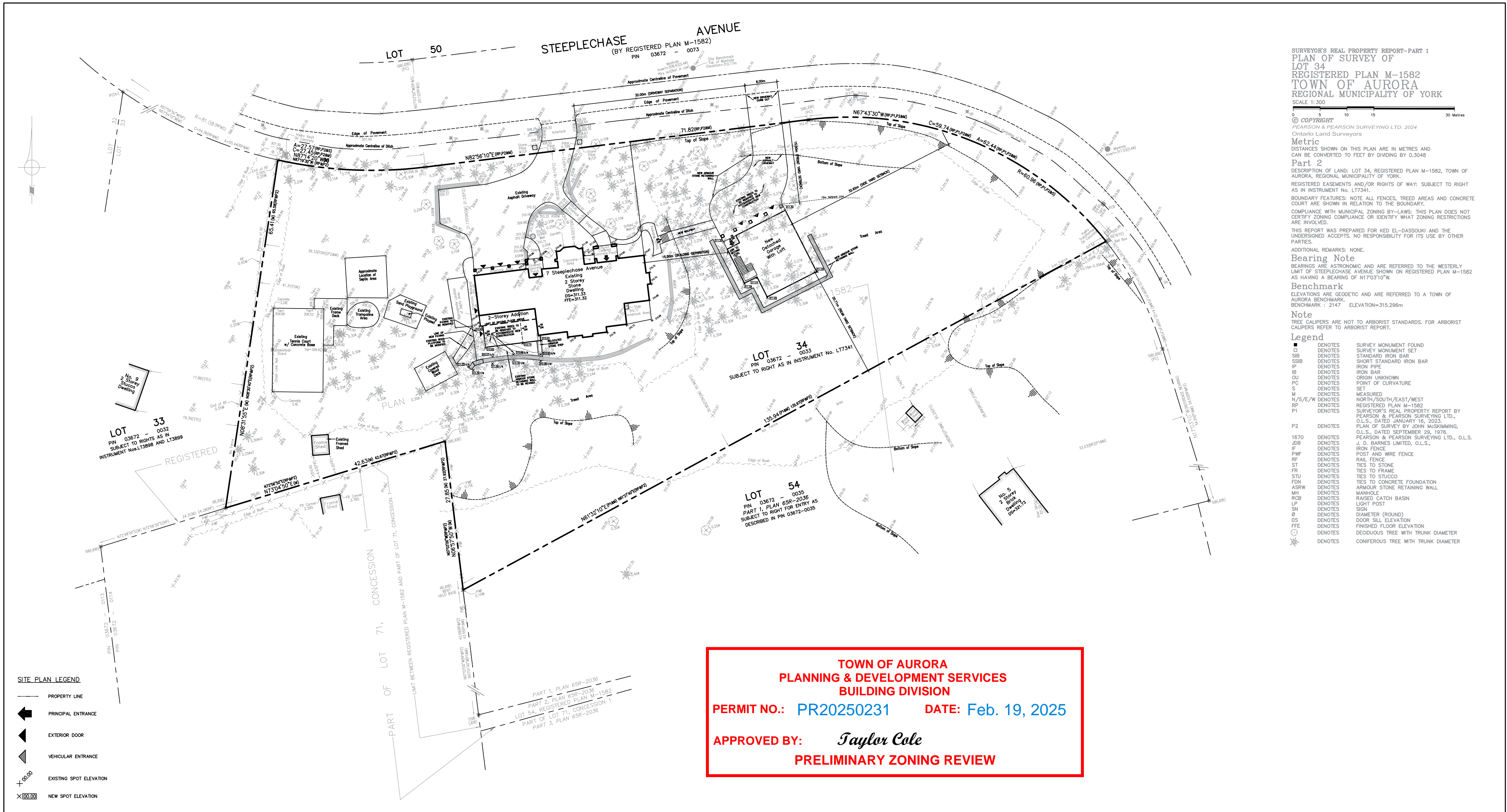
The following conditions are required to be satisfied should application MV-2025-28 be approved by the Committee of Adjustment:

1. That the variance only applies to the subject property in conformity with the plan(s) attached as 'Appendix B' to this Staff Report, to the satisfaction of the Director of Planning and Development Services or designate.
2. That the Owner obtains a Road Occupancy Permit from the Town of Aurora Public Works department.
3. That the Owner enter into a Memorandum of Understanding (MOU) agreeing to implement the recommendations and mitigation measures of the accompanying Natural Heritage Evaluation prepared by Insight Environmental Solutions Inc., dated July 24, 2025, to the satisfaction of the Director of Planning and Development Services or designate. The recommendations and mitigation measures are listed under Section 5 of the Natural Heritage Evaluation, including but not limited to construction timing, site selection, contaminant and spill management, operation of machinery, tree protection and best management practices for construction.
4. That the Owner enter into a Declaration of Use undertaking agreeing that the use will remain a single-unit dwelling, further approval will be required to change the use to multi-unit dwelling.
5. That the Owner provide a Comprehensive Re-planting Plan providing a minimum of 1:2 re-planting ratio for the subject property (minimum of two new trees for every one tree removed) consisting of site-appropriate native species, with a specific focus on the easterly side yard of the proposed accessory structure, to the satisfaction of the Director of Planning and Development Services or designate.
6. That the Owner apply for an Addressing Suites application from Town of Aurora Planning and Development Services Department to obtain a new addressing for the detached garage, as it pertains to Emergency Services.
7. That the Owner satisfy all items below, to the satisfaction of the Director of the Operational Services or designate of the Parks Division:
 - a. The Arborist Report should be revised to include the provision of monitoring of the site work through a series of site visits by the Arborist/Forester to ensure protection/preservation measures remain in compliance throughout

the duration of the project. Monitoring shall occur i) at commencement of work to certify all tree protection measures are in place, ii) during site work to confirm protection measures are in place and to oversee arboricultural works as required, and iii) post construction assessment. Each site visit is to be documented and any resulting action items required by the Arborist /Forester shall be implemented and confirmed on site forthwith by the Arborist /Forester following each visit.

- b. The Owner shall confirm if compensation is to be provided by replanting on site, or if a fee payment will be made for the compensation amount, or a combination of both. If replanting on site, a replanting plan and cost estimate shall be provided.
- c. Per the Town's Tree Removal By-law, the Owner may remove up to 2 trees per 0.25 hectare without the need of a permit. Therefore, based on the size of the property (0.826 ha), the compensation calculations can be credited for up to 6 trees. The Tree Valuation Matrix should be revised accordingly, to confirm the compensation amount.
- d. The owner shall agree to comply with the Aurora Tree Permit By-law # 5850 -16 prior to the removal of any trees on the property, including submitting the appropriate tree removal application form, and paying the permit fees.
- e. A cost estimate shall be provided by the arborist to address the following items:
 - i. The cost of installation and maintenance of tree preservation fencing and all other tree protection measures.
 - ii. The cost of any pruning and arboricultural works.
 - iii. The cost for arborist's monitoring services as identified in comment 1, above.
- f. The owner shall be required to provide financial securities based on the total Tree Compensation evaluation (if replanting) and the cost of items identified in comment 5, above. If the Owner is not replanting, the value of compensation planting shall be provided in the form of a fee payment to the Town.

- g. All the above shall be included as terms and conditions in a Letter of Undertaking with the Town of Aurora to guarantee compliance with the Conditions of Approval and all related site works.



SITE DATA	
LOT No.	34
REGISTERED PLAN	M-1582
ZONING	Zone 1 ER
OAK RIDGES MORAINÉ	ORM Settlement Area
LSRCA	Not Applicable
LOT AREA	8,260.33 sm (88,913.45 sf)

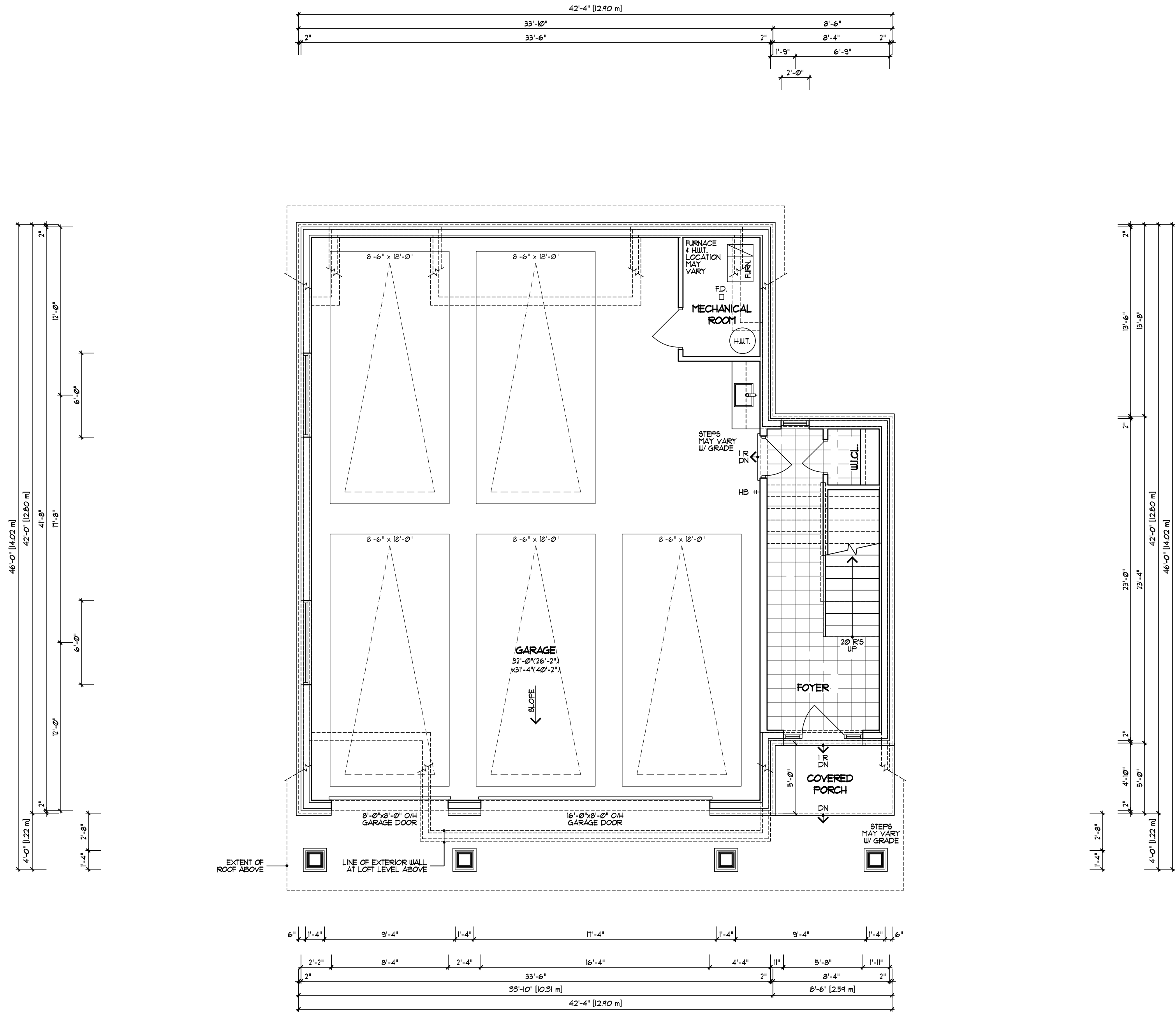
COVERAGE		REQUIRED	EXISTING	PROVIDED
MAIN DWELLING			340.9 sm	402.10 sm (With Addition)
DETACHED GARAGE		MAXIMUM 15% OF LOT AREA (8,260.33 sm)	Not Applicable	150.44 sm (New Garage)
FRAMED SHED			11.49 sm	11.49 sm (Unchanged)
TOTAL		Maximum 1,239.05 sm	352.39 sm (4.26% Coverage)	564.03 sm (6.82% Coverage)

BUILDING HEIGHT		REQUIRED	EXISTING	PROVIDED
MAIN DWELLING		Maximum 10m	8.25 m	Existing – No Change
DETACHED GARAGE		Maximum 4.5m	Not Applicable	6.88 m

SETBACKS		REQUIRED	EXISTING	PROVIDED
DWELLING FRONT		15m	18.11 m	Existing – No Change
DWELLING REAR		22m	30.85 m	Existing – No Change
DWELLING INTERIOR SIDE YARD		9m and 4.5m	39.33 m	Existing – No Change
GARAGE FRONT		As Per Main Dwelling	Not Applicable	15.00 m
GARAGE REAR		4.5m	Not Applicable	20.71 m
GARAGE SIDE YARD		As Per Main Dwelling	Not Applicable	32.62 m

Appendix 'B' – Site Plan & Elevations

This drawing, as an instrument of service, is provided by and is the property of Suriano Design Consultants Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Suriano Design Consultants Inc. of any variations from the drawings.			<div>PRELIMINARY DRAWINGS NOT FOR CONSTRUCTION</div>	MS			SHEET NAME: <div>SURIANO. ARCHITECTURAL DESIGN</div>	PROJECT NAME: <div>ARCHITECTURAL SITE PLAN</div>	PLOTTED: <div>FEB. 11/25</div>	DRAWN BY: <div>MAS</div>	AREA: <div></div>	PROPOSED ADDITION																		
Suriano Design Consultants Inc. is not responsible for the accuracy of survey structural, mechanical, electrical, etc., engineering information shown on this drawing. Refer to the appropriate engineering drawings before proceeding with work. The construction must conform to all applicable codes and requirements. This drawing is not to be scaled.	5. Feb. 11/25	ISSUED FOR PRELIMINARY ZONING REVIEW	MS				SHEET NAME: <div>SURIANO. ARCHITECTURAL DESIGN</div>	PROJECT NAME: <div>ARCHITECTURAL SITE PLAN</div>	PLOTTED: <div>FEB. 11/25</div>	DRAWN BY: <div>MAS</div>	AREA: <div></div>	PROPOSED ADDITION																		
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3. Jan. 24/25	ISSUED TO CLIENT FOR REVIEW AND APPROVAL	MS																												
2. Jan. 22/25	ISSUED FOR CIVIL COORDINATION	MS																												
1. Dec. 09/24	ISSUED TO CLIENT FOR REVIEW AND APPROVAL	MS																												
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NO.	DATE	REVISION/ISSUED	BY
5.	FEB. 11/25	ISSUED FOR PRELIMINARY ZONING REVIEW	MS
4.	FEB. 03/25	ISSUED TO CLIENT FOR REVIEW AND APPROVAL	MS
3.	DEC. 09/24	ISSUED TO CLIENT FOR REVIEW AND APPROVAL	MS
2.	NOV. 08/24	ISSUED TO CLIENT FOR REVIEW AND APPROVAL	MS
1.	SEP. 18/24	ISSUED TO CLIENT FOR REVIEW AND APPROVAL	MS

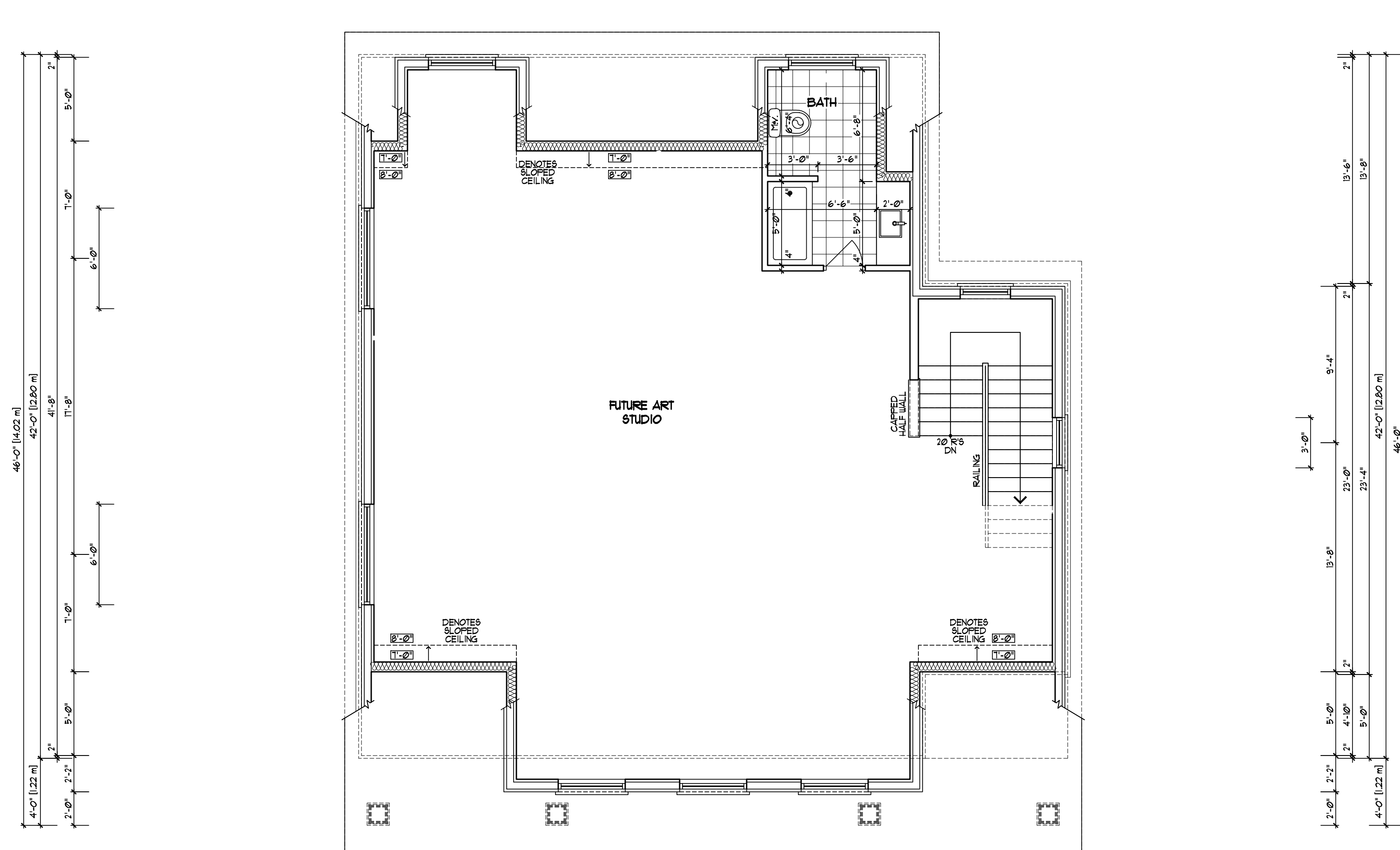
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GROUND FLOOR PLAN			
PLOTTED:	DRAWN BY:	AREA:	
FEB. 11/25	JL	1766 SQ. FT.	
DATE:	TYPE:	PROJECT NO:	
JULY 10/24			
SCALE:			
3/16"=1'-0"		23-167	

PROPOSED GARAGE
WITH FUTURE ART STUDIO
7 STEEPLCHASE AVENUE
AURORA, ONTARIO



LOFT FLOOR PLAN

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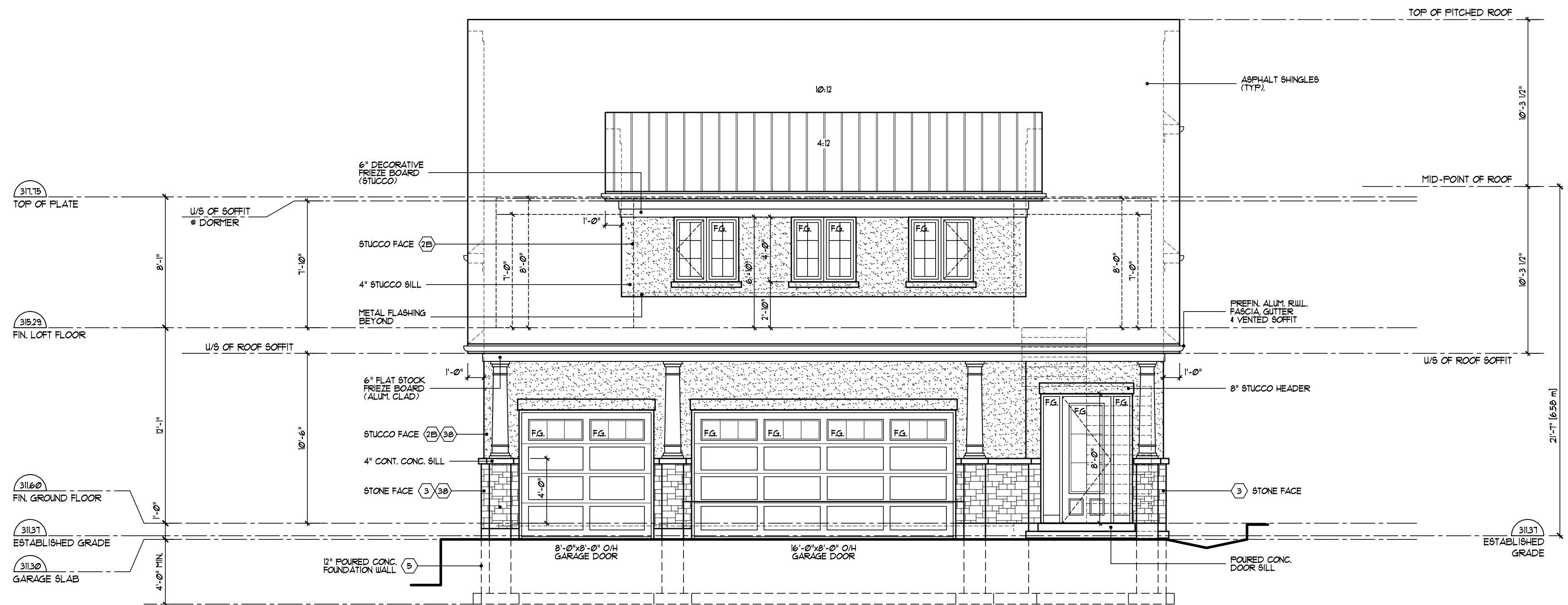
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SHEET NAME		
LOFT FLOOR PLAN		
PLOTTED	DRAWN BY:	AREA:
FEB. 11/25	JL	1766 SQ. FT.
DATE:	TYPE:	PAGE No:
JULY 10/24		
SCALE:	PROJECT No:	A-3a
3/16"=1'-0"	23-167	

PROPOSED GARAGE
WITH FUTURE ART STUDIO
7 STEEPLCHASE AVENUE
AURORA, ONTARIO



NORTH ELEVATION
(FRONT)

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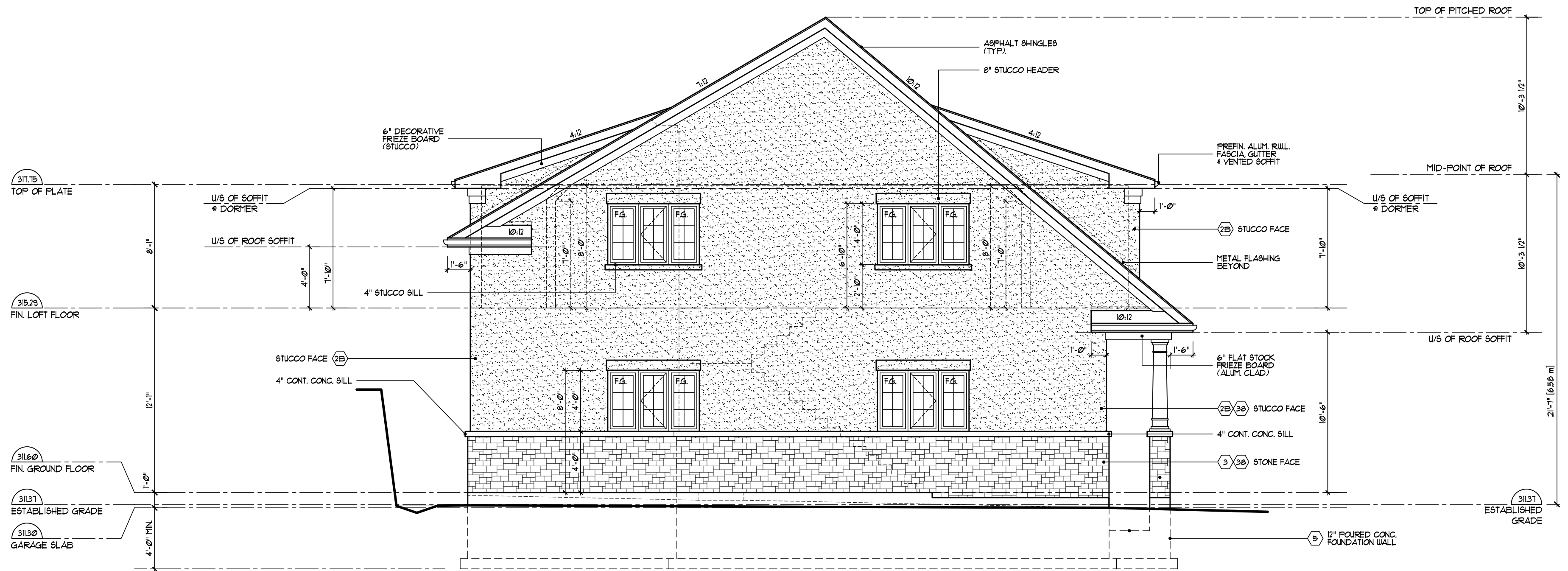
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Vaughan, Ontario L4L 8P9
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SHEET NAME: NORTH ELEVATION (FRONT)			
PLOTTED:	DRAWN BY:	AREA:	PROJECT NAME:
FEB. 11/25	JL	1766 SQ. FT.	PROPOSED GARAGE WITH FUTURE ART STUDIO 7 STEEPLCHASE AVENUE AURORA, ONTARIO
DATE:	TYPE:	PAGE NO:	
JULY 10/24		A-4a	
SCALE:	PROJECT NO:	23-167	
3/16"=1'-0"			



EAST ELEVATION
(LEFT)

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EAST ELEVATION (LEFT)

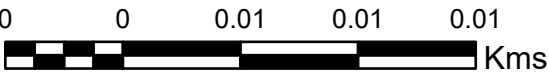
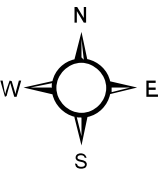
PLOTTED	DRAWN BY	AREA
FEB. 11/25	JL	1766 SQ. FT.
DATE	TYPE	PROJECT NO.
JULY 10/24		
SCALE	PROJECT NO.	
3/16"=1'-0"	23-167	

A-6a

PROPOSED GARAGE
WITH FUTURE ART STUDIO
7 STEEPLCHASE AVENUE
AURORA, ONTARIO

Tree Preservation

7 Steeplechase Avenue, Aurora



Legend

- Legal Parcel
- Site Plan
- Tree Protection

ELC

- FOCM6-2: Dry - Fresh Red Pine Naturalized Coniferous Plantation Type
- Manicured Lawn with Scattered Trees

Tree Inventory by Tree Tag Number (Private Trees)

- Retain
- Remove
- Dripline (m)

Figure No.: 4
Project No.: IES25-258
Scale: 1:225
Date: July 23, 2025
Creator: Nicole Wajmer

