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INTERNAL MEMORANDUM

VIA EMAIL

DATE: March 27, 2023

TO: B. Butler, Planning and Development Services

B. Jean, Building Division

M. Bat, Engineering & Capital Delivery Division

J. Van Schevndel, Corporate Services

G. Greidanus, Parks

L. Colangelo, Public WorksE. Terry, Policy PlanningA. Robb, Heritage PlanningG. Peri, Accessibility Advisor

A. Cutler, Waste/Recycling Coordinator

CC: M. Ramunno, Director of Planning and Development Services

L. Kuk, Development Planning

L. Hausz, Policy Planning and Economic Development

FROM: Kenny Ng, Planning and Development Services

Re: Site Plan Application

2352107 Ontario Inc.

1588 St. John's Sideroad (Block 1)

Part of Lot 26, Concession 3 File Number: SP-2020-09 Related File(s): SUB-2015-02

A fourth submission for the above Site Plan Application has been submitted to the Planning and Development Services department for review.

The applicant is proposing three (3) buildings in Block 1 with a total GFA of 527.59 m2 (5,678.93 ft2).

Please review this proposal and provide us with your comments and/or any recommended revisions that you may require by **April 24, 2023**.

Should you have any questions regarding the above noted proposal, please feel free to contact me.

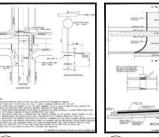
Attach.

SITE STATISTICS:																		
BLOCK #	# BUILDING		IG USE		BUILDING AREA SEC FL			/MEZZ FL TOTAL GFA		BLOCK	T. GFA/ BLOCK GFA/BLOCK	PARKING REQUIRED			PROPOSED PARKING			
i			USE	[SM]	[SF]	[SM]	[SF]	[SM]	[SF]	(SM)	(%)	COVER.	STANDARD	BARRIER-FREE	TOTAL	STANDARD	BARRIER-FREE	TOTAL
BLOCK 1	BUILDING A	(1-STOREY)	RESTAURANT	292.29	3,146.16	N/A	N/A	292.25	3,145.75		3.41%		32 (11/100SM)	1	33			
BLOCK I	BUILDING B	(1-STOREY)	RESTAURANT	235.54	2,535.34	N/A	N/A	235.54	2,535.34	5553.02	2.75%	2.75%	26 (11/100SM)	1	27	51	3	54
BLOCK 1 (COMBINED)								527.88	5,682.05		6.16%	6.16%	58	2	60	1	í I	
BLOCK 1A										4126.54								
BLOCK 2	BUILDING E	(1-STOREY)	EMPLOYMENT	2,630.54	28,314.82	1,052.20	11,325.82	3,682.74	39,640.64	7848.90	41.09%	29.35%	66	3	69	67	3	70
BLOCK 3	BUILDING F	(1-STOREY)	EMPLOYMENT	7.760.37	83.531.93	2.325.54	25.031.88	10.085.90	108,563,79	17.949.85	56,19%	43.23%	108	4	112	99	4	103
BLOCK 4	DOIGDITO 1	(1 0.012.)		1,700.07	,	-	20,001.00	,	1,								,	
BLOCK 5	BUILDING I	(1-STOREY)	EMPLOYMENT	5,913,79	63,655,51	2,330.01	25,080,02	8,243,80	88,735.52	13,477,57	61,17%	43.88%	99	4	103	93	4	97
BLOCK 6		(
	BUILDING K	(1-STOREY)	EMPLOYMENT				16,737.54				27.18%	19.45%	84		I	178	8	
BLOCK 7	BUILDING L	(2-STOREYS) - MULTIPLE UNIT		3,561.62	38,336.96		12,792.90			20,114.19	23.62%	17,71%	77 19 (3.5/100SM)	7 18	407			186
	BUILDING L	(2-STOREYS) - OFFICE	OFFICE				5,753.53				2.65%	17.71%			187	178		
BLOCK 7 (COMBINED)				7473.85	80,447.81	3,277.99	35,283.97	10,751.84	115,731.78		53.45%	37.16%	180	1				
TOTAL PARKING													513	20	533	492	22	514

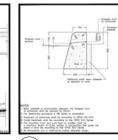
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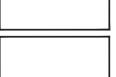






REV.	ISSUED FOR:	DATE:
	CLIENT REVIEW	02/03/2022
	CLIENT REVIEW	02/04/2022
	CLIENT REVIEW	02/15/2022
	CLIENT REVIEW	02/18/2022
	CLIENT REVIEW	06/13/2022
	CLIENT REVIEW	06/20/2022
	SITE PLAN APPROVAL BLOCK 5&6	10/21/2022
	CLIENT REVIEW	10/28/2022
	CLIENT REVIEW	11/01/2022
	CLIENT REVIEW	11/08/2022
	CLIENT REVIEW	11/14/2022
	CLIENT REVIEW	11/23/2022
	CLIENT REVIEW	12/02/2022
	CLIENT REVIEW	12/12/2022
	CLIENT REVIEW	01/05/2023
	CLIENT REVIEW	01/23/2023
4	AS PER SPA COMMENT - BLOCK 1	02/01/2023





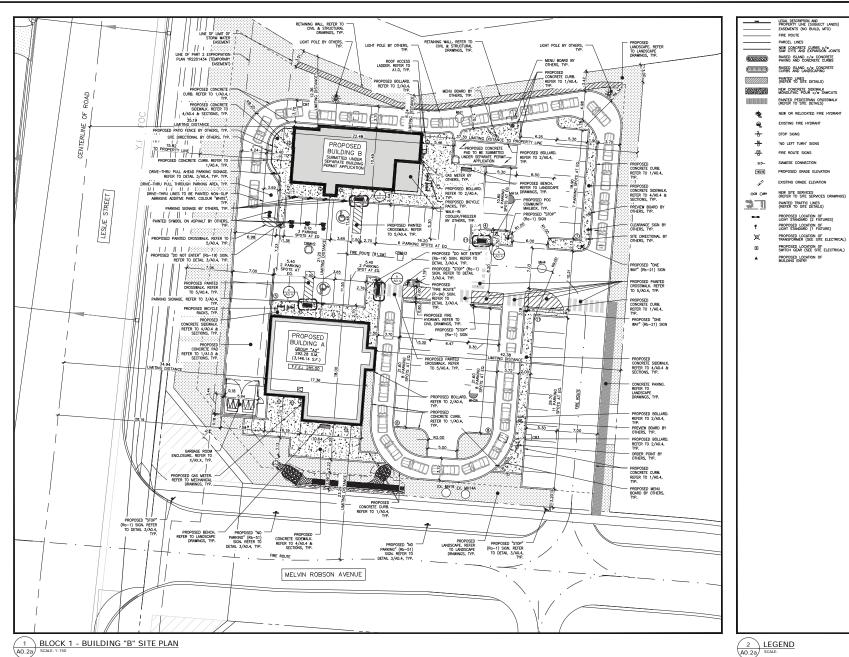




Proj no.: 18-714	Date: OCT 2018
Drawn by: CV	Scale: AS NOTED
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Morth -	Drawing No :



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	CLIENT REVIEW	12/12/2022
	CLIENT REVIEW	01/05/2023
	CLIENT REVIEW	01/23/2023

ections or damages resulting from his work





AURORA MILLS

BLOCK 1
LESLIE AND ST.JOHN'S SIDE ROAD, AURORA O

Drawing Name :

SITE PLAN

Proj no.: 18-714	Date: OCT 2018
Drawn by: CV	Scale: AS NOTED
Checked by: PM	
North:	Drawing No :



A0.2a





11'-8#*

GENERAL CONSTRUCTION NOTES

- ALL DRYWALL PERIMETER WALLS, DEMISING WALLS & PARTITIONS TO BE TAPED, SANDED, AND PRIMED READY TO RECEIVE NEW FINISHES FULL HEIGHT. TYP.

- 5. ALL DIMENSIONS TO THE FACE OF GWB UNLESS NOTED OTHERWISE
- FOR LOCATIONS OF UNDER FLOOR CONDUITS & PLUMBING. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS.
- 8. PROVIDE CONTROL JOINTS AS INDICATED IN GENERAL NOTES (SEE SECTION 0)(250). TYP.
- PROVIDE (2) KEYS FOR EACH DOOR, ALL ADDITIONAL KEYS ARE TO BE BY THE TENANT. TYP. DRAWING TO BE READ IN CONJUNCTION WITH ELEVATIONS & SECTIONS AND DETAILS FOR SCOPE OF WORK.
- ALL CONCRETE SLAB & WALL PENETRATIONS TO BE FIRE SEALED. G.C. TO PROVIDE HILTI APPROVED FIRE SEAL SHOP DRAWINGS.
- 12. AT TOLL MANUAL MANUAL MANUAL PROBLEMS AND MANUAL PROBLEMS AT ALL TOLL MANUAL PROBLEMS AT ALL TOLL MANUAL PROBLEMS AND MANU

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ANY CAD FILES OBTAINED BY MECHANICAL, ELECTRICAL, STRUCTURAL, CONSULTANTS, ETC. ARE IN LARGE PART BASED ON THE CAD FILES PREPARED AND PROVIDED BY PAUL MARQUES ARCHITECT IN THESE CAD FILES WERE PROVIDED TO CONSULTANTS AS AN INSTRUMENT OF SERVICE AND ARE NOT TO BE USED FOR SHOP DRAWNINGS. AFFIDAVIT WILL STILL BE REQUIRED FOR THE PREPARATION OF SHOP DRAWNINGS.

WASHROOM ROUGH IN. FINAL LOCATION TO BE COORDINATED WITH TENANT. REFER TO MECHANICAL DRAWINGS, TYP. 2 DASHED LINE REPRESENTS EXTENT OF LEAN MIX CONCRETE FROST SLAB. REFER TO SEC. 8 STRUCTURAL DRAWINGS, TYP. 13 REINFORCED CONCRETE PAD WITH BROOM FINISH ON MIN. 3" HIGHLOAD INSULATION. REFER STRUCTURAL DRAWINGS, TYP. 15 PROVIDE AND INSTALL GAS METERS. REFER TO MECHANICAL DRAWING 18 PROVIDE AND INSTALL NEW BOLLARDS. REFER TO DETAIL 2/40.4 TYP. PROVIDE AND INSTALL GAS METERS. REFER TO MECHANICAL DRAWINGS, TY

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	CLIENT REVIEW	10/21/2022
	CLIENT REVIEW	01/13/2022
	CLIENT REVIEW	01/16/2022
4	AS PER SPA COMMENTS - BLOCK 1	02/01/2023





AURORA MILLS

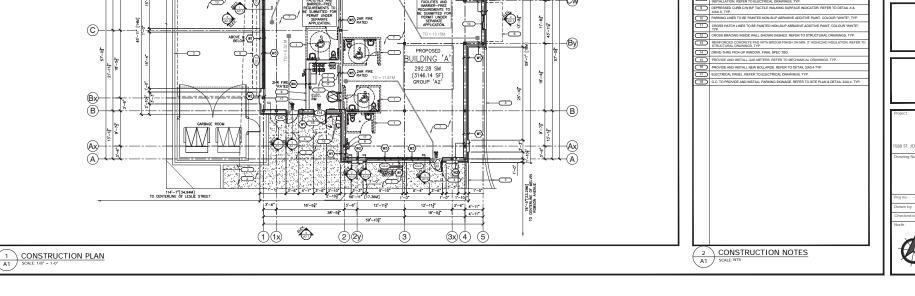
BLOCK - 1 1588 ST. JOHN'S SIDEROAD

FLOOR PLAN

oj no.: 18-714A Date: OCTOBER 2018 rawn by : KS Scale : AS NOTED



A1



2

17'-62"

GROUP 'A2'
UNIT AREA: 82.96 SM
893.06 SF
TENANT FIT-UP
WORK INCLUDING
ADDITIONAL
WASHROOM
FACILITIES AND
BARRIER-FREE

17 -54

17"-5}"

(1)(1x)

114'-5 [T34.89M] TO CENTERLINE OF LESUE STREET

-- (w2)

₫-(13)

-3

(C)

(3)

12'-115

9'-10" 3 PANELS © EQ

UNIT A1

GROUP 'A2 UNIT AREA: 198.5 2,137.03 SI

(3x)(4)(5)

4'-11"



(A)

3

\₂

3

19"-3"

3

TYP.

6'-10" 2 PANELS 8 EQ

1

THR (MID)

PROPOSED BUILDING 'B'

235.54 SM (2,535.34 SF)

GROUP 'A2'

E

1'-5'

6"-10"

(2) (43)

TYP.

11'-9‡

13'-8"

32'-3"

38M



(2)

TYP.

122'-4 [37.30M] TO PROPERTY LINE

-(2a)

<u>_</u>

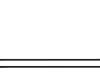
3 (2) (30)

GENERAL CONSTRUCTION NOTES

- ALL DRYWALL PERIMETER WALLS, DEMISING WALLS & PARTITIONS TO BE TAPED, SANDED, AND PRIMED READY TO RECEIVE NEW FINISHES FULL HEIGHT. TYP.
- PROVIDE SLIDING CONNECTION TO U/S OF BEAMS, DECK OR JOIST FOR ROOF DEFLECTION AS REQUIRED
- FIRE SEAL AT ROOF DECK, FLOOR AND ALL WALL PENETRATIONS TO SUIT RATING OF WALL. APPLICATION TO COMPLY WITH MANUFACTURER'S SPECIFICATIONS AND TO THE SATISFACTION OF ALL AUTHORITIES HAVING JURISDICTION FOR ALL RATE WALLS.
- CUT DRYWALL TO SUIT STRUCTURE, CAULK AND SEAL ROOF DECK, FLOOR AND ALL WALL PENETRATIONS, TYP.
- 5 ALL DIMENSIONS TO THE FACE OF GWILLINI ESS NOTED OTHERWISE
- FOR LOCATIONS OF UNDER FLOOR CONDUITS & PLUMBING, REFER TO ELECTRICAL AND MECHANICAL DRAWINGS.
- PROVIDE CONTROL JOINTS AS INDICATED IN GENERAL NOTES (SEE SECTION 09250), TYP.
- PROVIDE (2) KEYS FOR EACH DOOR, ALL ADDITIONAL KEYS ARE TO BE BY THE TENANT. TYP. DRAWING TO BE READ IN CONJUNCTION WITH ELEVATIONS & SECTIONS AND DETAILS FOR SCOPE OF WORK.
- ALL CONCRETE SLAB & WALL PENETRATIONS TO BE FIRE SEALED. G.C. TO PROVIDE HILTI APPROVED FIRE SEAL SHOP DRAWINGS.
- G.C. TO SUPPLY AND INSTALL 34" PLYWOOD AND WOOD BLOCKING BEYOND WALL FINISHES AT ALL WALL MOUNTED MILLWORK AND SIGNAGE LOCATIONS.
- 3. ALL CHANGE ORDER REQUESTS SUBMITTED FOR REVIEW MUST INCLUDE FULL LABOUR / MATERIAL BREAKOOWNS, BACK UP FROM THE GUPPUER, OVERHEAD AND PROTT, ALL SUBMISSIONS ON TOZOMEY FROM THE GUPPUER, OVERHEAD AND PROTT, ALL TO A CHARGE OF ISSO TO THE GENERAL CONTRACTOR. NO CHANGE ORDER REQUESTS WILL BE REVIEWED UNIT, OUTSTANDING POWER TIES HAVE BEEN PAID IN FULL.
- G.C. TO PROVIDE AND INSTALL DEFLECTION TRACK AT ALL LOCATIONS STEEL STUD WALLS EXTEND TO UIS OF STRUCTURE ABOVE. REFER TO DETAILS PAGE. TYP.

responsible for the accuracy of survey, shuctural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable code and requirements of authorities having jurisdiction. The contractor working from his contractor working from cardwings not specifically marked For Construction must be appropriated to the construction connections or damager resulting from his work.









AURORA MILLS BLOCK - 1

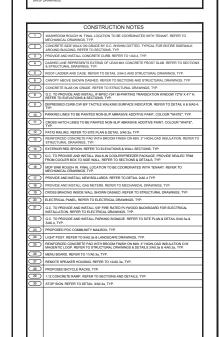
1588 ST. JOHN'S SIDEROAD

FLOOR PLAN

Proj no.: 18-714B	Date: OCTOBER 2018
Drawn by : KS	Scale: AS NOTED
Checked by: PM	



A5



1 CONSTRUCTION PLAN

3/4" [21.20M] TO BUILDING A

2 CONSTRUCTION NOTES A5 ,

nlot	DATE		COMMENTS	RESPONSIBILITY	ACTION	TIMING	RESPONSE
	DAIL		- Comments	REST CHOIDENT	AUTION	111111111111111111111111111111111111111	REGFORGE
Accessibility Advisory Committee (AAC) Gregory Peri	October 4, 2022						
		1	Automatic door openers for all public access locations, including proper timed door delays.	Paul Marques	Addressed	N/A	Refer to proposed floor plans & legend for Pull/Pushh buttom locations
		2		Paul Margues	Addressed	N/A	Refer to site plan & floor plans for signage location
		3	If space permits it on exterior path of travel, consideration for rest areas to be provided.	Paul Marques			Refer to site plan & landscape drawings
		4	Consideration for all customer services counters to have an allocated accessibility spot. Logistideration for addressions seating to the provinged importance in section 1.	Paul Marques			This will be addressed during the fit-up phase of the project This will be addressed during the fit-up phase of the project
Discusion and Development		5		Paul Marques	Noted	N/A	This will be addressed during the III-up phase of the project
Services Kenny Ng 365-500-3102 kng@aurora.ca	November 30, 2022						
		1		Weston	Noted		Minor Variance application for relief in parking space requirements was heard at Committee's January 12, 2023 meeting.
		2		Paul Marques	Noted	N/A	Refer to updated site plan & landscape drawings
		2	Please identify/provide areas for snow storage locations and garbage/waste collection on site plan. Opportunities for outdoor seating/bench in the patio areas. (provide elevation				Refer to updated site plan & landscape drawings
		5	details if proposed)	i dui ividi ques	Noted	TWA .	
		4	Green Development Report: - Updated Report to address second submission comments is outstanding Please submit updated report with the following comments resolved: a) Demonstrate efforts to reduce energy below the Model National Energy Code (Section 5.2.j) of the Official Plan b) Consider programmable thermostatis within the newly proposed buildings	ECOVERT	Addressed	N/A	Green Development Report was revised to include the MNECB baseline and to report savings against this baseline. Programmable Thermostats was added to the list of proposed energy efficiency measures.
		5	Cash-in-Lieu of Parkland is required. An appraisal is to be undertaken at the cost of the Owner to determine the value to be paid. The Owner will be required to enter into a	Owner	Noted		This can be completed prior to issuance of building permit as a
		-	Memorandum of Understanding with the Town with respect to payment of Cash-in-Lieu of Parkland. Cash-in-Lieu of Parkland is required prior to building permit issuance.				condition of the site plan agreement.
Bill Jean 905-727-3123 ext. 4391 ssample@aurora.ca	September 26, 2022						
		1	Based on the uses proposed, Building A, B and C as restaurants, a total of 57 parking spaces and 3 Barrier free parking spaces are required based on the areas provided. The proposal has 48 parking spaces and 3 Barrier free parking spaces. Please note that Barrier free parking spaces shall be additional to the required number of parking spaces.	Paul Marques	Noted	N/A	Building C is not longer part of scope of work
		2	Section 5.9.3 of the Zoning Bylaw requires a minimum of 12 stacking spaces for restaurants. The proposed stacking spaces for Buildings A and B are less than 12. Please note that	Paul Marques	Addressed	N/A	Refer to revised site plan drawings. Mininum of 12 stacking spaces has been achieved
		2	stacking spaces shall not be located in a manoeuvring alse as shown on the site plan.		Materia	AL/A	Building C is not longer part of scope of work
		3	structural traction and process societies and of the structure of the stru	Paul Marques	Noted	N/A	Canada G C 10 Not longer part of beope of work
Bill Butler 905-727-3123 ext. 4391 ssample@aurora.ca	November 14, 2022						
		1	Drawing S.1 indicates that the forehow may be on the Town easement this will be private and should be entirely moved onto the Block not the easement	scs		N/A	SCS is currently revieweing options to move the forebay outside the town easement.
		2		scs	Addressed	N/A	The direction of flow and swale slope percentages have been
		3	A 6% engineering fee of \$44,872.76 is required at this time	Haven			
		4	An LC of 50% rounded of \$180,000 based on the cost estimate.	Haven			
		6	A bulk water lee of 55,245. O based on 50,000 per 100/112 is required. Note one meter will be permitted for the block per operations requirements.				
		7	LSRCA approval is required	SCS			
		9					
Gary Greidanus 365-500-3133 ggreidanus@aurora.ca	November 23, 2022						
		1	We encourage the addition of larger canopy deciduous trees.	MHBC			Additional trees have been provided.
		2	Clarify the intent of the east limits of the landscape plan. Incorporate deciduous lot line trees.	MHBC			The deciduous trees have been provided along east boundary.
		3	Provide an updated landscape cost estimate.	MHBC	Addressed	N/A	The cost estimate has been updated.
Luigi Colangelo 365-500-3145 Icolangelo@aurora.ca	September 26, 2022						
		1	Each building on this site should have a Backflow Preventor installed.	Tigris			
		2					Noted Noted
		J	, , , , , , , , , , , , , , , , , , , ,	i aui iviai ques	rvoidu	IN/M	j
Wai Ying Di Giorgio	October 24, 2022		SITE PLAN:				Refer to revised site plan & landscape drawings.
		1	- While the pedestrian system has been refined and improved, there is still a lack of connectivity from the surrounding sidewalks, particularly at the corner of Leslie Street and St. John's Sideroad, to the interior pedestrian system.	Paul Marques & MHBC	Addressed	N/A	Refer to revised site plan & landscape drawings.
		2	- There is a lot of paving on the site, including the paved patio areas along the north side of Buildings A1 and A2. These areas should have some landscaping; it is recommended that planters be provided here. - Along the street frontage a continuous row of canopy trees should be provided and the planting areas should be continuous. The gaps in along these frontages should be planted	Paul Marques & MHBC	Addressed	N/A	Trefer to revised site plantic landscape drawings.
		3	and anchoring the corner. They can be placed from ground to top, or, from above the service entrances (see Sketch 1). b. Consider using these elements a slogic places for address, park or business signage. c. Ensure these elements are properly incorporated (i.e., if rejecting, provide a slight change in plane with returns; if recessed, anchor them to other elements of the building). d. Upgrade servicing entrances exposed to public view, specifically those at the southwest corner of Building A, by providing canopies and doors with glass panels (i.e., metal suspended canopies) In order to promote a more cohesive character/image, as much as possible ensure both buildings use the same colour/material palettes (re: neutral colours shown on coloured elevations), and window panel configurations (proportions, size and crientation) and frame colours. a. For building B, consider replacing material/colour B (NA19-0021) of Building B with be material/colour D (NA19-0023). b. As mentioned before, a maximum of 2 main material/solours and a third for accents is recommended (similar to what is proposed for Buildings A and C).	Paul Marques	Addressed		Elevation Design & Architectural Expression: Refer to revised elevations of both building A.8. Exphage room is now revised to an enclosed room as previously discussed. Heavier landscape has been added at the corner to improve visuals from the street. Services entrance has been improved to a set of louver doors to improve looks. Elfs Codours have been revised so both buildings to match. Regarding the colour scheme for building B, this was part of DO's prototype, this was previously discussed and should no longer be a concern.
	Planning and Development Services Konny Ng 365-500-3102 kng@aurora.ca Bill Jean 905-727-3123 ext. 4391 ssample@aurora.ca Bill Butter 905-727-3123 ext. 4391 ssample@aurora.ca Cary Greidanus 365-500-3133 ggreidanus@aurora.ca Luigi Colangelo 365-500-3145 icolangelo@aurora.ca	Accessibility Advisory Committee (AAC) Gregory Peri Planning and Development Services Kenny Ng 365-500-3102 kng@aurora.ca Bill Jean 905-727-3123 ext. 4391 ssample@aurora.ca September 26, 2022 Bill Butler 905-727-3123 ext. 4391 ssample@aurora.ca November 14, 2022 Gary Greidanus 365-500-3133 ggreidanus@aurora.ca November 23, 2022 Luigi Colangelo 365-500-3145 Icolangelo@aurora.ca September 26, 2022	Accessibility Advisory Committee (AAC) Gregory Peri 1	Commission (Addition of Comm	Montain Processing P	Committed Comm	