

INTERNAL MEMORANDUM

VIA EMAIL

DATE: March 27, 2023

TO: B. Butler, Planning and Development Services
B. Jean, Building Division
M. Bat, Engineering & Capital Delivery Division
J. Van Scheyndel, Corporate Services
G. Greidanus, Parks
L. Colangelo, Public Works
E. Terry, Policy Planning
A. Robb, Heritage Planning
G. Peri, Accessibility Advisor
A. Cutler, Waste/Recycling Coordinator

CC: M. Ramunno, Director of Planning and Development Services
L. Kuk, Development Planning
L. Hausz, Policy Planning and Economic Development

FROM: Kenny Ng, Planning and Development Services

Re: **Site Plan Application**
2352107 Ontario Inc.
1588 St. John's Sideroad (Block 1)
Part of Lot 26, Concession 3
File Number: SP-2020-09
Related File(s): SUB-2015-02

A fourth submission for the above Site Plan Application has been submitted to the Planning and Development Services department for review.

The applicant is proposing three (3) buildings in Block 1 with a total GFA of 527.59 m² (5,678.93 ft²).

Please review this proposal and provide us with your comments and/or any recommended revisions that you may require by **April 24, 2023**.

Should you have any questions regarding the above noted proposal, please feel free to contact me.

Attach.

2 SITE STATISTICS
A0.2 SCALE:



REV.	ISSUED FOR	DATE:
	CLIENT REVIEW	02/03/2002
	CLIENT REVIEW	02/04/2002
	CLIENT REVIEW	02/15/2002
	CLIENT REVIEW	02/19/2002
	CLIENT REVIEW	06/13/2002
	CLIENT REVIEW	06/20/2002
	SITE PLAN APPROVAL BLOCK 566	10/21/2002
	CLIENT REVIEW	03/28/2003
	CLIENT REVIEW	11/07/2002
	CLIENT REVIEW	11/08/2002
	CLIENT REVIEW	11/14/2002
	CLIENT REVIEW	11/22/2002
	CLIENT REVIEW	12/07/2002
	CLIENT REVIEW	01/27/2003
	CLIENT REVIEW	01/06/2003
	CLIENT REVIEW	02/01/2003
4	AS PER SPA COMMENT - BLOCK 1	02/27/2003



SEAL :	
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Project :
**AURORA MILLS
BLOCK 1**
LESLIE AND ST. JOHN'S SIDE ROAD, AURORA ON.

Proj no. : 18-714	Date : OCT 2018
Drawn by : CV	Scale : AS NOTED
Checked by : PM	
North :	Drawing No :



A0.2

COMMITTEE	plot	DATE	COMMENTS		RESPONSIBILITY	ACTION	TIMING	RESPONSE
ACCESSIBILITY	Accessibility Advisory Committee (AAC) Gregory Peri	October 4, 2022						
			1	Automatic door openers for all public access locations, including proper timed door delays.	Paul Marques	Addressed	N/A	Refer to proposed floor plans & legend for Pull/Push button locations
			2	Appropriate signage to designate the location of accessible entrance.	Paul Marques	Addressed	N/A	Refer to site plan & floor plans for signage location
			3	If space permits it on exterior path of travel, consideration for rest areas to be provided.	Paul Marques			Refer to site plan & landscape drawings
			4	Consideration for all customer services counters to have an allocated accessibility spot.	Paul Marques	Noted	N/A	This will be addressed during the fit-up phase of the project
			5	Consideration for accessible seating to be provided throughout the restaurant.	Paul Marques	Noted	N/A	This will be addressed during the fit-up phase of the project
	Planning and Development Services Kenny Ng 365-500-3102 kng@aurora.ca	November 30, 2022						
			1	Minor variance approval required to address zoning deficiencies regarding parking and stacking space requirements prior to execution of a site plan agreement. Please submit for minor variance when final site plan is approved to avoid discrepancies between plans reference through minor variance and site plan.	Weston	Noted		Minor Variance application for relief in parking space requirements was heard at Committee's January 12, 2023 meeting.
			2	Continue to explore options to improve pedestrian scale and connectivity, landscape and building aesthetics with reference to attached TPP comments.	Paul Marques	Noted	N/A	Refer to updated site plan & landscape drawings
			3	Please identify/provide areas for snow storage locations and garbage/waste collection on site plan. Opportunities for outdoor seating/bench in the patio areas. (provide elevation details if proposed)	Paul Marques	Noted	N/A	Refer to updated site plan & landscape drawings
			4	Green Development Report: - Updated Report to address second submission comments is outstanding. - Please submit updated report with the following comments resolved: a) Demonstrate efforts to reduce energy below the Model National Energy Code (Section 5.2 j) of the Official Plan b) Consider programmable thermostats within the newly proposed buildings	ECOVERT	Addressed	N/A	Green Development Report was revised to include the MNECB baseline and to report savings against this baseline. Programmable Thermostats was added to the list of proposed energy efficiency measures.
			5	Cash-in-Lieu of Parkland is required. An appraisal is to be undertaken at the cost of the Owner to determine the value to be paid. The Owner will be required to enter into a Memorandum of Understanding with the Town with respect to payment of Cash-in-Lieu of Parkland. Cash-in-Lieu of Parkland is required prior to building permit issuance.	Owner	Noted		This can be completed prior to issuance of building permit as a condition of the site plan agreement.
	Bill Jean 905-727-3123 ext. 4391 sjsample@aurora.ca	September 26, 2022						
			1	Based on the uses proposed, Building A, B and C as restaurants, a total of 57 parking spaces and 3 Barrier free parking spaces are required based on the areas provided. The proposal has 48 parking spaces and 3 Barrier free parking spaces. Please note that Barrier free parking spaces shall be additional to the required number of parking spaces.	Paul Marques	Noted	N/A	Building C is not longer part of scope of work
			2	Section 5.9.3 of the Zoning Bylaw requires a minimum of 12 stacking spaces for restaurants. The proposed stacking spaces for Buildings A and B are less than 12. Please note that stacking spaces shall not be located in a manoeuvring aisle as shown on the site plan.	Paul Marques	Addressed	N/A	Refer to revised site plan drawings. Minimum of 12 stacking spaces has been achieved
			3	I understand that the stacking spaces issue will be dealt with by the Committee of Adjustment. Is the number of parking spaces also part of the minor variance application	Paul Marques	Noted	N/A	Building C is not longer part of scope of work
	Bill Butler 905-727-3123 ext. 4391 sjsample@aurora.ca	November 14, 2022						
			1	Drawing S-1 indicates that the forebay may be on the Town easement, this will be private and should be entirely moved onto the Block not the easement	SCS		N/A	SCS is currently reviewing options to move the forebay outside the town easement.
			2	Dwg GR-1 should clearly indicate that there is a cut off swale above the retaining wall along with direction of flow	SCS	Addressed	N/A	The direction of flow and swale slope percentages have been
			3	A 6% engineering fee of \$44,872.76 is required at this time	Haven	Noted	N/A	
			4	An LC of 50% rounded of \$180,000 based on the cost estimate.	Haven	Noted	N/A	
			5	A bulk water fee of \$3,248.16 based on \$60.00 per 100m2 is required.	Haven	Noted	N/A	
			6	Note one meter will be permitted for the block per operations requirements.	SCS	Noted	N/A	
			7	LSRCA approval is required	SCS			
			8	A \$1,000 fee for future sanitary sewer model update is required	Haven	Noted	N/A	
			9	A \$1,000 for future water model update is required	Haven	Noted	N/A	
	Gary Greidanus 365-500-3133 ggreidanus@aurora.ca	November 23, 2022						
			1	We encourage the addition of larger canopy deciduous trees.	MHBC	Addressed	N/A	Additional trees have been provided.
			2	Clarify the intent of the east limits of the landscape plan. Incorporate deciduous lot line trees.	MHBC	Addressed	N/A	The deciduous trees have been provided along east boundary.
			3	Provide an updated landscape cost estimate.	MHBC	Addressed	N/A	The cost estimate has been updated.
	Luigi Colangelo 365-500-3145 lcolangelo@aurora.ca	September 26, 2022						
			1	Each building on this site should have a Backflow Preventor installed.	Tigris	Noted	N/A	
			2	All private fire hydrants to be painted Yellow	Paul Marques	Noted	N/A	Noted
			3	Private hydrant will require a reflective marker.	Paul Marques	Noted	N/A	Noted
	Wai Ying Di Giorgio	October 24, 2022						
			1	SITE PLAN: Building Configuration and Placement: - While the pedestrian system has been refined and improved, there is still a lack of connectivity from the surrounding sidewalks, particularly at the corner of Leslie Street and St. John's Sideroad, to the interior pedestrian system.	Paul Marques & MHBC	Addressed	N/A	Refer to revised site plan & landscape drawings.
			2	STREETSCAPE/LANDSCAPE: - There is a lot of paving on the site, including the paved patio areas along the north side of Buildings A1 and A2. These areas should have some landscaping; it is recommended that planters be provided here. - Along the street frontage a continuous row of canopy trees should be provided and the planting areas should be continuous. The gaps in along these frontages should be planted to screening headlight.	Paul Marques & MHBC	Addressed	N/A	Refer to revised site plan & landscape drawings.
			3	BUILDING MASSING AND ELEVATIONS: Comment Note Elevation Design & Architectural Expression: - Blank wall along street frontages should be avoided. Given the program and site organization of Building A, the blank walls at the southwest corner need to be upgraded and treated with special elements that animate this highly visible corner of the site. a. Consider graphic walls, green walls and/or metallic mesh structures attached to the wall, or a combination thereof. These should be taller than the overall building, Accentuating and anchoring the corner. They can be placed from ground to top, or, from above the service entrances (see Sketch 1). b. Consider using these elements as logic places for address, park or business signage. c. Ensure these elements are properly incorporated (i.e., if projecting, provide a slight change in plane with returns; if recessed, anchor them to other elements of the building). d. Upgrade servicing entrances exposed to public view, specifically those at the southwest corner of Building A, by providing canopies and doors with glass panels (i.e., metal suspended canopies). - In order to promote a more cohesive character/image, as much as possible ensure both buildings use the same colour/material palettes (re: neutral colours shown on coloured elevations), and window panel configurations (proportions, size and orientation) and frame colours. a. For Building B, consider replacing material/colour B (NA19-0021) of Building B with be material/colour D (NA19-0023). b. As mentioned before, a maximum of 2 main materials/colours and a third for accents is recommended (similar to what is proposed for Buildings A and C). - While the coloured elevations provide for an idea of the ultimate vision for the building appearance, they are not sufficient for properly assessing colour/material packages. A mock-up of the colour/material palette should be provided before final approval.	Paul Marques	Addressed	N/A	Elevation Design & Architectural Expression: Refer to revised elevations of both building A & B. garbage room is now revised to an enclosed room as previously discussed. Heavier landscape has been added at the corner to improve visuals from the street. Services entrance has been improved to a set of louver doors to improve looks. EIFS colours have been revised so both buildings to match. Regarding the colour scheme for building B, this was part of DQ's prototype, this was previously discussed and should no longer be a concern.