

Attachments

SYMBOL LEGEND	
	MAIN DOOR LOCATIONS
	LOADING DOCK LOCATIONS
	DRIVE-IN LOCATIONS
	ENTRANCES & EXIT VESTIBULES
	DIRECTION OF TRAFFIC FLOW
	LANDSCAPE ISLANDS VEGETATION SPECIES: SEE LANDSCAPE CALL/DETAILS LANDSCAPE: SEE LANDSCAPE DRAWING
	PAVED ISLANDS PAVED ISLANDS: SEE LANDSCAPE CALL/DETAILS
	CIRCUITS FOR ACCESSIBLE ACCESS
	LIGHT DUTY APPAREL FITTING SEE FINISHING AND INTERIORS FOR DETAILS
	HEAVY DUTY APPAREL FITTING TRUCKING ROUTE SEE SITE SERVICE & SHOWING SPACE FOR DETAILS
	SNOW STORAGE
	EASEMENT
	PROPERTY LINE
	SEPARATED FIRE ROUTE
	ACCESSIBLE PARKING SIGN
	ACCESSIBLE PARKING STALL
	FIRE HYDRANT AND VALVE REFER TO TYPICAL SITE PLAN FOR DETAILS
	FIRE DEPT CONNECTION
	ALTERNATIVE FUELING STATION
	GARAGE ROOM
	ELECTRICAL ROOM
	MECHANICAL ROOM
	CART CORRAL
	BICYCLE RACK CHECK CONDITIONS TO DETERMINE IF BICYCLE RACKS ARE REQUIRED FOR THIS PROJECT
	FIRE ANNUNCIATOR PANEL
	FIRE ALARM
	CANADA POST FACILITY
	SHIPPING/RECEIVING PAPER TO ELECTRICAL SERVICE
	FIRE-ROUTE SIGN
	IMPERVIOUS ASPHALT

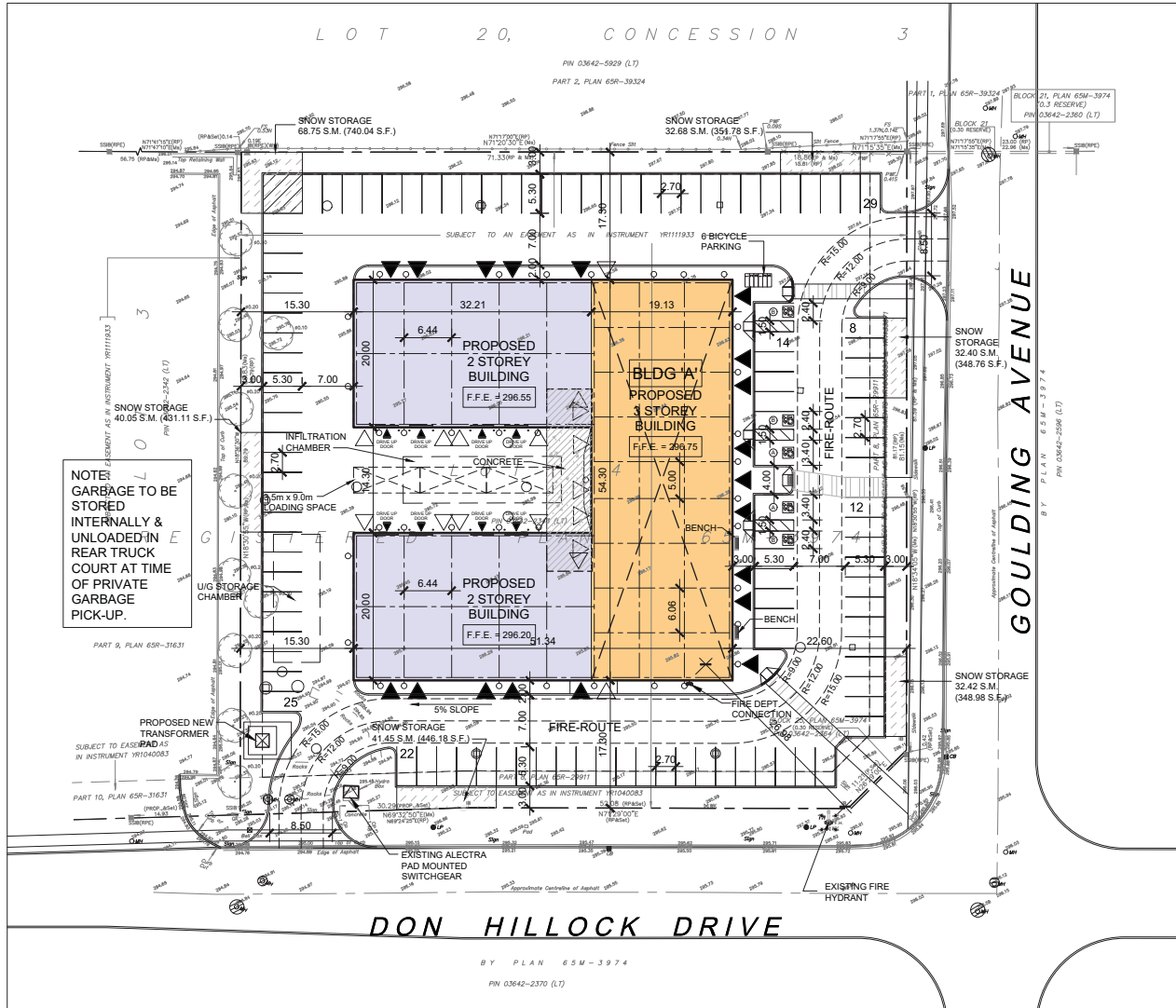
PLAN OF SURVEY SHOWING TOPOGRAPHIC FEATURES LOT 4, REGISTERED PLAN 65M-3974 TOWN OF AURORA REGIONAL MUNICIPALITY OF YORK

YOUNG & YOUNG SURVEYING INC.
ONTARIO LAND SURVEYORS
DATE: JANUARY, 12 2022.

SITE ANALYSIS (SPA)	
ZONING:	E - BP (338)
LOT AREA:	8,008.37 S.M. (1.98 ACRES)
BUILDING AREA:	
GROUND FLOOR (INDUST.):	2,263.20 S.M. (24,361.68 S.F.)
2ND FLOOR (INDUST.):	2,327.29 S.M. (25,051.58 S.F.)
3RD FLOOR (OFFICE):	1,038.74 S.M. (11,181.27 S.F.)
TOTAL GFA:	5,629.23 S.M. (60,584.51 S.F.)
COVERAGE:	
F.S.I.:	28.26%
	0.71
PARKING REQUIRED (INDUSTRIAL INET):	
100.00 S.M. @ 3 CAR / 100 S.M.	3 SPACES
2,700.00 S.M. @ 2 CAR / 100 S.M.	54 SPACES
1,249.77 S.M. @ 1 CAR / 100 S.M.	13 SPACES
992.54 S.M. @ 3.5 CAR / 100 S.M.	35 SPACES
TOTAL PARKING REQUIRED:	105 SPACES
PARKING PROVIDED:	
	110 SPACES
ACCESSIBLE PARKING REQD:	
1 + 3% OF 110 = 5 SPACES	
ACCESSIBLE PARKING PROVID:	
2 TYPE A	
3 TYPE B	
BUILDING HEIGHT:	
	15.5m (3 STOREYS)
PAVED AREA:	
	4,322.19 S.M. (53.97%)
LANDSCAPE AREA:	
	1,422.98 S.M. (17.77%)
SNOW STORAGE AREA:	
	247.75 S.M. (3.09%)
NET GFA (EXCLUDING STAIRWELLS & ELEVATOR SHAFTS)	
GROUND FLOOR (INDUST.):	2,263.20 S.M. - 220.92 S.M. = 2,042.28 S.M.
2ND FLOOR (INDUST.):	2,327.29 S.M. - 319.80 S.M. = 2,007.49 S.M.
3RD FLOOR (OFFICE):	1,038.74 S.M. - 46.20 S.M. = 992.54 S.M.
TOTAL GFA:	5,629.23 S.M. - 586.92 S.M. = 5,042.31 S.M.



KEY MAP
N.T.S.

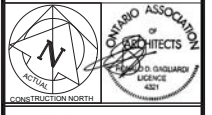


NOTE:
GARBAGE TO BE STORED INTERNALLY & UNLOADED IN REAR TRUCK COURT AT TIME OF PRIVATE GARBAGE PICK-UP.

ONTARIO BUILDING CODE DATA MATRIX (PART 2)		BUILDING CODE REFERENCE	
UNIT	DESCRIPTION	UNIT	DESCRIPTION
U1	USE CATEGORY	U1	INDUSTRIAL
U2	USE CATEGORY	U2	INDUSTRIAL
U3	USE CATEGORY	U3	INDUSTRIAL
U4	USE CATEGORY	U4	INDUSTRIAL
U5	USE CATEGORY	U5	INDUSTRIAL
U6	USE CATEGORY	U6	INDUSTRIAL
U7	USE CATEGORY	U7	INDUSTRIAL
U8	USE CATEGORY	U8	INDUSTRIAL
U9	USE CATEGORY	U9	INDUSTRIAL
U10	USE CATEGORY	U10	INDUSTRIAL
U11	USE CATEGORY	U11	INDUSTRIAL
U12	USE CATEGORY	U12	INDUSTRIAL
U13	USE CATEGORY	U13	INDUSTRIAL
U14	USE CATEGORY	U14	INDUSTRIAL
U15	USE CATEGORY	U15	INDUSTRIAL
U16	USE CATEGORY	U16	INDUSTRIAL
U17	USE CATEGORY	U17	INDUSTRIAL
U18	USE CATEGORY	U18	INDUSTRIAL
U19	USE CATEGORY	U19	INDUSTRIAL
U20	USE CATEGORY	U20	INDUSTRIAL
U21	USE CATEGORY	U21	INDUSTRIAL
U22	USE CATEGORY	U22	INDUSTRIAL
U23	USE CATEGORY	U23	INDUSTRIAL
U24	USE CATEGORY	U24	INDUSTRIAL
U25	USE CATEGORY	U25	INDUSTRIAL
U26	USE CATEGORY	U26	INDUSTRIAL
U27	USE CATEGORY	U27	INDUSTRIAL
U28	USE CATEGORY	U28	INDUSTRIAL
U29	USE CATEGORY	U29	INDUSTRIAL
U30	USE CATEGORY	U30	INDUSTRIAL
U31	USE CATEGORY	U31	INDUSTRIAL
U32	USE CATEGORY	U32	INDUSTRIAL
U33	USE CATEGORY	U33	INDUSTRIAL
U34	USE CATEGORY	U34	INDUSTRIAL
U35	USE CATEGORY	U35	INDUSTRIAL
U36	USE CATEGORY	U36	INDUSTRIAL
U37	USE CATEGORY	U37	INDUSTRIAL
U38	USE CATEGORY	U38	INDUSTRIAL
U39	USE CATEGORY	U39	INDUSTRIAL
U40	USE CATEGORY	U40	INDUSTRIAL
U41	USE CATEGORY	U41	INDUSTRIAL
U42	USE CATEGORY	U42	INDUSTRIAL
U43	USE CATEGORY	U43	INDUSTRIAL
U44	USE CATEGORY	U44	INDUSTRIAL
U45	USE CATEGORY	U45	INDUSTRIAL
U46	USE CATEGORY	U46	INDUSTRIAL
U47	USE CATEGORY	U47	INDUSTRIAL
U48	USE CATEGORY	U48	INDUSTRIAL
U49	USE CATEGORY	U49	INDUSTRIAL
U50	USE CATEGORY	U50	INDUSTRIAL

DRAWING ISSUE

DATE	PARTICULARS	BY
	Issued for Design Approval	
	Issued for Permit Approval	
	Issued for Pricing and Bidding	
	Issued for Building Permit	
	Issued for Tendering	
	Issued for Record Set of Drawings	



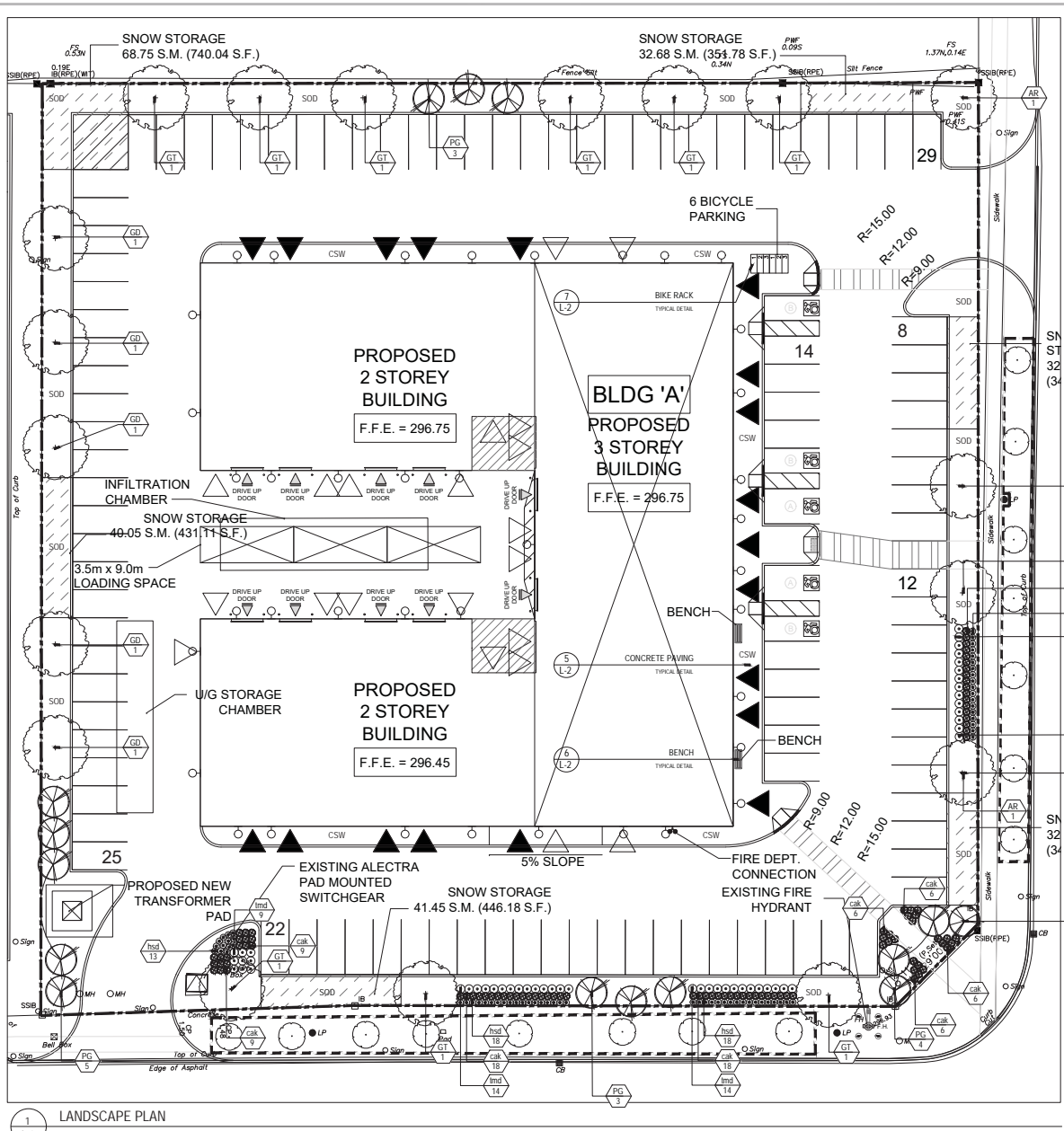
VGA
Vencharan Gargash Architects Inc.
207 West Beaver Creek Rd., Suite 100, Aurora, ON L3R 9V3
905-471-1340 905-471-1807
www.vga.net

PROPOSED INDUSTRIAL DEVELOPMENT

100 GOULDING AVENUE
AURORA, ONTARIO
DRAWING NAME
SITE PLAN
CITY FILE #

SCALE	DATE OF DWS	PROJECT NO.
1:250	DEC. 8, 2022	22010
DRAWN BY	SHEET NO.	SFA
DWL	A-100	
CHKD BY	RDG	

1 SITE PLAN
A-100 SCALE: 1:250



PLANT LIST

Plant quantities indicated on the plan supersede the quantities from the plant list (report any discrepancies to the Landscape Architect)

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	DROUGHT TOLERANT	NATIVE	CALIPER	CONDITION	SPACING
DECIDUOUS TREES								
AR	4	ACER RUBRUM	RED MAPLE	✓	✓	40mm	S.B.	1000 cm
GT	9	GLEDITSIA TRICANTHOS VAR. INERMIS	THORNLESS HONEYLOCUST	✓	✓	40mm	S.B.	1000 cm
CD	5	CHAMAELIRIUM DEICENS	KENTUCKY COFFEE TREE	✓	✓	40mm	S.B.	1000 cm
CONIFEROUS TREES								
PG	15	PICEA-GLAUCA	WHITE SPRUCE	✓	✓	150mm High		300 cm
CONIFEROUS SHRUBS								
MH	51	TAXUS X MEDIA DEMORFORMIS	DENISE YEW	✓	✓	1 gal POT		80 cm
PERENNIALS AND GRASSES								
CAK	96	CALAMAGROSTIS X ACUTIFLORA KARL FOERSTER	KARL FOERSTER FEATHER REED GRASS	✓	✓	1 gal POT		60 cm
HSL	67	HENRICUS-STELLA DIVID	STELLA HYDRANGEALIS	✓	✓	1 gal POT		60 cm

LEGEND

- PROPOSED DECIDUOUS TREE
- PROPOSED CONTINUOUS SHRUB BED
- PROPOSED CONIFEROUS TREE
- SODDED AREA
- CONCRETE WALKWAY
- TREE PROTECTION FENCING PER TOWN OF AURORA STANDARDS
- EXISTING DECIDUOUS TREE TO REMAIN

GENERAL NOTES

1. Do not scale the drawings. All dimensions are in millimetres unless noted otherwise.
2. This drawing is to be read in conjunction with the overall master plan and engineering drawings prepared by the project engineer and site plans prepared by the project architect.
3. The contractor shall check and verify all existing and proposed grading and conditions on the project and immediately report any underground services and utility lines staked by each agency having jurisdiction prior to commencing work.
4. The contractor is to be aware of all existing and proposed services and utilities. The contractor is responsible for having all underground services and utility lines staked by each agency having jurisdiction prior to commencing work.
5. This drawing is to be used for development approval only. For layout of all work refer to construction drawings.
6. Plant quantities indicated on the plan supersede the quantities from the plant list (report any discrepancies to the landscape architect).
7. Do not leave any holes open overnight.
8. Keep area outside construction zone clean and useable by others at all times. Contractor shall thoroughly clean areas surrounding the construction zone at the end of each work day.
9. Contractor to make good any and all damages outside of the development area that may occur as a result of construction at no extra cost.
10. This drawing is Copyright MHBC 2022

1 LANDSCAPE PLAN
L-1 1:200

SHRUB PLANTING
TYPICAL DETAIL 3 L-2

DECIDUOUS TREE PLANTING
TYPICAL DETAIL 2 L-2

CONIFEROUS TREE PLANTING
TYPICAL DETAIL 4 L-2

REVISION NO.	DATE	ISSUED / REVISION	BY
1.	NOVEMBER 28, 2022	ISSUED FOR SPA	CC

PLANNING URBAN DESIGN & LANDSCAPE ARCHITECTURE
MHBC
 520-700 WETCH ROAD WOODBINE, ONTARIO, CANADA M2H 1R7 | P: 905-761-8888 | F: 905-761-5889 | WWW.MHBCPLAN.COM

STAMP

ASSOCIATION OF LANDSCAPE ARCHITECTS OF ONTARIO
 MEMBER
 LANDSCAPE ARCHITECT

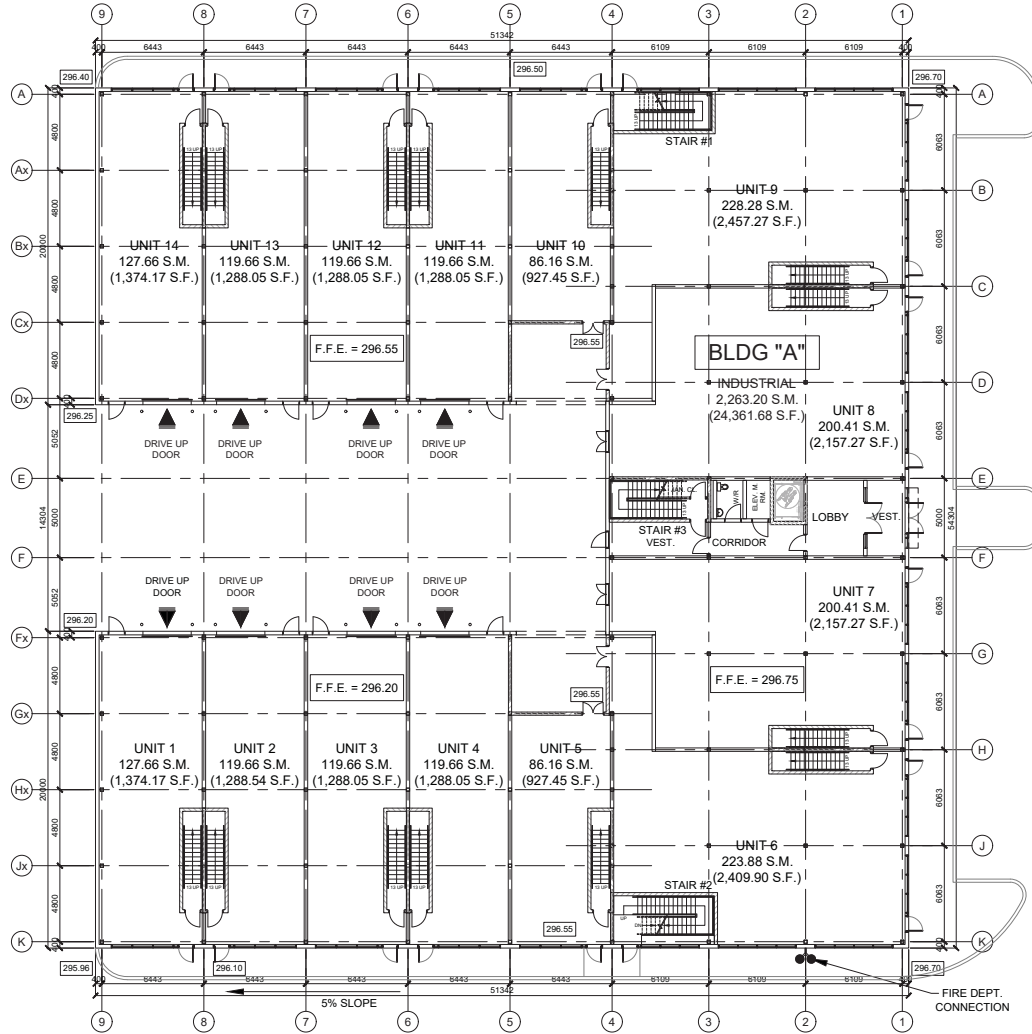
ISSUED FOR SPA ONLY
 NOT FOR CONSTRUCTION

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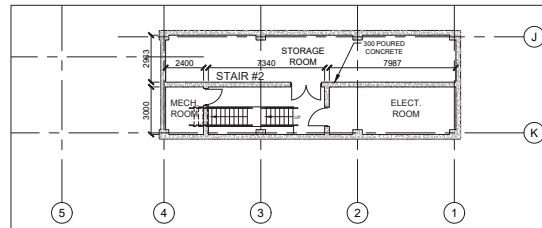
PROJECT
 100 GOULDING AVENUE
 AURORA, ON

FILE NAME	DWG NO.
LANDSCAPE PLAN	L1

\\woodbc\l\proj\19128\1 - 100 Goulding - Aurora\J. Drapatz\A. Landman\11-28-2022\191280 - Landscape Plan - 11-28-2022.dwg



2 GROUND FLOOR PLAN (BLDG 'A')
SCALE: 1/32



1 BASEMENT PLAN (BLDG 'A')
SCALE: 1/32

WALL LEGEND:

INTERIOR WALL TYPE:

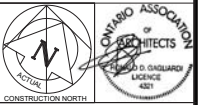
- (1) 200 CONCRETE BLOCK WALL
- (2) ONE HOUR FIRE RATED ULC-W407 13 TYPE G DRYWALL EACH SIDE OF 100 METAL STUDS W/ SATI INSULATION
- (3) ONE HOUR FIRE RATED ULC-W407 13 TYPE G DRYWALL EACH SIDE OF 100 METAL STUDS W/ SATI INSULATION
- (4) 13 DRYWALL EACH SIDE OF 92 METAL STUDS

NO.	DATE	REVISIONS	BY

DRAWING ISSUE

DATE	PARTICULARS	BY
	Issued for Design Approval	
	Issued for City Plan Approval	
	Issued for Pricing and Budgeting	
	Issued for Tendering	
	Issued for Construction	
	Issued for Record Set of Drawings	

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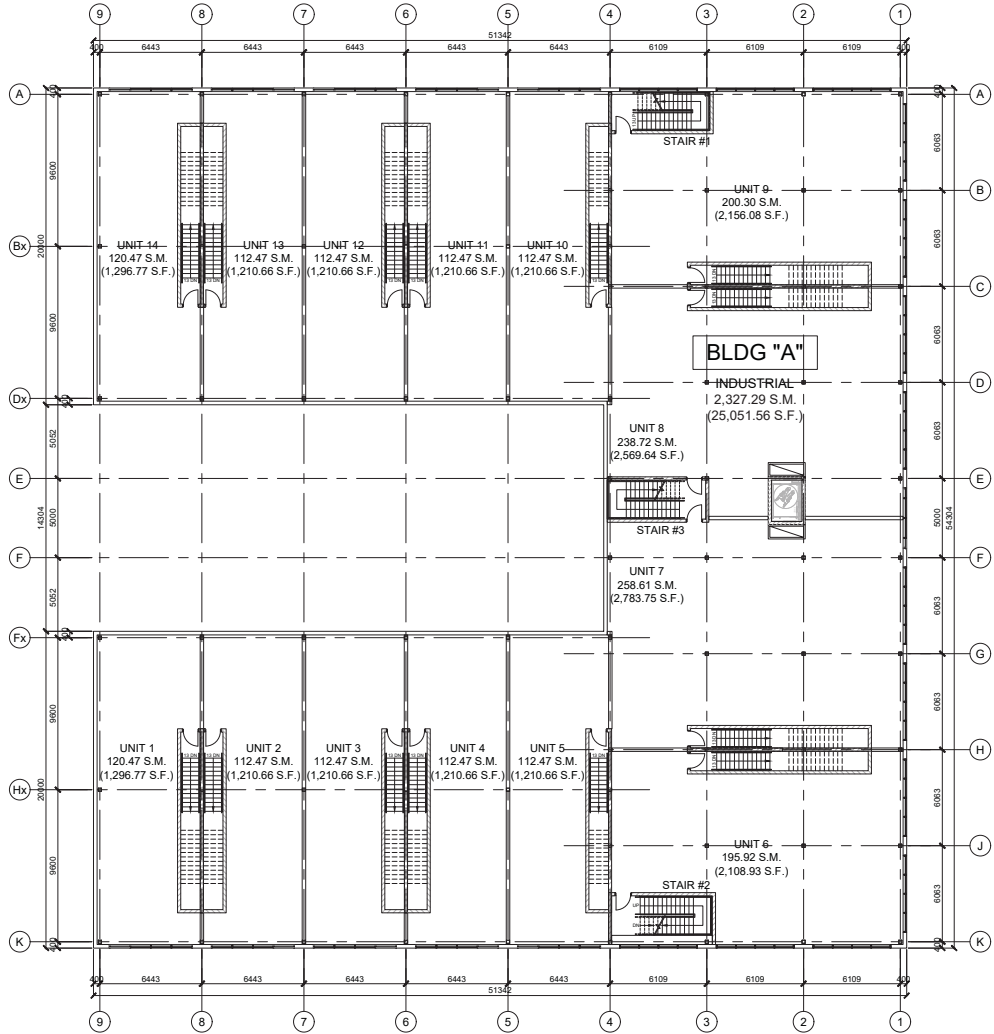


VGA Vignelli Gagliardi Architects Inc.
100 Gouling Avenue
Aurora, Ontario
M1S 4T7
Tel: 416-471-1800 Fax: 416-471-1807
www.vga.ca

PROJECT
PROPOSED INDUSTRIAL DEVELOPMENT
100 GOULING AVENUE
AURORA, ONTARIO

SCALE	DATE OF DWS	PROJECT NO.
1/32	DEC 14, 2022	22010
DRAWN BY: DML	CHECKED BY: RDG	SHEET NO. A-200

AUTOCAD 2022



1 SECOND FLOOR PLAN (BLDG 'A')

NO.	DATE	REVISIONS	BY

DRAWING ISSUE

DATE	PARTICULARS	BY
	Issued for Design Approval	
	Issued for Site Plan Approval	
	Issued for Pricing and Budgeting	
	Issued for Building Permit	
	Issued for Tendering	
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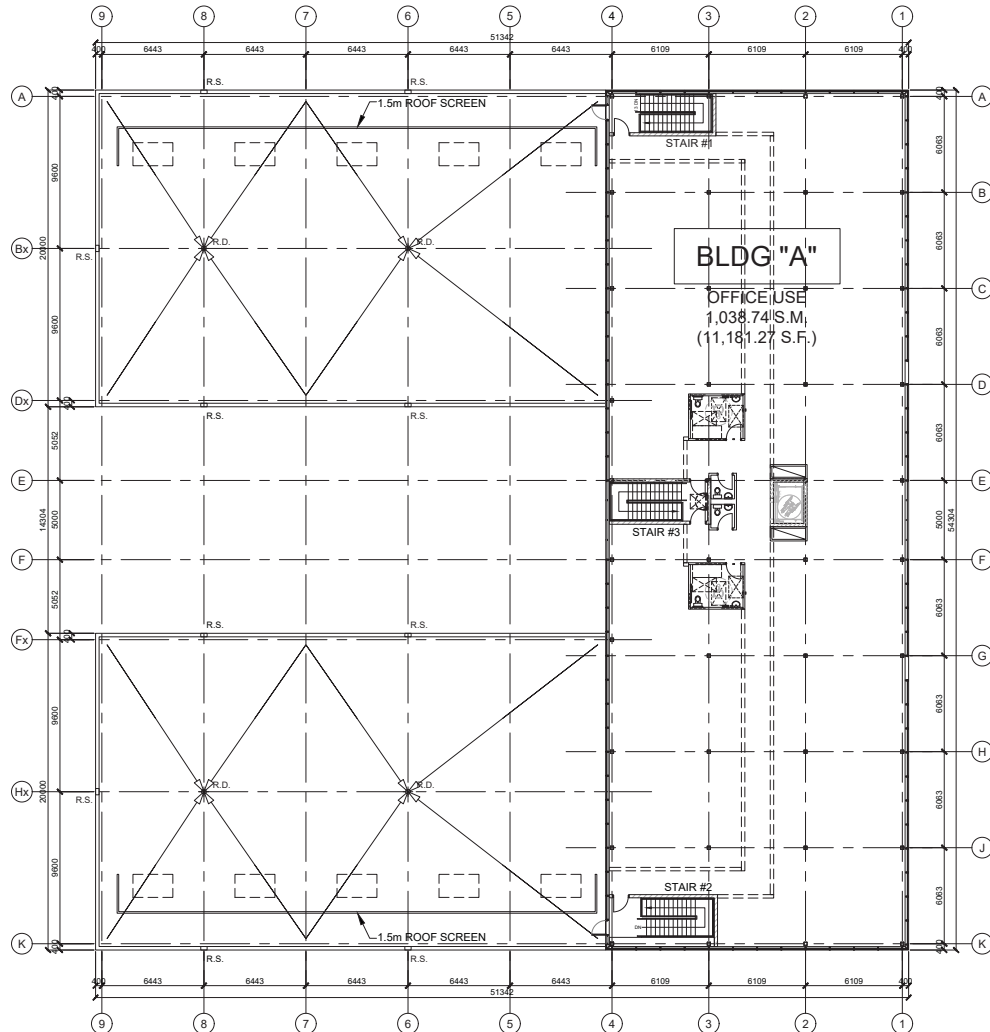


VGA Vincenzo Gagliardi Architect Inc.
100 GUILDING AVENUE
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PROJECT
PROPOSED INDUSTRIAL DEVELOPMENT
100 GUILDING AVENUE
AURORA, ONTARIO

DRAWING NAME	CITY FILE #	SCALE	DATE OF DWS	PROJECT NO.
SECOND FLOOR PLAN		1:25	DEC 16, 2022	22010
CITY FILE #		DRAWN BY		
		CHK BY		

SHEET NO. **A-201**



NO.	DATE	REVISIONS	BY

DRAWING ISSUE		
DATE	PARTICULARS	BY
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	Issued for Site Plan Approval	
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	Issued for Building Permit	
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Construction shall conform to all applicable codes and requirements of authority having jurisdiction. This drawing is not to scale.

Henschel Gagliardi Architects Inc. is not responsible for any environmental conditions, geotechnical conditions or any pollutants based on site.

All architectural symbols indicated are graphic representations only.

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PROJECT

PROPOSED INDUSTRIAL DEVELOPMENT

100 GOULDING AVENUE
 AURORA, ONTARIO

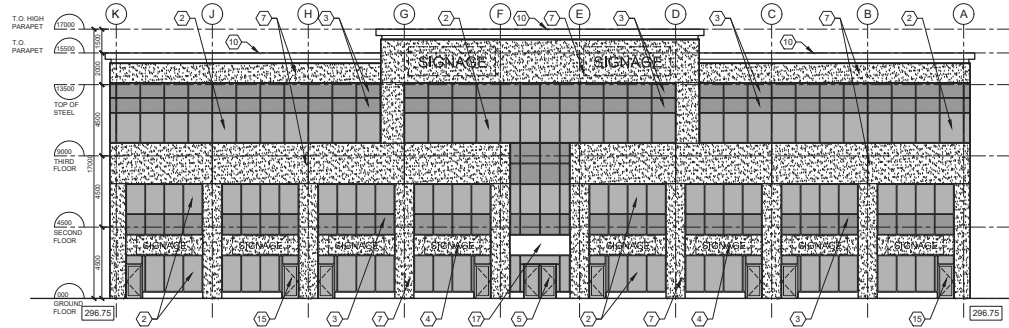
DRAWING NAME
 THIRD FLOOR PLAN

CITY FILE #

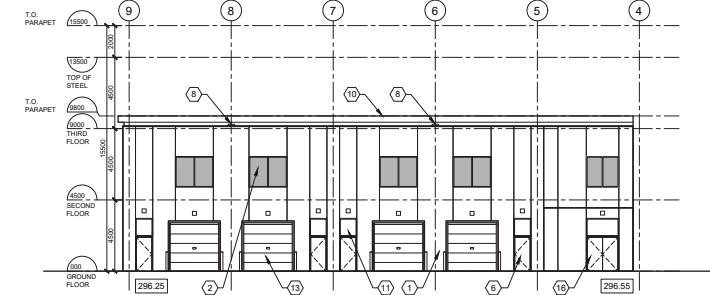
SCALE	DATE OF DWS	PROJECT NO.
1:225	DEC 14, 2022	22019
DESIGNED BY	DRAWN BY	SHEET NO.
DHL	RDG	A-202
CHWD BY	RDG	SPA

1 THIRD FLOOR PLAN (BLDG 'A')
 A-202 SCALE: 1:225

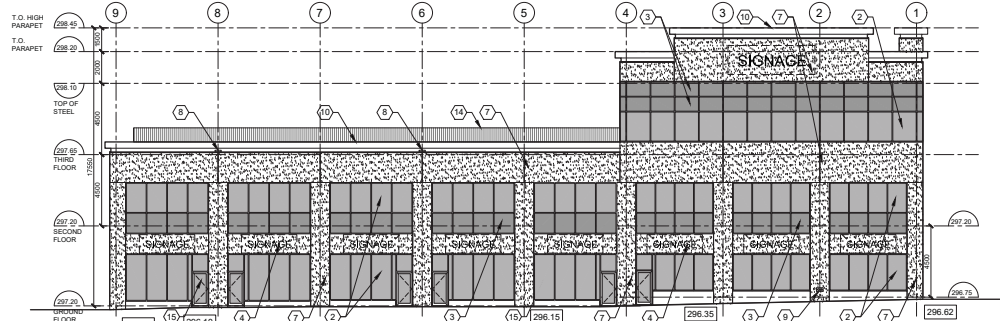
JOB PLOTTING DATE: 08-11-2023



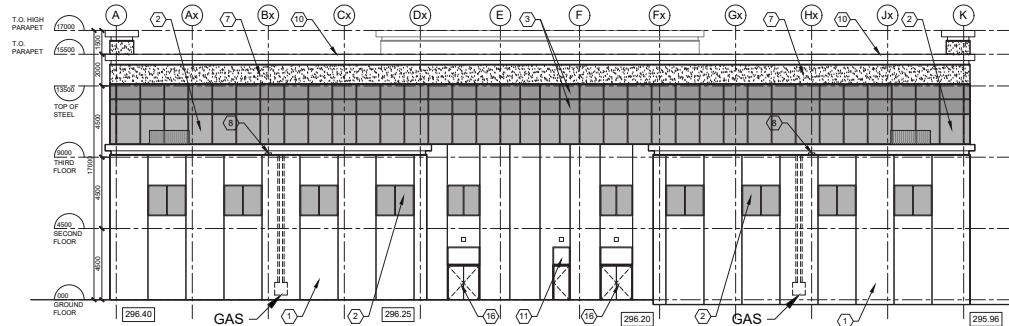
1 BLDG 'A' - EAST ELEVATION
A-300 SCALE 1:300



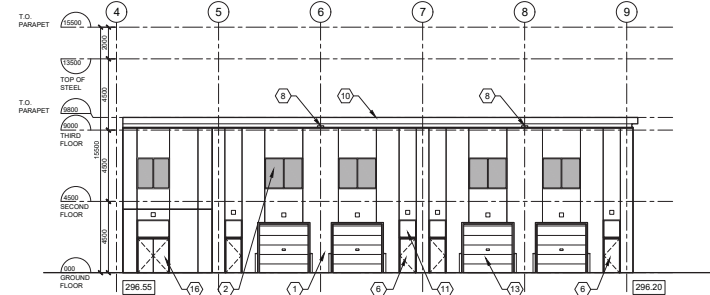
2 BLDG 'A' - SOUTH ELEVATION (TRUCK COURT)
A-300 SCALE 1:300



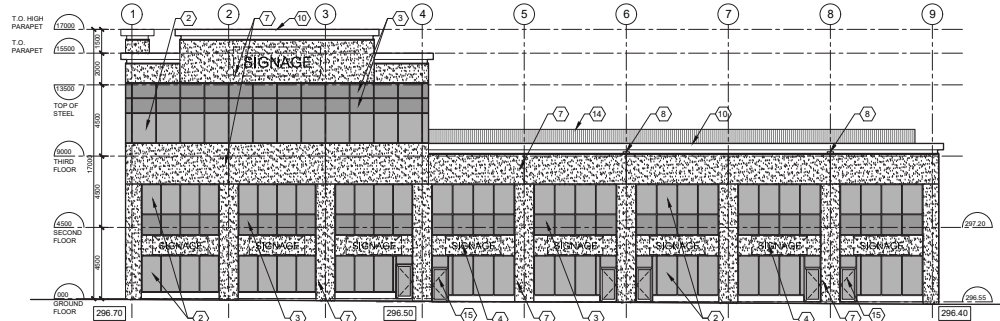
3 BLDG 'A' - SOUTH ELEVATION
A-300 SCALE 1:300



4 BLDG 'A' - WEST ELEVATION
A-300 SCALE 1:300



5 BLDG 'A' - NORTH ELEVATION (TRUCK COURT)
A-300 SCALE 1:300



6 BLDG 'A' - NORTH ELEVATION
A-300 SCALE 1:300

PRODUCT: WEATHER FRIENDLY BY SM
DOT SIZE: 5mm (MINIMUM)
HORIZONTAL BRACING LESS THAN
SHOW ON DETAILS
WINDOW FILM SHALL BE APPLIED ON
THE EXTERIOR SURFACE OF GLASS

- NOTES:
1. ALL ROOF TOP FINISH LEVELS ARE LOCATED BETWEEN HIGH PARAPETS & ARE NOT VISIBLE.
 2. ALL DOORS EQUIPPED W/ 180 DEG. PEEP HOLE VIEWER.
 3. FL WOOD BACKING FOR SIGNAGE (SHOWN DOTTED).

EXTERIOR MATERIALS & FINISHES:

1. PRE-CAST PANELS & WHITE ASBESTOS
2. SHIP CHANNELS (NOT FINISH) FINISH TO BE SHOWN
3. DARK CHROME, 10% SPANDREL GLASS OR 10% SHIP CHANNELS
4. GROUND BY TARRANT
5. 100MM x 40mm CLEAR ANOD. ALUM. ENTRANCE DOORS OR TARRANT GLASS OR PATENTED GLASS OPERATOR
6. 100MM x 40mm CLEAR ANOD. ALUM. ENTRANCE DOORS
7. 100MM x 40mm CLEAR ANOD. ALUM. ENTRANCE DOORS
8. 100MM x 40mm CLEAR ANOD. ALUM. ENTRANCE DOORS
9. 100MM x 40mm CLEAR ANOD. ALUM. ENTRANCE DOORS
10. 100MM x 40mm CLEAR ANOD. ALUM. ENTRANCE DOORS
11. 100MM x 40mm CLEAR ANOD. ALUM. ENTRANCE DOORS
12. 100MM x 40mm CLEAR ANOD. ALUM. ENTRANCE DOORS
13. 100MM x 40mm CLEAR ANOD. ALUM. ENTRANCE DOORS
14. 100MM x 40mm CLEAR ANOD. ALUM. ENTRANCE DOORS
15. 100MM x 40mm CLEAR ANOD. ALUM. ENTRANCE DOORS
16. 100MM x 40mm CLEAR ANOD. ALUM. ENTRANCE DOORS
17. 100MM x 40mm CLEAR ANOD. ALUM. ENTRANCE DOORS
18. 100MM x 40mm CLEAR ANOD. ALUM. ENTRANCE DOORS
19. 100MM x 40mm CLEAR ANOD. ALUM. ENTRANCE DOORS
20. 100MM x 40mm CLEAR ANOD. ALUM. ENTRANCE DOORS

BIRD FRIENDLY BUILDING CHECKLIST

Applicant to include checklist on Elevation Drawings or Site plan submission. Drawings to be stamped and signed by an OAA member.

MANDATORY PRIMARY TREATMENTS FOR ALL DEVELOPMENTS
As Grade Condition (check to confirm the below is applied):

- 1. Bird friendly treatment is applied on minimum 85% of non-reflective glass panel area. If each panel area is greater than 1m² and within 3m from finished grade.

Roof Landscaping Condition (check to confirm one of the below is applied):

- 1. Bird friendly treatment is applied on minimum 85% of non-reflective glass panel area. If each panel area is greater than 1m² and within 3m from roof finished grade.
- 2. Development conforms to glass panel within 1.5m from roof finished grade.

Patterns (check to confirm one or more of the below are applied):

- 1. Vertical: Horizontal strip spacing is less than 5mm on center; vertical strip spacing is less than 30mm on center; horizontal strips width is any greater than 3.3mm; and vertical strip width is any greater than 3.3mm.
- 2. None
- 3. None

Specifications (check to confirm one or more of the below is applied):

- 1. Pattern is applied as fritting or etching of glass, and pattern colour is high contrast in relation to the background.
- 2. Pattern is applied as film on exterior surface of glass, and pattern colour is high contrast in relation to the background.

NO.	DATE	REVISIONS	BY

DRAWING ISSUE

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PROJECT
PROPOSED INDUSTRIAL DEVELOPMENT
100 GOULDING AVENUE
AURORA, ONTARIO

DRAWING NAME	DATE OF DWS	PROJECT NO.
ELEVATIONS	DEC 13, 2022	22010
CITY FILE #	SHEET NO.	PROJECT NO.
	A-300	
SCALE	DATE OF DWS	PROJECT NO.
1:300	DEC 13, 2022	22010
DRAWN BY	DATE OF DWS	PROJECT NO.
DML	DEC 13, 2022	22010
CHECKED BY	DATE OF DWS	PROJECT NO.
RDG	DEC 13, 2022	22010