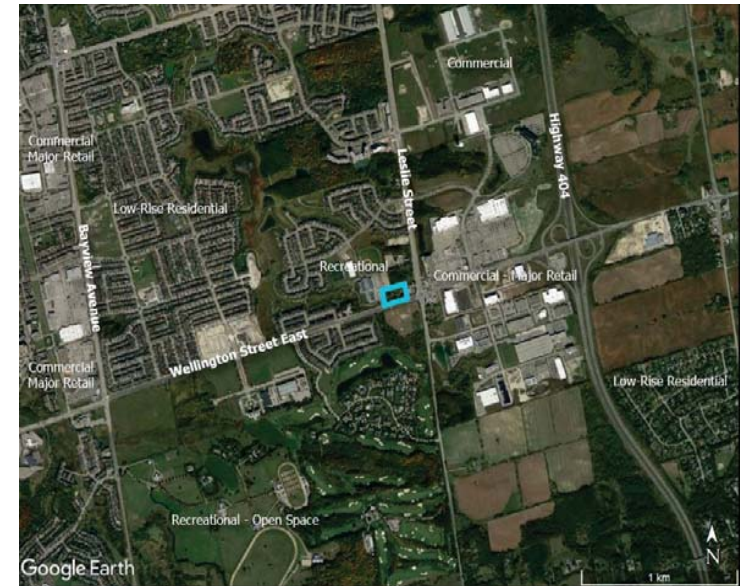
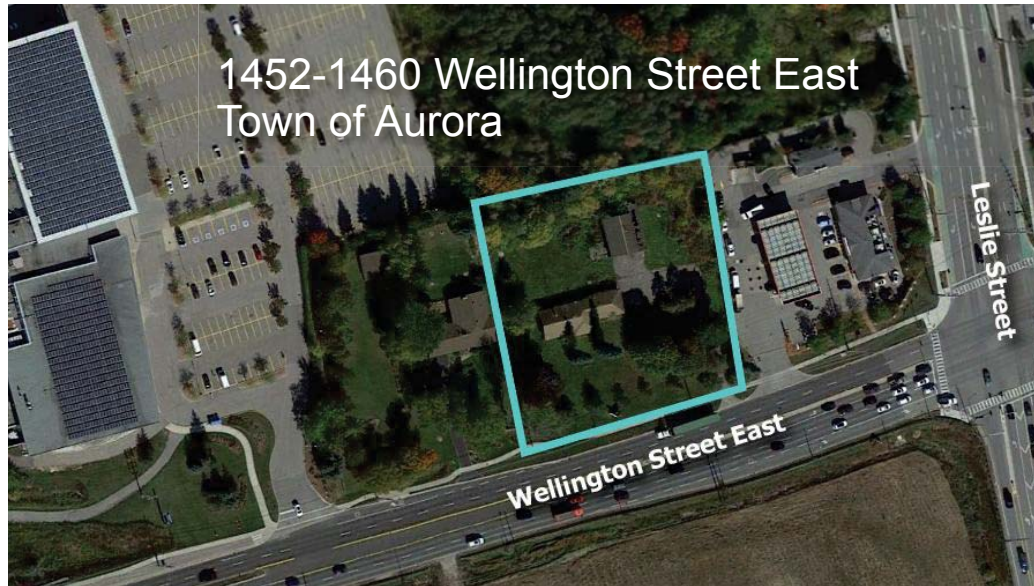




Livewell
on WELLINGTON

Statutory Public Meeting of Livewell Residential Development

1452 Wellington St E, Aurora, ON, L4G 7B6
March, 21, 2023



Enhanced Site & Structure

Lot Size

Area: 63,636.18 ft ² (1.461 ac)	Perimeter: 1,013.78 ft
Measurements: 251.33 ft x 258.85 ft x 251.10 ft x 253.35 ft	
Lot Measurement Accuracy: LOW	

- ❖ Total Area: 1.461 ac
- ❖ Total Frontage: 251 ft
- ❖ Depth: 258 ft

Existing Property

Livwell
on WELLINGTON



Previous Commercial Approval



RECEIVED SEP 22 2016

Planning and Building Services

NOTICE OF THE PASSING OF A ZONING BY-LAW BY THE CORPORATION OF THE TOWN OF AURORA

TAKE NOTICE that the Council of the Corporation of the Town of Aurora passed **By-law No. 5895-16** on **September 13, 2016** under Section 34 of the Planning Act, R.S.O. 1990, c.P.13, as amended.

Attached is an Explanation of the purpose and effect of the By-law as a description and Key Map showing the location of the lands to which the Zoning By-law Amendment applies are attached. The complete By-law is available in the Clerk's office during regular office hours.

APPLICANT: Leswell Investments Inc.

MUNICIPAL ADDRESS: 1452 Wellington Street East

LEGAL DESCRIPTION: Part of Lots 3 and 4, Registered Plan No. 525

FILE NUMBER: ZBA-2015-04

CONTACT:

Any inquiries should be directed to **Lawrence Kuk** of the Planning and Building Services department at 905-727-3123 Ext. 4343.

If you have objections to the By-law, you may appeal the By-law to the Ontario Municipal Board for consideration. Your appeal, together with the reasons for the appeal and the \$125.00 fee (per Application) as required by the Ontario Municipal Board, can be made payable to the Minister of Finance in the form of a certified cheque or money order. An (A1) "Appellant Form" provided by the Board is now on their website at www.omb.gov.on.ca and must be filed with the Town Clerk at 100 John West Way, Box 1000 Aurora, Ontario, L4G 6J1, on or before **October 11, 2016**. Should this date fall on a holiday or weekend, you will have until the next business day to file your appeal. Please note an additional fee (Please refer to the Fee By-law for the Ontario Municipal Board Referral Fee, found on the Town's website under Planning and Building Services), per Application, payable to the Town of Aurora is required with respect to Ontario Municipal Board appeal submissions.

In accordance with the *Planning Act*

- I. Only individuals, corporations and public bodies may appeal a By-law to the Ontario Municipal Board. A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or the group on its behalf.
- II. No person or public body shall be added as a party to the hearing of the appeal unless, before the By-law was passed, the person or public body made oral submission at a Public Meeting or written submissions to the Council or, in the opinion of the Ontario Municipal Board, there are reasonable grounds to add the persons or public body as a party.

DATED, this 10th day of September, 2016.

Marco Ruffino, MCIP, RPP
Director of Planning and Building Services
Town of Aurora
100 John West Way
Aurora, ON L4G 6J1

Attach.

By-law Number 5895-16

Explanatory Note

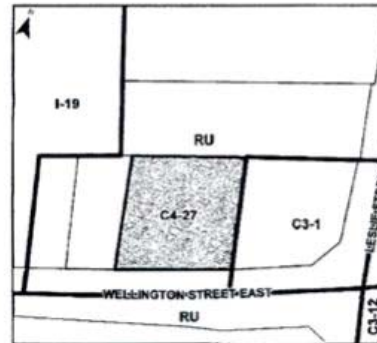
Re: Zoning By-law Number 5895-16

By-law Number 2213-78 has the following purpose and effect:

To amend By-law Number 2213-78. As amended, being that the Zoning By-law in effect in the Town of Aurora, to rezone the subject lands from "Rural (RU) Zone" to "Shopping Centre Commercial (C2-27) Exception Zone".

The rezoning will permit a commercial development that will cater and service needs of residents and businesses in the community including multi-tenant commercial building and restaurant.

Sept,02,2016

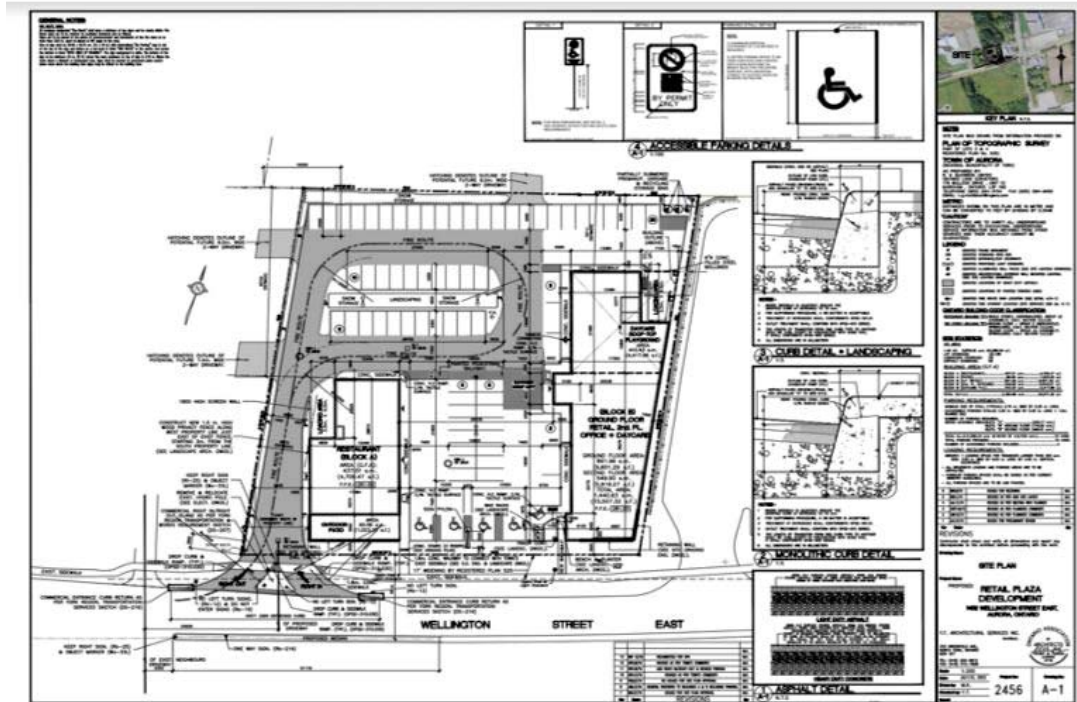


[Return](#)

Previous Commercial Approval

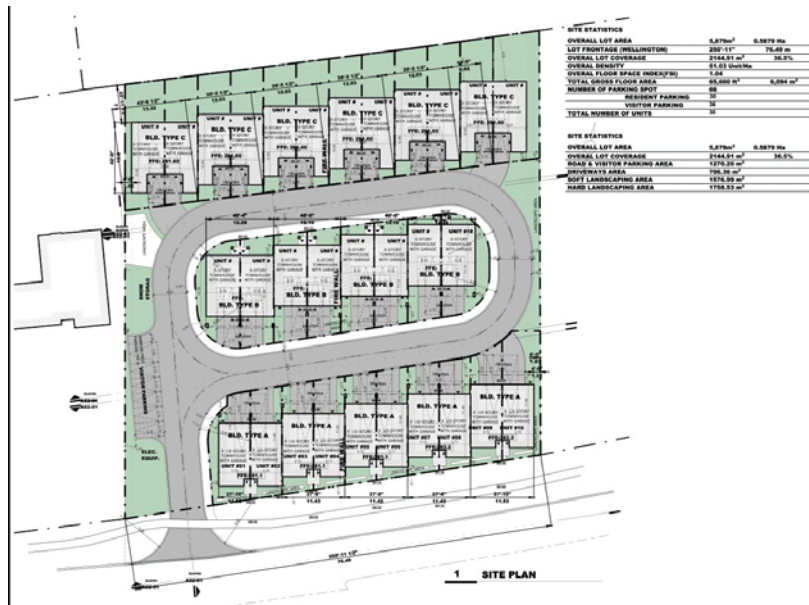
Livwell
on WELLINGTON

Land
Services
Group.



Site Plan

Livwell
on WELLINGTON



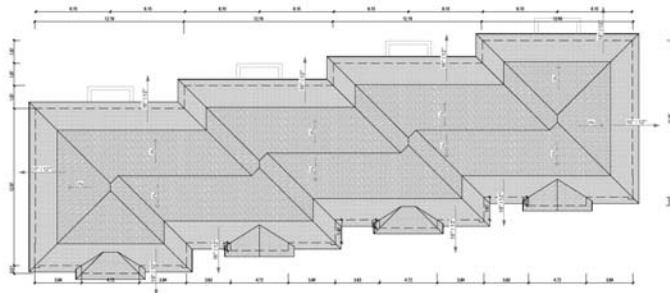
SITE PLAN
A01-00



FLOOR PLANS
B-A01-01

Site Plan

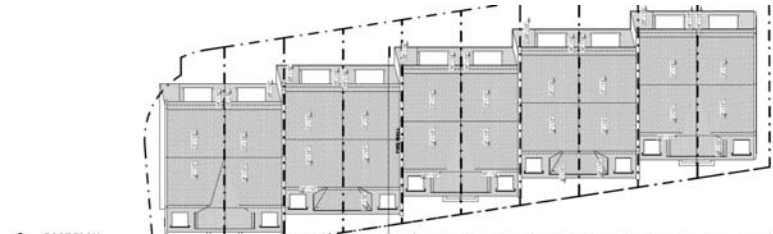
Livwell
on WELLINGTON



2 ROOF PLAN
Scale: 1:100



1 3rd FLOOR PLAN
Scale: 1:100



3 ROOF PLAN
Scale: 1:100



2 4th FLOOR PLAN
Scale: 1:100



1 3rd FLOOR PLAN
Scale: 1:100

REGISTERED ARCHITECT
OF
NEW ZEALAND

Livwell
on WELLINGTON

LIVWELL PROJECT
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NO. 1003
NO. 1004
NO. 1005
NO. 1006
NO. 1007
NO. 1008
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NO. 1099
NO. 1100

HYPHEN

FLOOR PLANS
A-A01-02

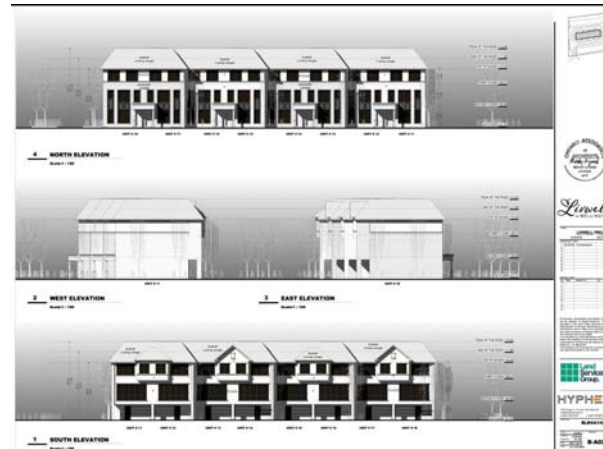
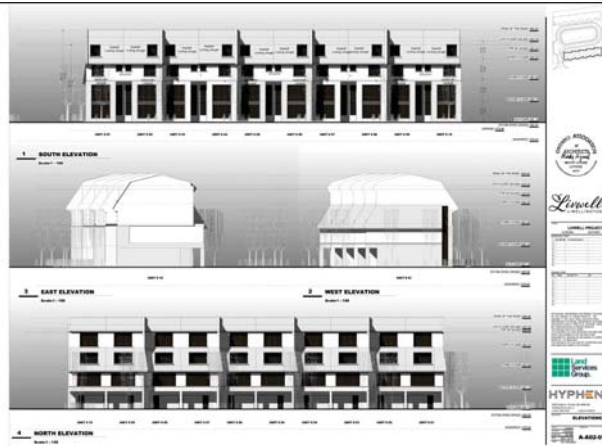
Elevations

Livwell
on WELLINGTON



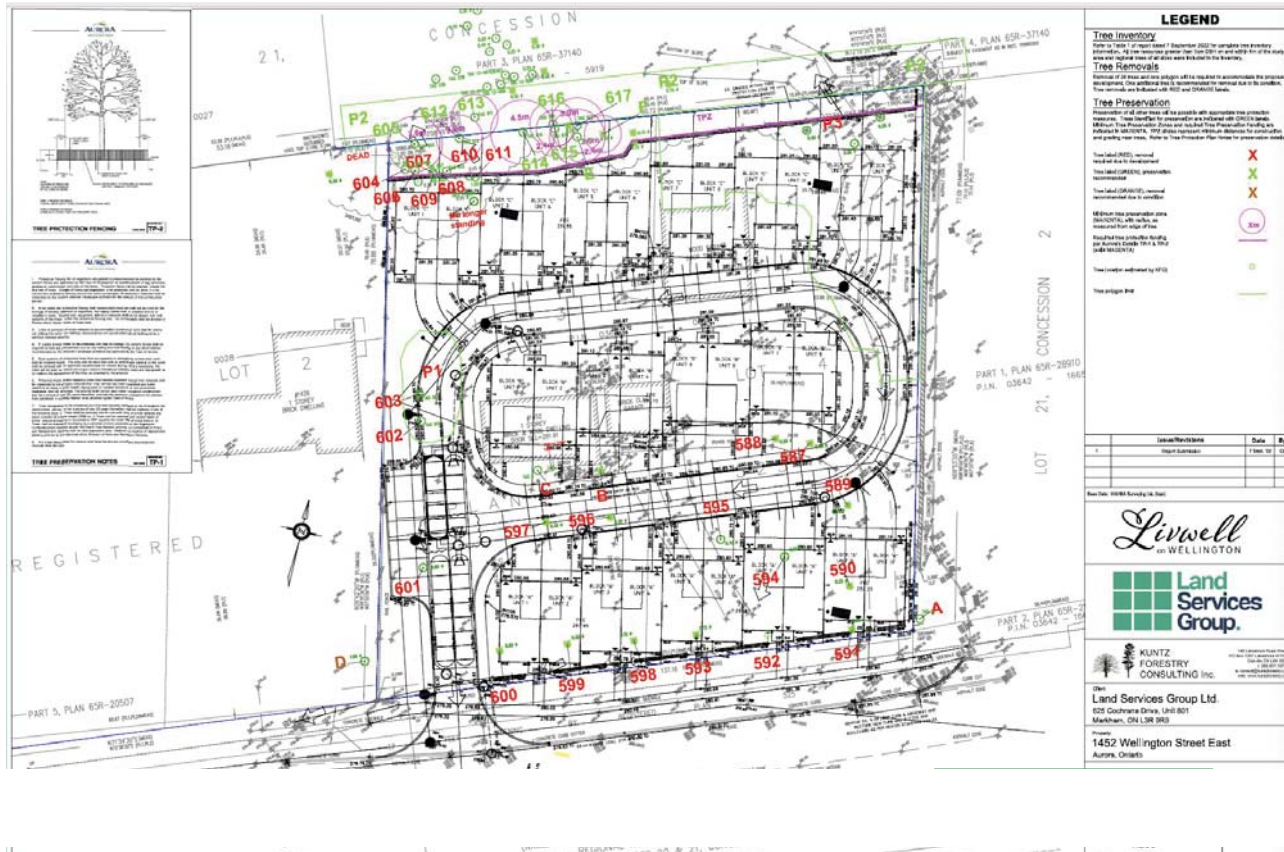
Elevations

Livwell
on WELLINGTON



Landscape Design

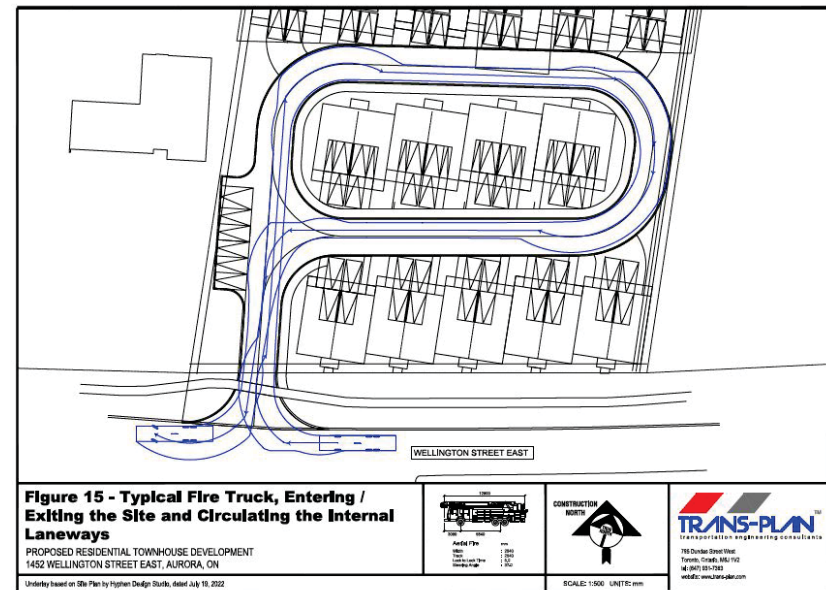
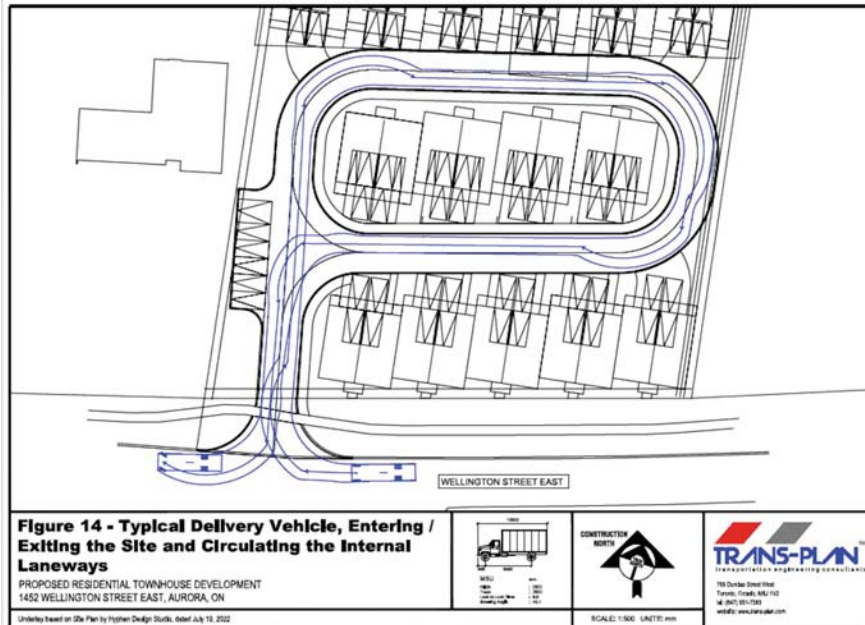
Livwell
on WELLINGTON



Traffic Design

Livwell
on WELLINGTON

Land
Services
Group.



TRAFFIC IMPACT OF LIVWELL DEVELOPMENT



Notes:

- The Image shows the traffic impact on the surrounding road network for horizon year 2030.
- Image represent the total traffic condition with other developments and Livwell development.
- Overall, the surrounding road network is expected to operate acceptably during horizon year 2030,

LOS	Level of Service
A	Good
B	
C	Acceptable
D	

Existing and Proposed Development



Existing Residential Development
Low Density, Single-Detached Dwellings

Existing Residential Development
Low Density, Single-Detached Dwellings

proposed 32 freehold townhouse units
Medium Density, Townhome Dwellings

Proposed three (3) 7 storey apt bldg
that contain 100 units each for a
total of 300 units with two (2)
Med-High Density, Apartment Dwellings

1452 Wellington St E

Existing Residential Development
Medium Density, Townhome Dwellings

Proposed three 7-storey
apartment buildings (541
units), and twelve
townhouse blocks (59 units)
Med-High Density, Apartment Dwellings

Existing Residential Development
Low Density, Single-Detached Dwellings

Existing Residential Development in Context Area



Elyse Crescent Townhomes – West of Subject Property



William Graham Dr. Townhomes – North of Subject Property

Additional Design Options

Livwell
on WELLINGTON

