

INTERNAL MEMORANDUM

DATE: October 29, 2020

TO: B. Butler, Planning and Development Services
B. Jean, Planning and Development Services
C. Tsang, Heritage Planning
B. Jakovina, Operational Services - Parks
M. Bat, Planning and Development Services
J. Van Scheyndel, Corporate Services
M. Zawada, Accessibility Advisor
G. Zinck, Waste/Recycling Coordinator

CC: Mayor and Members of Council
D. Waters, Director of Planning and Development Services
Council Secretariat, Corporate Services

FROM: Sean Lapenna, Planning and Development Services

RE: **Application for Site Plan Approval**
130 Addison Hall Circle
Block 11, Plan 65M-4650
File Number: SP-2020-11
1st Submission

A 1st submission has been made to Planning and Development Services for the above noted Site Plan application to facilitate a proposed Warehouse Development. The Site Plan and Building Elevations are attached. Due to file size restrictions, the majority of supporting documents for this application have been uploaded into the following holding folder:

[Redacted Folder Name]

I would appreciate receiving your comments by **November 13, 2020**. Should you have any questions regarding the above noted proposal, please feel free to contact me.

Regards,



Sean Lapenna, Planner
Planning and Development Services

BOSDA INTERNATIONAL

NEW SINGLE STOREY MULTI-TENANT WAREHOUSE

130 Addison Hall Circle Aurora, Ontario

DRAWING LIST

ARCHITECTURAL

A0.0	Cover Sheet
A0.1	OBC Matrix, Notes and Legends
A0.2	Assembly and Partition Types Schedules
A1.0	Site Plan
A1.1	Partial Business Park Survey
A2.0	Ground Floor Plan
A2.1	Clerestory Plan
A2.2	Roof Plan
A3.0	Elevations



CONSULTANT LIST

ARCHITECTURAL

PEARCE MCCLUSKEY ARCHITECTS
2203 DUNWIN DRIVE
MISSISSAUGA, ONTARIO, L5L 1X2

ELECTRICAL

LAPAS CONSULTING ENGINEERS
227 BRIDGELAND AVENUE
TORONTO, ON M6A 1Y7

CIVIL ENGINEER

HUSSON ENGINEERING + MANAGEMENT
1725 16TH AVENUE, SUITE 103
RICHMOND HILL, ON L4B 4C6

LANDSCAPE ARCHITECTS

BAKER TURNER INC.
9501 MISSISSAUGA ROAD SUITE 300
BRAMPTON, ON L6Y 5G8

Pearce McCluskey Architects
2203 Dunwin Drive • Mississauga, Ontario • L5L 1X2
www.pmaarchitects.ca 1.800.607.2444

This drawing is not to be used for construction without being approved by the architect.
Contractors must verify all dimensions and be responsible for verifying the accuracy of the information provided on this drawing.
If any are not to be used.
All drawings and related documents are the sole property of the architect and must be kept confidential. No part of this drawing may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without prior written permission from the architect.

Sheet Number
Key to details

BOSDA
INTERNATIONAL
We bring China closer to you

OWNER:
Bosda International Inc.
30 Rimma Court, Unit #1
Richmond Hill, ON L4B 1G8

APPLICANT:
Cavallotti & Associates Ltd.
2145 Dundas Drive | Suite 14
Mississauga | Ontario | L5L 1X2

Minor Variance MV-2020-11
approved per:
Committee of Adjustment Meeting
June 18, 2020

Issued for Site Plan Approval 19-Oct-20

Bosda International
1-Storey Multi-Tenant Warehouse Building
130 Addison Hall Circle
Aurora | Ontario

Cover Sheet

Project Number

19069

Drawn By: XX
Checked By: AX
Date: J4 2020
Scale: N.T.S.
Sheet Number:

A0.0

DRAWING SYMBOL LEGEND

PARITION TAG (REFER TO PARTITION TYPE SCHEDULE)

FINISH TAG

ASSEMBLY TAG

DOOR TAG

EQUIPMENT TAG

ELEVATION TAG

ROOM NAME AND NUMBER TAG

COLUMN GRID LINE

DRAWING TITLE

INTERIOR ELEVATION TAG

SECTION TAG

ELEVATION TAG

DETAIL REFERENCE TAG

DRAWING LEGEND

ADD	AUTO DOOR OPERATOR
AZ.F.	ABOVE FLOOR FINISH
AV	ABOVE VALUVE
ACT	ACUSTICAL CEILING TILE IN SUSPENDED CEILING GRID
AP	ANNUNCIATOR PANEL
BCS	BABY CHANGE STATION
BE	BENCH
BWR	BARRIER/FREE CURB RAMP
BR	BACK REST (IF TOILET ONLY)
CL	COMPLETE WITH
CB	CONCRETE BLOCK
CD	CORNER GUARD
CH	CHART HOOK
CR	CARD READER
CW	CURTAIN WALL
DL	DETAIL
ED	EMERGENCY CALL BUTTON
EFV	ELECTRIC FUSION VALVE
ELEC	ELECTRICAL
ES	ESCAL
EAT	EXTERIOR
F.A.R.	FIRE-RESISTANCE RATING
F.D.	FACE OF
FAD	FACED
F.D.	FLOOR DOWN (SLOPE FLOOR TO DRAIN)
F.D.	FIRE DEPARTMENT CONNECTION
FI	FIRE HYDRANT
FIG	FIRE HOSE CABINET
FI	FIRE FULLY RECESSED
FUS	FOLDING UTILITY SHELF
FBS	FOLDING SHOWER SEAT
GB	GRAB BAR
GC	GENERAL CONTRACTOR
GR	GYPSUM WALLBOARD
H.P.	HIGH POINT
HM	HOLLOW METAL
HT	HEIGHT
INT	INTERIOR
LC	LIGHT CONE
L.P.	LOW POINT
LAV	LAVATORY
LN	LENGTH
MB	MILK BOX
MECH	MECHANICAL
MIR	MIRROR
MB	MOP BAY
OB	ONTARIO BUILDING CODE
OB	ONTARIO BUILDING CODE
PTD/W	PAPER TOWEL DISPENSER AND WASTE RECEPTACLE
R.A.	ROUGH OPENING
RD	ROOF DRAIN
RM	ROOM
RWL	RAIN WATER LEADER
SCR	SHOWER CURTAIN ROD
SD	SOAP DISPENSER (LAVATED)
SH	SHOWER HEAD
SM	SURFACE MOUNTED
SND	SANITARY WASTE DISPOSAL
SR	SEMI RECESSED
ST	STEEL
TD	TOP OF
TPD	TOILET PAPER DISPENSER
U.A.Z.	UNLESS NOTED OTHERWISE
UB	UNDERBIE
UH	UNIT HEATER
UR	URINAL
WC	WATER CLOSET
WR	WASTE RECEPTACLE

Name of Project: Bosda International 1 Storey Multi-Tenant Warehouse Building

Project Location: 130 Addison Hall Circle, Aurora, Ontario

2012 ONTARIO BUILDING CODE DATA MATRIX

PARTS 3 or 9

O.B.C. REFERENCE

1. PROJECT DESCRIPTION:	NEW	11.1 TO 11.4	11.2 (A)	11.2 (B) AND 11.2 (C)
2. MAJOR OCCUPANCY:	GROUP F - INDUSTRIAL, UP TO 10 STOREYS, SPIN-SPIN	3.2.1 (1A) 3.2.2 (A)	3.2.1 (1A) 3.2.2 (A)	3.2.1 (1A) 3.2.2 (A)
3. BUILDING AREA (m²):	Building: N/A	Net: 4,400.00	Total: 4,400.00	14.1.5 (A)
4. GROSS AREA:	Building: N/A	Net: 4,400.00	Total: 4,400.00	14.1.5 (A)
5. NUMBER OF STOREYS:	Below grade: 1	Below grade: 0	14.1.5 (A) 14.1.5 (B)	14.1.5 (A) 14.1.5 (B)
6. NUMBER OF STREETS/FIRE FIGHTER ACCESS:	1	3.2.2 (1) 3.2.2 (2)	3.2.2 (1) 3.2.2 (2)	3.2.2 (1) 3.2.2 (2)
7. BUILDING CLASSIFICATION:	3.2.2 (2)	3.2.2 (2) 3.2.2 (3)	3.2.2 (2) 3.2.2 (3)	3.2.2 (2) 3.2.2 (3)
8. SPRINKLER SYSTEM PROVIDED AS SELECTED:	with building	selected compartments	3.2.2 (2) 3.2.2 (3)	3.2.2 (2) 3.2.2 (3)
9. STAIRCASE REQUIRED:	Yes	No	3.2.2 (2)	3.2.2 (2)
10. FIRE ALARM REQUIRED:	Yes	No	3.2.2 (2)	3.2.2 (2)
11. WATER SUPPLY IS ADEQUATE:	Yes	No	3.2.2 (2)	3.2.2 (2)
12. HEAVY BUILDING:	Yes	No	3.2.2 (2)	3.2.2 (2)
13. PERMITTED CONSTRUCTION:	Controlled	Non-controlled	Both	3.2.2 (2) 3.2.2 (3)
14. MEZZANINE AREA (m²):	N/A	3.2.2 (1) 3.2.2 (2)	3.2.2 (1) 3.2.2 (2)	3.2.2 (1) 3.2.2 (2)
15. OCCUPANT LOAD BASED ON:	Occupancy	Load	Persons	3.2.2 (1) 3.2.2 (2)
16. HAZARDOUS SUBSTANCES:	Yes	No	3.2.2 (1) 3.2.2 (2)	3.2.2 (1) 3.2.2 (2)
17. REQUIRED FIRE RESISTANCE (FIR) (FIR):	Horizontal assemblies	Letted design no. on description (SS-4)	3.2.2 (1) 3.2.2 (2)	3.2.2 (1) 3.2.2 (2)
18. SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS:	WALL	AREA	L.D.	L.H.
19. ADDITIONAL NOTES - OTHER:	WALL	AREA	L.D.	L.H.

OBC NOTES cont'd

1. ELEVATOR CAB SHALL BE PROVIDED IN ACCORDANCE WITH O.B.C. 3.3.2.1, 3.3.2.1.1, 3.3.2.1.2, 3.3.2.1.3, 3.3.2.1.4, 3.3.2.1.5, 3.3.2.1.6, 3.3.2.1.7, 3.3.2.1.8, 3.3.2.1.9, 3.3.2.1.10, 3.3.2.1.11, 3.3.2.1.12, 3.3.2.1.13, 3.3.2.1.14, 3.3.2.1.15, 3.3.2.1.16, 3.3.2.1.17, 3.3.2.1.18, 3.3.2.1.19, 3.3.2.1.20, 3.3.2.1.21, 3.3.2.1.22, 3.3.2.1.23, 3.3.2.1.24, 3.3.2.1.25, 3.3.2.1.26, 3.3.2.1.27, 3.3.2.1.28, 3.3.2.1.29, 3.3.2.1.30, 3.3.2.1.31, 3.3.2.1.32, 3.3.2.1.33, 3.3.2.1.34, 3.3.2.1.35, 3.3.2.1.36, 3.3.2.1.37, 3.3.2.1.38, 3.3.2.1.39, 3.3.2.1.40, 3.3.2.1.41, 3.3.2.1.42, 3.3.2.1.43, 3.3.2.1.44, 3.3.2.1.45, 3.3.2.1.46, 3.3.2.1.47, 3.3.2.1.48, 3.3.2.1.49, 3.3.2.1.50, 3.3.2.1.51, 3.3.2.1.52, 3.3.2.1.53, 3.3.2.1.54, 3.3.2.1.55, 3.3.2.1.56, 3.3.2.1.57, 3.3.2.1.58, 3.3.2.1.59, 3.3.2.1.60, 3.3.2.1.61, 3.3.2.1.62, 3.3.2.1.63, 3.3.2.1.64, 3.3.2.1.65, 3.3.2.1.66, 3.3.2.1.67, 3.3.2.1.68, 3.3.2.1.69, 3.3.2.1.70, 3.3.2.1.71, 3.3.2.1.72, 3.3.2.1.73, 3.3.2.1.74, 3.3.2.1.75, 3.3.2.1.76, 3.3.2.1.77, 3.3.2.1.78, 3.3.2.1.79, 3.3.2.1.80, 3.3.2.1.81, 3.3.2.1.82, 3.3.2.1.83, 3.3.2.1.84, 3.3.2.1.85, 3.3.2.1.86, 3.3.2.1.87, 3.3.2.1.88, 3.3.2.1.89, 3.3.2.1.90, 3.3.2.1.91, 3.3.2.1.92, 3.3.2.1.93, 3.3.2.1.94, 3.3.2.1.95, 3.3.2.1.96, 3.3.2.1.97, 3.3.2.1.98, 3.3.2.1.99, 3.3.2.1.100, 3.3.2.1.101, 3.3.2.1.102, 3.3.2.1.103, 3.3.2.1.104, 3.3.2.1.105, 3.3.2.1.106, 3.3.2.1.107, 3.3.2.1.108, 3.3.2.1.109, 3.3.2.1.110, 3.3.2.1.111, 3.3.2.1.112, 3.3.2.1.113, 3.3.2.1.114, 3.3.2.1.115, 3.3.2.1.116, 3.3.2.1.117, 3.3.2.1.118, 3.3.2.1.119, 3.3.2.1.120, 3.3.2.1.121, 3.3.2.1.122, 3.3.2.1.123, 3.3.2.1.124, 3.3.2.1.125, 3.3.2.1.126, 3.3.2.1.127, 3.3.2.1.128, 3.3.2.1.129, 3.3.2.1.130, 3.3.2.1.131, 3.3.2.1.132, 3.3.2.1.133, 3.3.2.1.134, 3.3.2.1.135, 3.3.2.1.136, 3.3.2.1.137, 3.3.2.1.138, 3.3.2.1.139, 3.3.2.1.140, 3.3.2.1.141, 3.3.2.1.142, 3.3.2.1.143, 3.3.2.1.144, 3.3.2.1.145, 3.3.2.1.146, 3.3.2.1.147, 3.3.2.1.148, 3.3.2.1.149, 3.3.2.1.150, 3.3.2.1.151, 3.3.2.1.152, 3.3.2.1.153, 3.3.2.1.154, 3.3.2.1.155, 3.3.2.1.156, 3.3.2.1.157, 3.3.2.1.158, 3.3.2.1.159, 3.3.2.1.160, 3.3.2.1.161, 3.3.2.1.162, 3.3.2.1.163, 3.3.2.1.164, 3.3.2.1.165, 3.3.2.1.166, 3.3.2.1.167, 3.3.2.1.168, 3.3.2.1.169, 3.3.2.1.170, 3.3.2.1.171, 3.3.2.1.172, 3.3.2.1.173, 3.3.2.1.174, 3.3.2.1.175, 3.3.2.1.176, 3.3.2.1.177, 3.3.2.1.178, 3.3.2.1.179, 3.3.2.1.180, 3.3.2.1.181, 3.3.2.1.182, 3.3.2.1.183, 3.3.2.1.184, 3.3.2.1.185, 3.3.2.1.186, 3.3.2.1.187, 3.3.2.1.188, 3.3.2.1.189, 3.3.2.1.190, 3.3.2.1.191, 3.3.2.1.192, 3.3.2.1.193, 3.3.2.1.194, 3.3.2.1.195, 3.3.2.1.196, 3.3.2.1.197, 3.3.2.1.198, 3.3.2.1.199, 3.3.2.1.200, 3.3.2.1.201, 3.3.2.1.202, 3.3.2.1.203, 3.3.2.1.204, 3.3.2.1.205, 3.3.2.1.206, 3.3.2.1.207, 3.3.2.1.208, 3.3.2.1.209, 3.3.2.1.210, 3.3.2.1.211, 3.3.2.1.212, 3.3.2.1.213, 3.3.2.1.214, 3.3.2.1.215, 3.3.2.1.216, 3.3.2.1.217, 3.3.2.1.218, 3.3.2.1.219, 3.3.2.1.220, 3.3.2.1.221, 3.3.2.1.222, 3.3.2.1.223, 3.3.2.1.224, 3.3.2.1.225, 3.3.2.1.226, 3.3.2.1.227, 3.3.2.1.228, 3.3.2.1.229, 3.3.2.1.230, 3.3.2.1.231, 3.3.2.1.232, 3.3.2.1.233, 3.3.2.1.234, 3.3.2.1.235, 3.3.2.1.236, 3.3.2.1.237, 3.3.2.1.238, 3.3.2.1.239, 3.3.2.1.240, 3.3.2.1.241, 3.3.2.1.242, 3.3.2.1.243, 3.3.2.1.244, 3.3.2.1.245, 3.3.2.1.246, 3.3.2.1.247, 3.3.2.1.248, 3.3.2.1.249, 3.3.2.1.250, 3.3.2.1.251, 3.3.2.1.252, 3.3.2.1.253, 3.3.2.1.254, 3.3.2.1.255, 3.3.2.1.256, 3.3.2.1.257, 3.3.2.1.258, 3.3.2.1.259, 3.3.2.1.260, 3.3.2.1.261, 3.3.2.1.262, 3.3.2.1.263, 3.3.2.1.264, 3.3.2.1.265, 3.3.2.1.266, 3.3.2.1.267, 3.3.2.1.268, 3.3.2.1.269, 3.3.2.1.270, 3.3.2.1.271, 3.3.2.1.272, 3.3.2.1.273, 3.3.2.1.274, 3.3.2.1.275, 3.3.2.1.276, 3.3.2.1.277, 3.3.2.1.278, 3.3.2.1.279, 3.3.2.1.280, 3.3.2.1.281, 3.3.2.1.282, 3.3.2.1.283, 3.3.2.1.284, 3.3.2.1.285, 3.3.2.1.286, 3.3.2.1.287, 3.3.2.1.288, 3.3.2.1.289, 3.3.2.1.290, 3.3.2.1.291, 3.3.2.1.292, 3.3.2.1.293, 3.3.2.1.294, 3.3.2.1.295, 3.3.2.1.296, 3.3.2.1.297, 3.3.2.1.298, 3.3.2.1.299, 3.3.2.1.300, 3.3.2.1.301, 3.3.2.1.302, 3.3.2.1.303, 3.3.2.1.304, 3.3.2.1.305, 3.3.2.1.306, 3.3.2.1.307, 3.3.2.1.308, 3.3.2.1.309, 3.3.2.1.310, 3.3.2.1.311, 3.3.2.1.312, 3.3.2.1.313, 3.3.2.1.314, 3.3.2.1.315, 3.3.2.1.316, 3.3.2.1.317, 3.3.2.1.318, 3.3.2.1.319, 3.3.2.1.320, 3.3.2.1.321, 3.3.2.1.322, 3.3.2.1.323, 3.3.2.1.324, 3.3.2.1.325, 3.3.2.1.326, 3.3.2.1.327, 3.3.2.1.328, 3.3.2.1.329, 3.3.2.1.330, 3.3.2.1.331, 3.3.2.1.332, 3.3.2.1.333, 3.3.2.1.334, 3.3.2.1.335, 3.3.2.1.336, 3.3.2.1.337, 3.3.2.1.338, 3.3.2.1.339, 3.3.2.1.340, 3.3.2.1.341, 3.3.2.1.342, 3.3.2.1.343, 3.3.2.1.344, 3.3.2.1.345, 3.3.2.1.346, 3.3.2.1.347, 3.3.2.1.348, 3.3.2.1.349, 3.3.2.1.350, 3.3.2.1.351, 3.3.2.1.352, 3.3.2.1.353, 3.3.2.1.354, 3.3.2.1.355, 3.3.2.1.356, 3.3.2.1.357, 3.3.2.1.358, 3.3.2.1.359, 3.3.2.1.360, 3.3.2.1.361, 3.3.2.1.362, 3.3.2.1.363, 3.3.2.1.364, 3.3.2.1.365, 3.3.2.1.366, 3.3.2.1.367, 3.3.2.1.368, 3.3.2.1.369, 3.3.2.1.370, 3.3.2.1.371, 3.3.2.1.372, 3.3.2.1.373, 3.3.2.1.374, 3.3.2.1.375, 3.3.2.1.376, 3.3.2.1.377, 3.3.2.1.378, 3.3.2.1.379, 3.3.2.1.380, 3.3.2.1.381, 3.3.2.1.382, 3.3.2.1.383, 3.3.2.1.384, 3.3.2.1.385, 3.3.2.1.386, 3.3.2.1.387, 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MATERIAL AND ASSEMBLY TYPE SCHEDULE	
RF- ROOF ASSEMBLIES	AF- ALUMINUM FRAMING TYPES
RF1 T80	AF1 - TYPE: THERMAWALL 300 SERIES ALUMINUM FRAMING - 133MM MULLION BODY - 550 JOINTS (AS PER DRAWINGS) - 15MM GUSSET (AS PER DRAWINGS) - FINISH: "CLEAR ANODIZED" - BY: ALUMINCO OR EQUAL
(SEE SHEET A424 "ROOF ASSEMBLY NOTE" FOR ADDITIONAL REQUIREMENTS)	AF1A - TYPE: A504 HULL DOOR - FINISH: "CLEAR ANODIZED" - FULL LENGTH LONG STAINLESS STEEL (EXTERIOR ONLY) - PUSH WIDTH OF DOOR (STAINLESS STEEL - INTERIOR ONLY) - BY: ALUMINCO OR EQUAL
FL- FLOOR ASSEMBLIES	GL- GLAZING TYPES
FL1 T80	GL1 - TYPE: SEALED GLAZING UNIT - TINTED "BLUE" EXTERIOR LITE (TEMPERED) - PPG SOLARBAN 60 LOW-E COATING ON SURFACE 2 - CLEAR INTERIOR LIFE (TEMPERED) - BY: PPG INDUSTRIES
FL2 T80	GL2 - TYPE: SEALED GLAZING UNIT - TINTED "GREY" EXTERIOR LIFE (TEMPERED) - PPG SOLARBAN 60 LOW-E COATING ON SURFACE 2 - CLEAR INTERIOR LIFE (TEMPERED) - BY: PPG INDUSTRIES
FL3 T80	GL3 - TYPE: SEALED GLAZING UNIT - TINTED "GREY" EXTERIOR LIFE (TEMPERED) - PPG SOLARBAN 60 LOW-E COATING ON SURFACE 2 - CLEAR INTERIOR LIFE (TEMPERED) - BY: PPG INDUSTRIES
FL4 T80	GL4 - TYPE: SEALED GLAZING UNIT - TINTED "GREY" EXTERIOR LIFE (TEMPERED) - PPG SOLARBAN 60 LOW-E COATING ON SURFACE 2 - CLEAR INTERIOR LIFE (TEMPERED) - BY: PPG INDUSTRIES
PT- PARAPET ASSEMBLIES	BL- SPANDREL TYPES
PT1 T80	BL1 - TYPE: SPANDREL GLAZING UNIT - TINTED "OPTIMUM" EXTERIOR LIFE (TEMPERED) - PPG SOLARBAN 60 LOW-E COATING ON SURFACE 2 - CLEAR INTERIOR LIFE (TEMPERED) - OFF-COAT FINISH ON SURFACE 4 - 15MM INSULATED BACKPAN (TYPED MIN) - BY: PPG INDUSTRIES
MISC- MISCELLANEOUS	PC- PRECAST TYPES
MF1 - TYPE: WALL MOUNTED LED FIXTURE - COLOUR: _____ - BY: _____ (REFER TO ELECTRICAL)	ACT1 - TYPE: 15MM PREFINISHED ALUMINUM COMPOSITE PANEL - PROFILE: SMOOTH C/W 15MM REVEALS - FINISH: DURAMAK "SUNBURN" COATING - COLOUR: "WHITE" - BY: KANALCO OR EQUAL
REL1 - TYPE: OVERFLOW ROOF SCUPPER - FINISH: PREFINISHED - COLOUR: "WHITE" - BY: ANYWAY OR EQUAL	ACT1A - ACT OR - SELF-ANCHERED AIR BARRIER MEMBRANE - 15MM PREFINISHED MAT (TYPICAL WALL/CORNER) - 15MM HORIZONTAL GALVANIZED METAL SUB-CRIBS - 15MM MINERAL WOOL BATT INSULATION (R=5.0 MIN) - 15MM METAL STUD FRAMING
RP1 - TYPE: STEEL BENT PLATE JAMB & HEADER - COLOUR: "WHITE" - PAINT FINISH	AC2 - TYPE: 15MM PREFINISHED ALUMINUM COMPOSITE PANEL - PROFILE: SMOOTH C/W 15MM REVEALS - FINISH: DURAMAK "SUNBURN" COATING - COLOUR: "MEDIUM GREY" - BY: KANALCO OR EQUAL
RS1 - TYPE: 153MM DIA. CONCRETE FILLED STEEL PIPE BOLLARD - COLOUR: "SAFETY YELLOW" - PAINT FINISH	AC3 - TYPE: 15MM PREFINISHED ALUMINUM COMPOSITE PANEL - PROFILE: SMOOTH C/W 15MM REVEALS - FINISH: DURAMAK "SUNBURN" COATING - COLOUR: "DARK GREY" - BY: KANALCO OR EQUAL
HR1 - TYPE: 40mm Ø STEEL PIPE HANDGUARD RAIL - 153MM HIGH WITH 153MM GGD VERTICALS - PAINT FINISH - COLOUR: "SAFETY YELLOW"	PC1 - TYPE: FLEXWALL VERTICAL FIBRED PRECAST PANEL - SIZE: 2400MM HIDE TYPICAL - HORIZONTAL REVEALS - SMOOTH BANDS AS NOTED - FINISH: SMOOTH - COLOUR: "WHITE" - BY: PRECON OR EQUAL
DS1 - TYPE: 40 x 60 VINYL COVERED DOCK SEAL/SHELTER - COLOUR: "STANDARD BLACK" - BY: BLUE GIANT OR EQUAL	PC2 - TYPE: INSULATED ARCHITECTURAL PRECAST PANEL - REVEALS AS NOTED - FINISH: SMOOTH - COLOUR: "LIGHT GREY" - BY: PRECON OR EQUAL
DL1 - TYPE: HYDRAULICALLY OPERATED DOCK LEVELER PLATFORM COMPLETE WITH 400 mm LP AND MOLDED RUBBER BUMPER - SIZE: 1800MM WIDE X 2150MM DEEP - BY: BLUE GIANT OR EQUAL	PC3 - TYPE: INSULATED ARCHITECTURAL PRECAST PANEL - REVEALS AS NOTED - FINISH: SMOOTH - COLOUR: "MEDIUM GREY" - BY: PRECON OR EQUAL
	MF- METAL FLASHINGS
	MF1 - TYPE: PREFINISHED METAL - COLOUR: "TANK GREY" - BY: ANYWAY OR EQUAL
	DL- EXTERIOR DOORS
	DL1 - TYPE: INSULATED HOLLOW METAL - FINISH: "SEMIGLOSS" - COLOUR: "WHITE"
	DL2 - TYPE: INSULATED SECTIONAL STEEL (HIGH LIFT) - SIZE: 3000MM HIGH X 3000MM WIDE - SERIES: "THERMOSPAN 157" (CLEAR PLEX LITES) - FINISH: "WHITE STUCCO" - BY: WAYNE DALTON
	DL3 - TYPE: INSULATED SECTIONAL STEEL (HIGH LIFT) - SIZE: 3000MM HIGH X 3000MM WIDE - SERIES: "THERMOSPAN 157" (CLEAR PLEX LITES) - FINISH: "WHITE STUCCO" - BY: WAYNE DALTON
	ST- EXTERIOR STAIRS
	ST1 - TYPE: PAINTED STEEL STAIRS - 40mm Ø STEEL PIPE HANDGUARD RAIL ON STEEL CHANNEL STRINGER WITH OPEN GRATE LANDING TREADS ON STEEL CLIP ANGLE - PROVIDE STEEL PLATE TREAD FOR STRINGER AT CONCRETE APRON - NUMBER OF TREADS: 18 (TO SLAT GRADE) - MAXIMUM TREAD: 250mm MAXIMUM (SEE 200mm) - COLOUR: "SAFETY YELLOW"



This drawing is not to be used for construction without being approved by the architect.
Contractors must verify all dimensions and be responsible for any errors, omissions and/or discrepancies in the drawings.
This drawing is not to be used for construction without being approved by the architect.

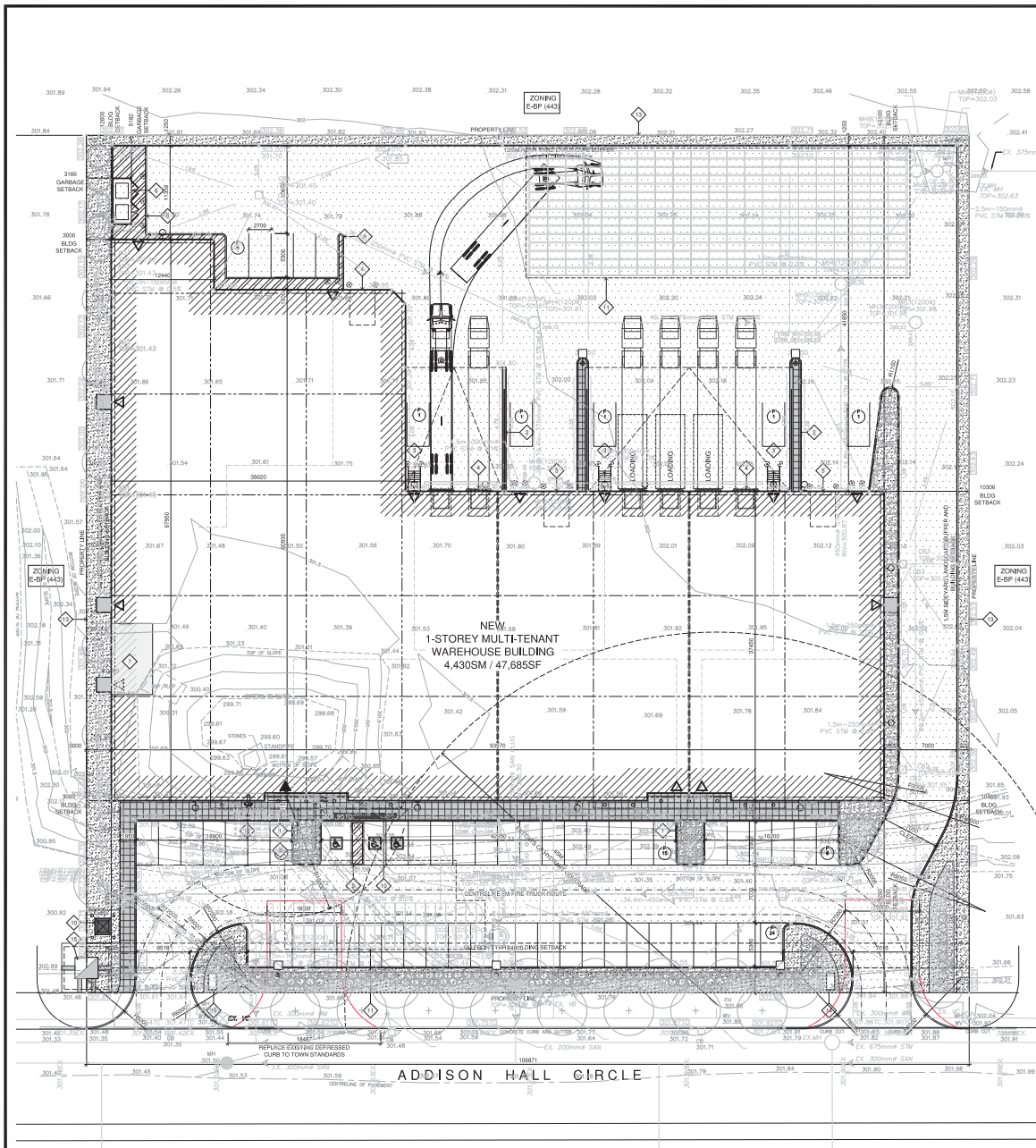
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OWNER:
Bosda International Inc.
30 Rimous Court, Unit #1
Mississauga, ON L4S 1G2

APPLICANT:
Cavalier & Associates Ltd.
2145 Dufferin Drive | Suite 14
Mississauga | Ontario | L4S 1G2

Minor Variance MV-2020-11
approved per:
Committee of Adjustment Meeting
June 18, 2020



drawing legend

LANDSCAPE AREA	PRINCIPAL ENTRANCE
HEAVY DUTY PAVING	SECONDARY ACCESS / EXIT
CONCRETE SIDEWALK	STEEL PIPE COLLARD
FLUSH CURB WITH TACTILE INDICATOR	WALL LIGHT - SEE ELECTRICAL
PAINTED STRIPING	PIPE HYDRANT
RETAINING WALL	

drawing notes

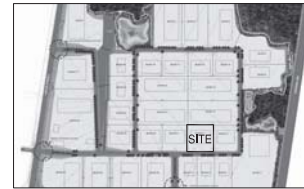
- OUTLINE OF CANOPY ABOVE
- OUTLINE OF UNDERGROUND STORAGE CHAMBER - REFER TO CIVIL
- POURED CONCRETE RETAINING WALL
- FIRE DEPARTMENT CONNECTION TO MEET ORC 3.2.16
- 2400 MM W X 3050 MM H DOOR
- HYDRO SWITCH GEAR
- 3050 MM W X 3050 MM H DOOR
- LOCATION OF FUTURE PITCH / OPENING
- REFUSE STORAGE ENCLOSURE
- 4 BAYS WITH NO ROOF
- SERVICE ROOMS (MECH, ELEC)
- TANDEM BICYCLE RACK
- PAINTED LINE STRIPING
- ELECTRICAL TRANSFORMER
- REFER TO ELECTRICAL DRAWINGS

general notes

- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS NOTED OTHERWISE
- REFER TO DRAWINGS AND REPORTS PREPARED BY:
 - SITE SERVING AND GRADING BY: HUSON ENGINEERING - MANAGEMENT
 - LANDSCAPING BY: BAKER TURNER INC.
 - ELECTRICAL SERVICES BY: LAPAS CONSULTING ENGINEERS LTD.
- ALL WASTE / RECYCLING SHALL BE STORED EXTERNALLY IN WASTE COLLECTION BINS AND COLLECTED UNDER PRIVATE CONTRACT.
- LAND OWNER SHALL ARRANGE SNOW REMOVAL UNDER PRIVATE CONTRACT.
- THREE SHALL BE NO OUTDOOR STORAGE.
- FIRE ROUTE SHALL BE A MINIMUM OF 3.0M CLEAR WITH A CENTERLINE TURNING RADIUS NO LESS THAN 15.0M.
- FIRE ROUTE SHALL BE DESIGNED TO SUPPORT FIRE FIGHTING EQUIPMENT.
- PAVEMENT SHALL BE LIGHT DUTY ASPHALT UNLESS NOTED OTHERWISE.
- SEWAGE & PAVEMENT MARKINGS SHALL MEET TOWN OF AURORA STANDARDS.
- ILLUMINATION SHALL BE DIRECTED AWAY FROM ADJACENT PROPERTIES INCLUDING LANES DESIGNATED FOR ENVIRONMENTAL PROTECTION.
- SEWAGE INDICATED SHALL BE USED FOR SITE PLAN PURPOSES ONLY AND IS NOT INTENDED TO INDICATE CONFORMANCE WITH THE BSN BY-LAW.
- BUILDING POINT RESIDUAL SHALL BE SUBJECT TO THE BUILDING PERMIT DRAWINGS NOT BEING IN CONFORMANCE WITH THESE APPROVED PLANS AND DRAWINGS INCLUDING, BUT NOT LIMITED TO THE EXTERIOR CORNER OF THE BUILDING AND EXTERIOR BUILDING MATERIALS.
- SEWAGE SHALL BE PROVIDED TO IDENTIFY THE "PRINCIPAL ENTRANCE" FOR THE PURPOSE OF FIRE FIGHTING.

survey information

TOPOGRAPHIC SURVEY OF
BLOCK 11
REGISTERED PLAN 65M-4650
TOWN OF AURORA - REGIONAL MUNICIPALITY OF YORK
SCHAFFER DZALDOV BENNETT LTD.
ONTARIO LAND SURVEYORS
BEARINGS ARE UTM GRID, ZONE 17, NAD83 (ORIGINAL).
D = DISTANCE
F = FOUND MONUMENT
S = SHORT
I = IRON BAR
M = MEASURED
REGISTERED PLAN 65M-4650
922
SCHAFFER DZALDOV BENNETT LTD.



context plan: nts

site statistics

EMPLOYMENT BUSINESS PARK (E-BP) (A43)
8800-17 (Town of Aurora Comprehensive Zoning By-law)
2.74 acres (11,094.3 sqm)

building classification

CLASSIFIED UNDER ONTARIO REGULATION 330/12
ORC 3.2.2.2. GROUP F, DIVISION 2, UP TO 3 STOREYS, SPRINKLERED
Building Area = 4,430sm / 47,685sf
(1) A building classified as Group F, Division 2 is permitted to conform to sentence (2) provided:
(a) except as permitted by A.8.8, 3.2.2.2. (1) the building is sprinklered;
(b) it is not more than 2 stories in building height; and
(c) it is a building that is not more than:
1. 3,000sm in length in building height;
2. 3,000sm in width in building height;
(2) The building referred to in Sentence (1) is permitted to be of combustible or noncombustible construction and shall be constructed in accordance with the provisions and, if of combustible construction, shall have the exterior walls, columns and arches supporting an assembly required to have a fire resistance rating not less than 45 minutes or 1 hour of non-combustible construction.

building floor area

1-Storey Warehouse Building	4,430 sm	47,685 sf
TOTAL FLOOR AREA (GFA)	4,430 sm	47,685 sf

coverage calculations

BUILDING AREA - SITE AREA	4,430.00sm / 11,094.30sm
building coverage	39.03 %
PAVING AREA - SITE AREA	5,278.00sm / 11,094.30sm
paved coverage	47.58 %
LANDSCAPED AREA - SITE AREA	1,385.00sm / 11,094.30sm
landscaped coverage	12.49 %
TOTAL COVERAGE	100.00 %

parking calculations - required

STANDARD PARKING REQUIREMENTS	
Warehouse 4800+ a multi-use Building a Business Park Zone	
Parking Space (Standard) = 2.7m x 5.3m	
3.0 spaces per 100sm for first 100sm, plus	2 x 1
2.0 spaces per 100sm for next 800sm, plus	2 x 9
1.2 spaces per 100sm for remaining space	2 x 1.3420
TOTAL STANDARD SPACES REQUIRED	29 spaces

BARRED FREE PARKING REQUIREMENTS	
Parking Space (Standard)	
Type A: 2.7m x 5.3m / Type B: 2.7m x 5.3m / 1.5m separation between Type A & B	
18 spaces (Type A) Parking Spaces (Standard) = 2.7m x 5.3m (Standard) and 1.5m separation	
TOTAL ACCESSIBLE SPACES REQUIRED	4% of 29 = 3 spaces
TOTAL PARKING PROVIDED	32 spaces (including 3 barrier free)

parking calculations - provided

STANDARD PARKING SPACES	29 spaces
New standard spaces to be provided (2.7m x 5.3m)	29 spaces
ACCESSIBLE PARKING SPACES	3 spaces
New accessible spaces to be provided (Type A)	3 spaces
New accessible spaces to be provided (Type B)	3 spaces
TOTAL ACCESSIBLE SPACES PROVIDED	3 spaces
TOTAL VEHICLE SPACES PROVIDED	32 spaces

loading calculations - required

LOADING SPACE REQUIREMENTS	INDUSTRIAL USE
Loading Space (Standard): 3m long x 3.5m wide x 4m clear height	
GFA 2,500sm or 7,000sm = 3 spaces required	
TOTAL LOADING SPACES REQUIRED	3 spaces

loading calculations - provided

LOADING SPACES PROVIDED	INDUSTRIAL USE
TOTAL LOADING SPACES PROVIDED	3 spaces

bicycle parking

BICYCLE PARKING REQUIREMENTS	
In Business Park Zone (E-BP (A43)) - per Zoning By-law 6000-17 Section 5.7	
2.2 spaces	
plus 0.25 spaces for each 1,000 m ² of GFA	
2.2 + 4.43(0.25)	
2.2 + 1.1075	
3.3075 spaces	
BICYCLE PARKING PROVIDED	4 spaces
4 spaces	

setbacks

MINIMUM SETBACKS - EMPLOYMENT BUSINESS PARK (E-BP (A43)) ZONE		
LOT (m)	REQUIRED	PROVIDED
Frontage	3.0m	61.20m
Floor space Index	N/A	2.4
YARD (m)	REQUIRED	PROVIDED
Front	6.0 m minimum	6.0m
Side	3.0 m minimum	3.0m
Other	3.0 m minimum	3.0m
LANDSCAPED BUFFER	REQUIRED	PROVIDED
Along street	3.0m	3.0m
Along other lot lines	None	N/A
LANDSCAPE AREA	REQUIRED	PROVIDED
	10% minimum	14.44%

building height

HEIGHT (m)	MAXIMUM	PROVIDED
Parapet (office)	None	12.20 m
Parapet (warehouse)	None	11.43 m

Site Plan

SCALE 1:250

Sight Lines

SCALE 1:750



This drawing is not to be used for construction without being approved by the engineer. The engineer is not responsible for the accuracy of the information provided in this drawing. The engineer is not responsible for the accuracy of the information provided in this drawing. The engineer is not responsible for the accuracy of the information provided in this drawing.



OWNER:
Bosda International Inc.
30 Rimous Court, Unit #1
Rimous, NB, Canada L4B 1A8
APPLICANT:
Cavallier & Associates Ltd.
2145 Danforth Drive, Suite 14
Mississauga, Ontario L4S 1C2

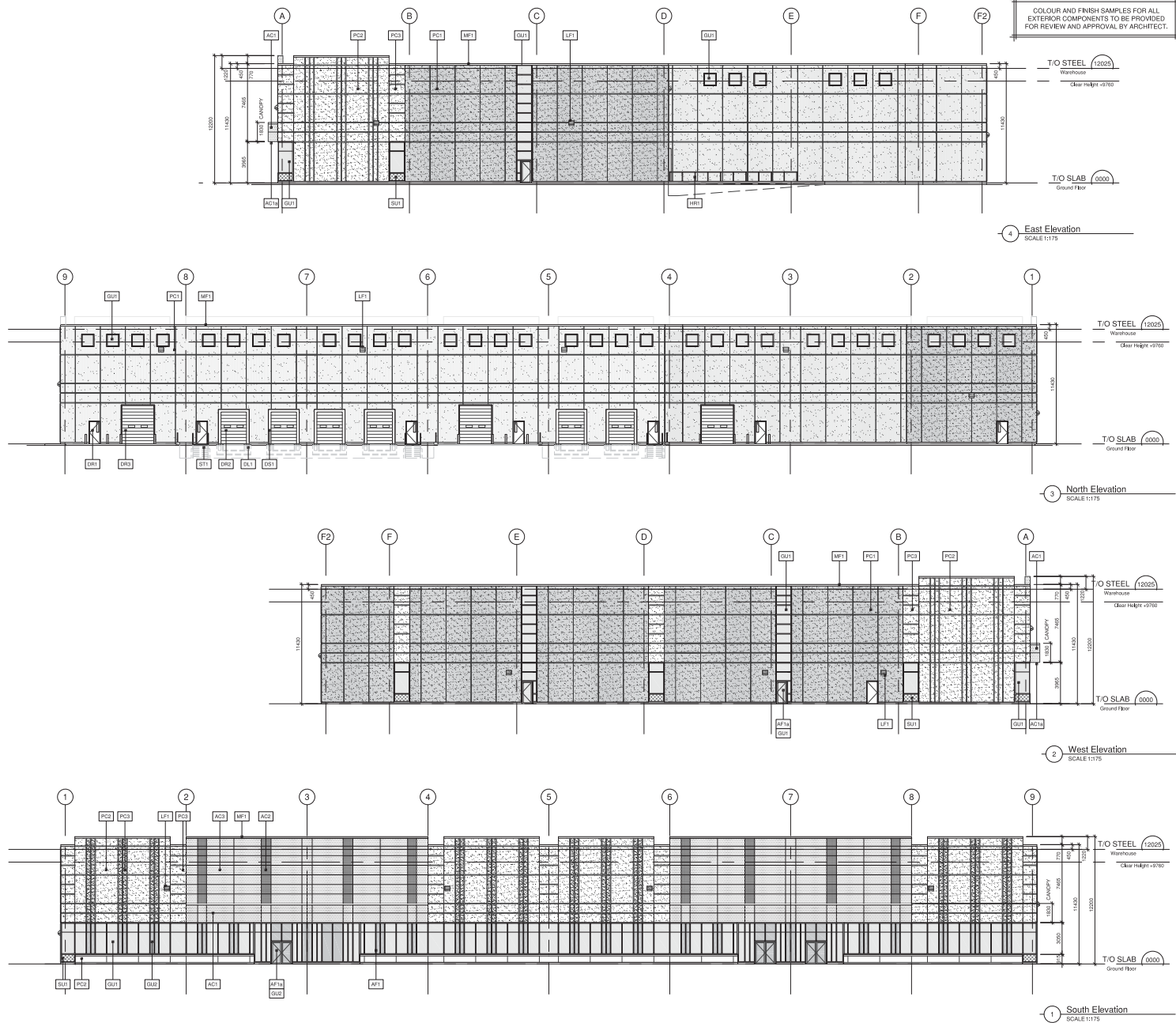
Minor Variance MV-2020-11
approved per:
Committee of Adjustment Meeting
June 18, 2020

Re-issued for Site Plan Approval 11 Oct 20
Re-issued for Site Plan Approval 27 Jul 20
Re-issued for Zoning Review 09 Mar 20
Re-issued for Zoning Review 02 Mar 20

Bosda International
1-Storey Multi-Tenant Warehouse Building
130 Ardmore Hall Circle
Aurora, Ontario

Site Plan
Project Number
19069
Drawn By: JSP
Checked By: HML
Date: Feb 2020
Scale: 1:500
Sheet Number:

A1.0



Pearce McCuskey Architects
200 Queen Street West, Suite 1102
Toronto, Ontario M5H 1A2
www.pearcemccluskey.ca
416.597.2444

TARIO ASSOCIATES
Professional Engineer
Licence 5612

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Circle number
Key to details

BOSDA INTERNATIONAL
We bring China closer to you

OWNER:
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Richmond Hill, ON L4B 1G8

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2145 Danforth Drive | Suite 14
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Minor Variance MV-2020-11
approved per:
Committee of Adjustment Meeting
June 18, 2020

Issued for Site Plan Application: 19 Oct 20
Issued for Zoning Review: 02 Mar 20

Bosda International
1-Storey Multi-Tenant Warehouse Building
130 Ardmore Hall Circle
Aurora, Ontario

Elevations

Project Number
19069

Drawn By: KBI
Checked By: KBI
Date: Feb 2020
Scale: 1/175
Sheet Number:

A3.0