

Sheet List	
Sheet Number	Sheet Name
A0.0a	PROJECT STATISTICS W/ MATRIX
A0.0b	ADDITIONAL PROJECT STATS
A0.1	PROPOSED SITE PLAN
A1.1	PARKADE LEVEL-2
A1.2	PARKADE LEVEL-1
A1.3	BASEMENT PLAN, BLDNG 1
A1.4	1ST FLOOR PLAN, BLDNG 1
A1.5	2ND TO 6TH FLOOR PLAN, BLDNG 1
A1.6	7TH FLOOR PLAN, BLDNG 1
A1.7	MECH./ELEC. PENTHOUSE PLAN, BLDNG 1
A1.8	1ST FLOOR PLAN, BLDNG 2
A1.9	2ND TO 6TH FLOOR PLAN, BLDNG 2
A1.10	7TH FLOOR PLAN, BLDNG 2
A1.11	MECH./ELEC. PENTHOUSE PLAN, BLDNG 2
A1.12	1ST FLOOR PLAN, BLDNG 3
A1.13	2ND TO 6TH FLOOR PLAN, BLDNG 3
A1.14	7TH FLOOR PLAN, BLDNG 3
A1.15	MECH./ELEC. PENTHOUSE PLAN, BLDNG 3
A1.16	MAIL ROOMS
A2.1	FRONT ELEVATION (BLDNG 1)
A2.2	LEFTSIDE ELEVATION (BLDNG 1)
A2.3	REAR ELEVATION (BLDNG 1)
A2.4	RIGHTSIDE ELEVATION (BLDNG 1)
A2.5	FRONT ELEVATION (BLDNG 2)
A2.6	LEFTSIDE ELEVATION (BLDNG 2)
A2.7	REAR ELEVATION (BLDNG 2)
A2.8	RIGHTSIDE ELEVATION (BLDNG 2)
A2.9	FRONT ELEVATION (BLDNG 3)
A2.10	LEFTSIDE ELEVATION (BLDNG 3)
A2.11	REAR ELEVATION (BLDNG 3)
A2.12	RIGHTSIDE ELEVATION (BLDNG 3)
A2.13	ANGULAR PLANE STUDIES
A3.1	SITE SECTIONS
A7.1	3D VIEW FROM THE NORTH
A7.2	3D VIEW FROM THE WEST
A7.3	3D VIEW FROM THE SOUTH
A7.4	3D VIEW FROM THE EAST
A7.5	RENDERS



TOWN OF AURORA
 PLANNING & DEVELOPMENT SERVICES
 BUILDING DIVISION
 PERMIT NO.: PR20230426 DATE: Mar. 2, 2023
 APPROVED BY: *Bill Jean*
 PRELIMINARY ZONING REVIEW

POLO CLUB CONDOS

15306 & 15286 LESLIE ST. AURORA, ON

SPA RE-SUBMISSION - ARCH SET

2022.10.27



romanov romanov
 ARCHITECTS INCORPORATED

416 • 766 • 8750 www.romrom.com
 375 Parkside Drive • Toronto • ON • M6R 2Z6

SITE STATISTICS

	REQ.	PROP.
ZONE		RA2
LOT AREA	28,500 sqm (300x95sqm)	18,075.98 sqm (345x52sqm)
NUMBER OF UNITS		345 (115/BUILDING)
2 STOREY		2
1 BEDROOM		135 UNITS
2 BEDROOM		122 UNITS
2 BEDROOM + D		4 UNITS
3 BEDROOM		82 UNITS
LOT FRONTAGE	30.0m	114.5m
FRONT YARD (EAST, BUILDING 1, REAR)	9m	10.83m
INTERIOR SIDE YARD (NORTH, BUILDING 1)	6m	6.79m
INTERIOR SIDE YARD (SOUTH, BUILDING 3)	6m	6.83m
REAR YARD (WEST, BUILDING 2)	15m	21.95m
LOT COVERAGE	35% max.	23%
AMENITY AREA	6,210sqm (18m ² / unit) 50% indoor min.	6,210sqm (18m ² / unit) 35% indoor min.
BUILDING HT.	26m	28m max (Building hts. from adjacent grades are: Building1=24.58m; Building2=24.33m; Building3=24.14m)
NUMBER OF STOREYS		7 + PENTHOUSE
GFA - BUILDING 1 (see area breakdown this page)		11,319 sqm
GFA - BUILDINGS 2 & 3 (see area breakdown this page)		10,169 sqm
TOTAL GFA (all 3 buildings)		31,657sqm
PARKING SPACES	443 (345 unit spots + 87 + visitor + 11 barrier free)	445 (345 unit spots + 87 visitor + 13 barrier free (4 of which belong to visitors))
REQ. MANOEUVRING SPACE	7m	7m
BICYCLE PARKING	69	70
DENSITY		191units/ha
DRIVEWAY WIDTH @ STREET LINE	9m max.	6.0m
DRIVEWAY SETBACK TO BUILDING	1.5m	5.77m (building 1 to driveway, this is the minimum)

Parking Level Areas* (measured to outside of fndn. walls, excluding cistern)		
Name	AREA (sqft)	AREA (sqm)
Parking Level 2	83,532 ft ²	7,760 m ²
Parking Level 1	83,532 ft ²	7,760 m ²
Total Parking Area GFA	167,065 ft²	15,521 m²

UNIT COUNT:

BUILDING 1		BUILDING 2		BUILDING 3	
2 STOREY (3 BDRM)	2 UNITS	2 STOREY (3 BDRM)	n/a	2 STOREY (3 BDRM)	n/a
1 BEDROOM	45 UNITS	1 BEDROOM	45 UNITS	1 BEDROOM	45 UNITS
2 BEDROOM	42 UNITS	2 BEDROOM	40 UNITS	2 BEDROOM	40 UNITS
2 BEDROOM + D	n/a	2 BEDROOM + D	2 UNITS	2 BEDROOM + D	2 UNITS
3 BEDROOM	26 UNITS	3 BEDROOM	28 UNITS	3 BEDROOM	28 UNITS
TOTAL	115 UNITS	TOTAL	115 UNITS	TOTAL	115 UNITS

Gross Floor Areas* - Building 1			
Name	AREA (sqft)	AREA (sqm)	
Basement			
Basement - Amenity	9,505 ft ²	883 m ²	
Basement - Circulation	377 ft ²	35 m ²	
Basement - Entrance	2,034 ft ²	189 m ²	
Basement - Suites	2,486 ft ²	231 m ²	
Basement - Voids	86 ft ²	8 m ²	
	14,488 ft²	1,346 m²	

1st Floor			
1st Floor - Amenity	2,713 ft ²	252 m ²	
1st Floor - Circulation	1,023 ft ²	95 m ²	
1st Floor - Suites	8,676 ft ²	806 m ²	
	12,411 ft²	1,153 m²	

2nd Floor			
2nd Floor - Amenity	161 ft ²	15 m ²	
2nd Floor - Circulation	990 ft ²	92 m ²	
2nd Floor - Suites	13,832 ft ²	1,285 m ²	
	14,983 ft²	1,392 m²	

3rd Floor			
3rd Floor - Amenity	161 ft ²	15 m ²	
3rd Floor - Circulation	990 ft ²	92 m ²	
3rd Floor - Suites	13,832 ft ²	1,285 m ²	
	14,983 ft²	1,392 m²	

4th Floor			
4th Floor - Amenity	161 ft ²	15 m ²	
4th Floor - Circulation	990 ft ²	92 m ²	
4th Floor - Suites	13,832 ft ²	1,285 m ²	
	14,983 ft²	1,392 m²	

5th Floor			
5th Floor - Amenity	161 ft ²	15 m ²	
5th Floor - Circulation	990 ft ²	92 m ²	
5th Floor - Suites	13,832 ft ²	1,285 m ²	
	14,983 ft²	1,392 m²	

6th Floor			
6th Floor - Amenity	161 ft ²	15 m ²	
6th Floor - Circulation	990 ft ²	92 m ²	
6th Floor - Suites	13,832 ft ²	1,285 m ²	
	14,983 ft²	1,392 m²	

7th Floor			
7th Floor - Amenity	161 ft ²	15 m ²	
7th Floor - Circulation	861 ft ²	80 m ²	
7th Floor - Suites	13,315 ft ²	1,237 m ²	
	14,338 ft²	1,332 m²	

Penthouse			
Penthouse Amenity	5,683 ft ²	528 m ²	
	5,683 ft²	528 m²	
Total Building GFA	121,837 ft²	11,319 m²	

Gross Floor Areas* - Buildings 2 & 3			
Name	AREA (sqft)	AREA (sqm)	
1st Floor			
1st Floor - Amenity	1,152 ft ²	107 m ²	
1st Floor - Circulation	1,356 ft ²	126 m ²	
1st Floor - Entrance	1,550 ft ²	144 m ²	
1st Floor - Suites	10,419 ft ²	968 m ²	
1st Floor - Voids	43 ft ²	4 m ²	
	14,521 ft²	1,349 m²	

2nd Floor			
2nd Floor - Amenity	161 ft ²	15 m ²	
2nd Floor - Circulation	990 ft ²	92 m ²	
2nd Floor - Suites	13,832 ft ²	1,285 m ²	
	14,983 ft²	1,392 m²	

3rd Floor			
3rd Floor - Amenity	161 ft ²	15 m ²	
3rd Floor - Circulation	990 ft ²	92 m ²	
3rd Floor - Suites	13,832 ft ²	1,285 m ²	
	14,983 ft²	1,392 m²	

4th Floor			
4th Floor - Amenity	161 ft ²	15 m ²	
4th Floor - Circulation	990 ft ²	92 m ²	
4th Floor - Suites	13,832 ft ²	1,285 m ²	
	14,983 ft²	1,392 m²	

5th Floor			
5th Floor - Amenity	161 ft ²	15 m ²	
5th Floor - Circulation	990 ft ²	92 m ²	
5th Floor - Suites	13,832 ft ²	1,285 m ²	
	14,983 ft²	1,392 m²	

6th Floor			
6th Floor - Amenity	161 ft ²	15 m ²	
6th Floor - Circulation	990 ft ²	92 m ²	
6th Floor - Suites	13,832 ft ²	1,285 m ²	
	14,983 ft²	1,392 m²	

7th Floor			
7th Floor - Amenity	161 ft ²	15 m ²	
7th Floor - Circulation	861 ft ²	80 m ²	
7th Floor - Suites	13,315 ft ²	1,237 m ²	
	14,338 ft²	1,332 m²	

Penthouse			
Penthouse Amenity	5,683 ft ²	528 m ²	
	5,683 ft²	528 m²	
Total Building GFA	109,458 ft²	10,169 m²	

*** Area Calculation Note**

Areas calculated to exterior faces of exterior walls and exclude:

- open to below areas
- parking spaces
- mechanical rooms
- refuse storage rooms and chutes
- stairwells
- elevator shafts

OCCUPANT LOADS			
Floor Level	Occupancy Type	Based On	Occupant Load (Persons)
Building 1 - Residents			
Basement/1st Floor	C	persons/bedroom	40
2nd Floor	C	persons/bedroom	66
3rd Floor	C	persons/bedroom	66
4th Floor	C	persons/bedroom	66
5th Floor	C	persons/bedroom	66
6th Floor	C	persons/bedroom	66
7th Floor	C	persons/bedroom	56
Total			426
Building 1 - Amenity Spaces			
Basement, Common Amenity	C	fixed number	60
Penthouse, Common Amenity	C	fixed number	60
Buildings 2 & 3			
1st Floor	C	persons/bedroom	40
2nd Floor	C	persons/bedroom	66
3rd Floor	C	persons/bedroom	66
4th Floor	C	persons/bedroom	66
5th Floor	C	persons/bedroom	66
6th Floor	C	persons/bedroom	66
7th Floor	C	persons/bedroom	56
Total (per each building)			426
Buildings 2 & 3 - Amenity Spaces			
Penthouse, Common Amenity	C	fixed number	60
Total Complex Occupant Load as per number of persons/bedroom			
Building 1		426	
Building 2		426	
Building 3		426	
Total		1278	

UNIT DISTRIBUTION (BUILDING 1):

NAME	1ST/MEZZ.	2ND	3RD	4TH	5TH	6TH	7TH	TOTAL
2 STOREY (3 BDRM)	2 UNITS							2 UNITS
1 BEDROOM		9 UNITS	9 UNITS	9 UNITS	9 UNITS	9 UNITS		45 UNITS
2 BEDROOM	4 UNITS	6 UNITS	6 UNITS	6 UNITS	6 UNITS	6 UNITS	8 UNITS	42 UNITS
3 BEDROOM	2 UNITS	4 UNITS	4 UNITS	4 UNITS	4 UNITS	4 UNITS	4 UNITS	28 UNITS
TOTAL								115 UNITS

UNIT DISTRIBUTION (BUILDINGS 2 & 3):

NAME	1ST	2ND	3RD	4TH	5TH	6TH	7TH	TOTAL
1 BEDROOM		9 UNITS	9 UNITS	9 UNITS	9 UNITS	9 UNITS		45 UNITS
2 BEDROOM	2 UNITS	6 UNITS	6 UNITS	6 UNITS	6 UNITS	6 UNITS	8 UNITS	40 UNITS
2 BEDROOM + D	2 UNITS							2 UNITS
3 BEDROOM	4 UNITS	4 UNITS	4 UNITS	4 UNITS	4 UNITS	4 UNITS	4 UNITS	28 UNITS
TOTAL								115 UNITS

Revisions:

No.	Date:	Particular:	By:
8	2020.04.06	Revised Stats	ND
9	2020.04.07	Revised Stats	ND
11	2020.04.30	Minor Site Plan Revisions	ND
16	2020.09.23	GFA's Revised	ND
18	2020.10.01	Revisions	ND
20	2020.10.07	Revisions to Parking Count/Layout	ND
21	2020.10.21	Revisions for Town	ND
28	2021.07.13	Revisions to Plans	ND
32	2022.10.27	SPA, Additional Units	ND
34	2022.10.27	Corrected Figures	ND

Drawing Issue:

Date:	Particular:	By:
2020.05.13	SITE PLAN SUBMISSION SET	ND
2020.05.13	SITE PLAN SUBMISSION SET	ND
2021.07.12	SITE PLAN RE-SUBMISSION SET (COORDINATION SET)	ND
2022.04.06	SITE PLAN SUBMISSION SET	ND
2022.10.27	SITE PLAN SUBMISSION SET	ND



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Seals:



Project:
POLO CLUB CONDOS
 LESLIE ST. AURORA
TOWN'S FILE #: SP-2020-06
REGION'S FILE #: SP.20.A.0124

Sheet Title:
**PROJECT STATISTICS W/
 MATRIX**

Design: JR
Drawn: ND
Approved: JR

Comm. No: 14-125
Sheet No: A0.0a

Name of Practice:
 Romanov Romanov Architects
 375 Parkside Dr.
 M9R 2Z6

Name of Project:
 Polo Club Condos

Location:
 15306 & 15286 Leslie St.
 Part of LOT 21, Concession 2, Aurora

Date: April, 03, 2022

Ontario Building Code Data Matrix Part 3				Building Code Reference ¹
3.00	Building Code Version:	O_Reg_332/12	Last Amendment	O_Reg_191/14
3.01	Project Type:	<input checked="" type="checkbox"/> New <input type="checkbox"/> Change of use	<input type="checkbox"/> Addition <input type="checkbox"/> Addition and renovation	[A] 1.1.2
3.02	Major Occupancy Classification:	Description: 7 STOREY + PENTHOUSE, RESIDENTIAL CONDO Occupancy Use: Group C		312.1.(1)
3.03	Superimposed Major Occupancies:			



SITE SURFACES LEGEND

- CONC. PAVERS (VERIFY W/ LANDSCAPE)
- POURED CONC. (VERIFY W/ LANDSCAPE)
- ASPHALT
- @ GRADE PRIVATE TERRACE (CONC. PAVERS)

SITE SYMBOLS

- SIAMESE CONNECTION
- FIRE HYDRANT



FIRE ROUTE

BOTH SIDES

FR SIGN SPECIFICATIONS:

- 1. Sign dimensions shall be 30 x 45 centimetres.
- 2. White background, reflective material.
- 3. Black border.
- 4. Black "P", 10 centimetres tall.
- 5. Black "FIRE ROUTE" letters, 5 centimetres tall.
- 6. Black "NO PEDESTRIAN ZONE" letters, 3 centimetres tall.
- 7. Black arrows, 6.5 centimetres tall.
- 8. Red 2 centimetres arrowhead around 9° 20 centimetres tall, reflective material.
- 9. Red 2 centimetres diagonal stroke, reflective material.

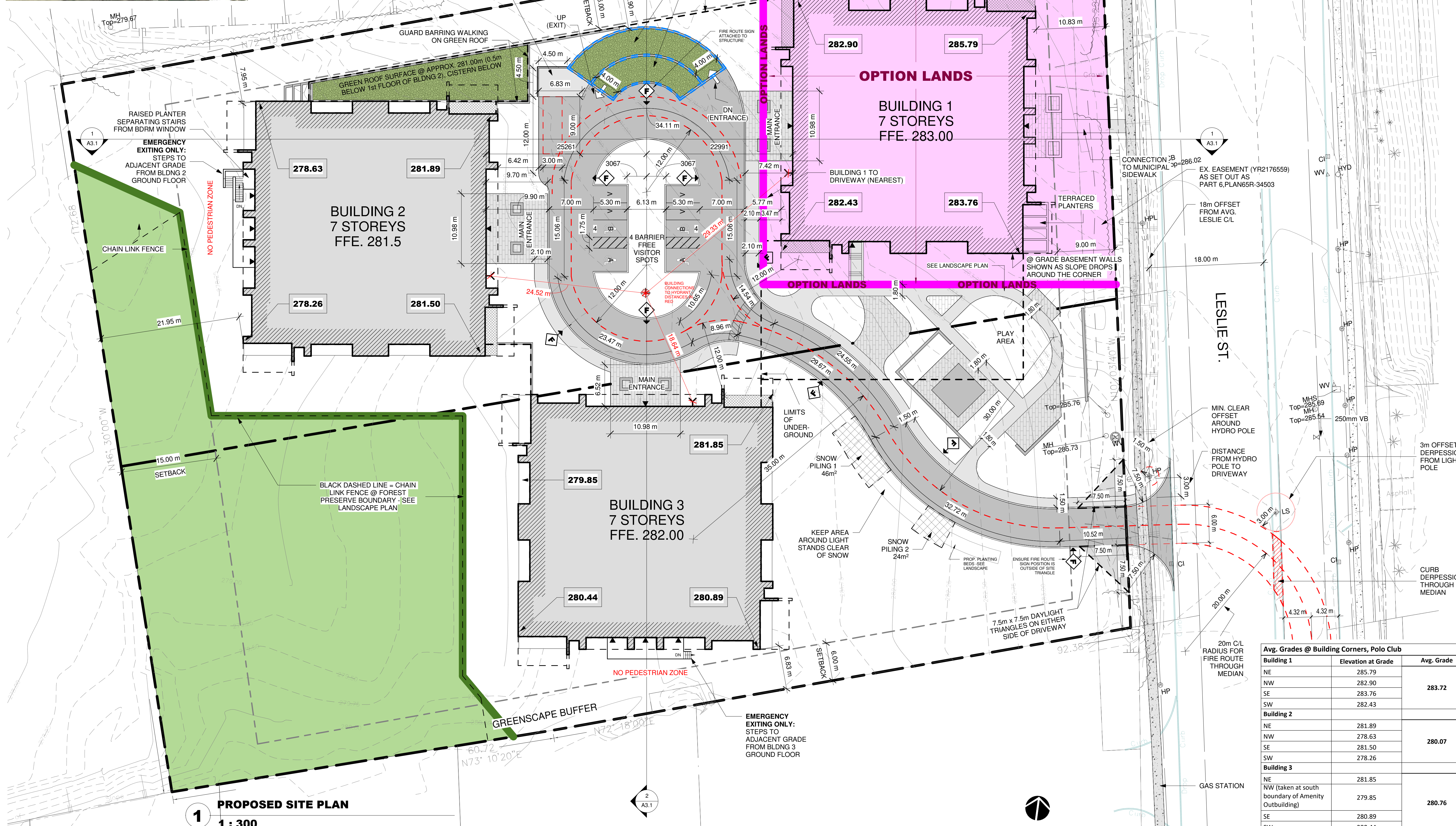
ADDITIONAL FIRE ROUTE SIGN NOTES

- SIGNS TO BE PERMANENTLY AND SECURELY MOUNTED ON RIGID SIGN POSTS, UNLESS OTHERWISE NOTED
- MOUNTING HEIGHT: 2m TO BOTTOM OF SIGN
- MOUNTING LOCATION: BETWEEN 0.3m & 3m FROM EDGE OF CURB
- SIGN SPACING: MAX. 23m
- VISIBILITY: NO PHYSICAL OBSTRUCTION SHALL BE PLACED OR CONSTRUCTED, OR ALLOWED TO BE PLACED OR CONSTRUCTED, IN A LOCATION THAT MAY INTERFERE WITH THE VISIBILITY OR LEGIBILITY OF ANY AUTHORIZED SIGN, AND SUFFICIENT MAINTENANCE SHALL BE UNDERTAKEN TO PREVENT VEGETATION AND OTHER OBJECTS FROM OBSTRUCTING THE VIEW OF ANY AUTHORIZED SIGN AT ANY TIME.



FIRE ROUTE SIGN ICON

- INDICATES LOCATION OF SIGNS
- ARROW INDICATES DIRECTION OF SIGN FACE



Revisions:

No.	Date:	Particular:	By:
1	2019.04.26	Revisions to reflect grading	ND
2	2019.05.02	Final outline added	ND
4	2020.01.29	Site asphalt walkways simplified	ND
5	2020.02.20	Site Grading/Site Plan Annotations	ND
6	2020.03.23	Revised Ramp	ND
7	2020.03.24	Revised Ramp	ND
8	2020.04.06	Revised Stairs	ND
11	2020.04.30	Minor Site Plan Revisions	ND
12	2020.09.16	Regional File # added	ND
15	2020.09.21	Driveway Dimensions & Fire Sign Adjustments	ND
21	2020.10.21	Revisions for Town	ND
23	2020.12.10	Site Coordination	ND
24	2020.12.16	Snow Piling Sites	ND
25	2021.01.14	Site Revisions	ND
26	2021.02.08	Site Revisions	ND
27	2021.05.19	Expanded Indoor Amenity - Bldgs 2 & 3	ND
29	2021.10.12	Revisions to Buildings	ND
31	2022.01.11	Emerg. Access through Median	ND
33	2022.10.04	Revised Parking	ND

Drawing Issue:

Date:	Particular:	By:
2020.03.03	SITE COORDINATION SET	ND
2020.05.13	SITE PLAN SUBMISSION SET	ND
2021.07.12	SITE PLAN RE-SUBMISSION SET (COORDINATION SET)	ND
2022.04.06	SITE PLAN SUBMISSION SET	ND
2022.10.27	SITE PLAN SUBMISSION SET	ND



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DESIGNERS, URBANISTS, FUTURISTS

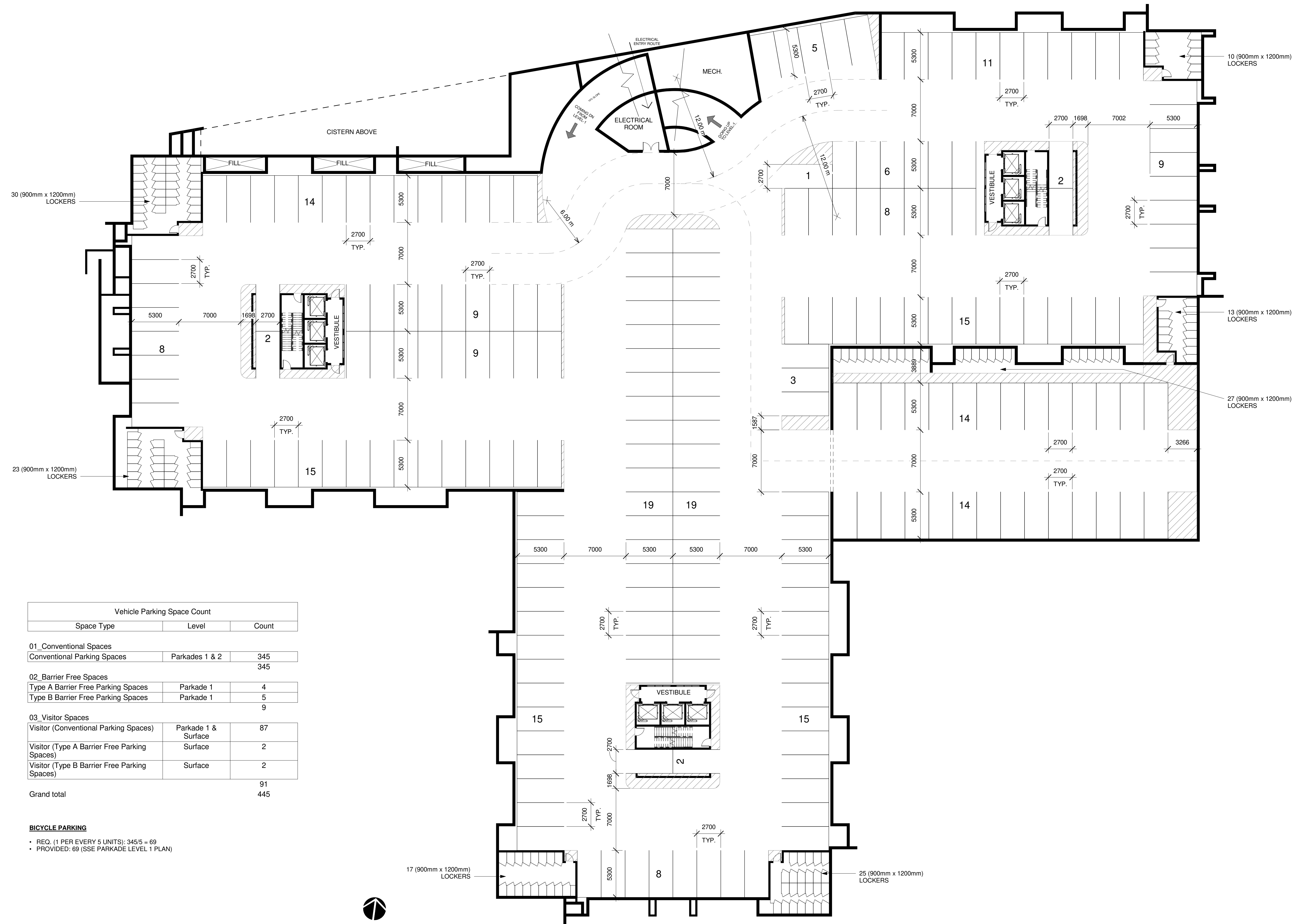
375 PARKSIDE DRIVE, TORONTO, ONTARIO, CANADA
M8R 2Z6, tel: (416) 766-8750; fax: (416) 766-8760

Project:
POLO CLUB CONDOS
LESLIE ST. AURORA

TOWN'S FILE #: SP-2020-06
REGION'S FILE #: SP.20.A.0124

Sheet Title:
PROPOSED SITE PLAN

Design:	Drawn:	Approved:
JR	ND	JR
Comm. No:	Sheet No:	
14-125	A0.1	



Vehicle Parking Space Count		
Space Type	Level	Count
01_Conventional Spaces		
Conventional Parking Spaces	Parkades 1 & 2	345
02_Barrier Free Spaces		
Type A Barrier Free Parking Spaces	Parkade 1	4
Type B Barrier Free Parking Spaces	Parkade 1	5
03_Visitor Spaces		
Visitor (Conventional Parking Spaces)	Parkade 1 & Surface	87
Visitor (Type A Barrier Free Parking Spaces)	Surface	2
Visitor (Type B Barrier Free Parking Spaces)	Surface	2
		91
Grand total		445

- BICYCLE PARKING**
- REQ. (1 PER EVERY 5 UNITS): 345/5 = 69
 - PROVIDED: 69 (SSE PARKADE LEVEL 1 PLAN)

Revisions:

No.	Date:	Particular:	By:
10	2020.04.XX	Revised Parking	ND
33	2022.10.04	Revised Parking	ND

Drawing Issue:

Date:	Particular:	By:
2020.03.03	SITE COORDINATION SET	ND
2020.05.13	SITE PLAN SUBMISSION SET	ND
2021.07.12	SITE PLAN RE-SUBMISSION SET (COORDINATION SET)	ND
2022.04.06	SITE PLAN SUBMISSION SET	ND
2022.10.27	SITE PLAN SUBMISSION SET	ND



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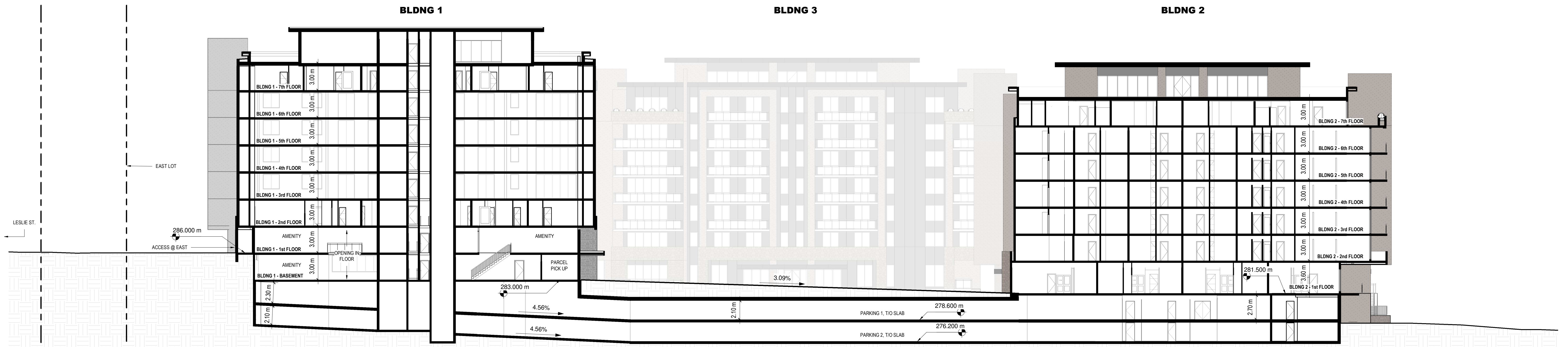
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 DESIGNERS, URBANISTS, FUTURISTS

375 PARKSIDE DRIVE, TORONTO, ONTARIO, CANADA
 M6R 2Z6; tel: (416)766-8750; fax: (416)766-8760

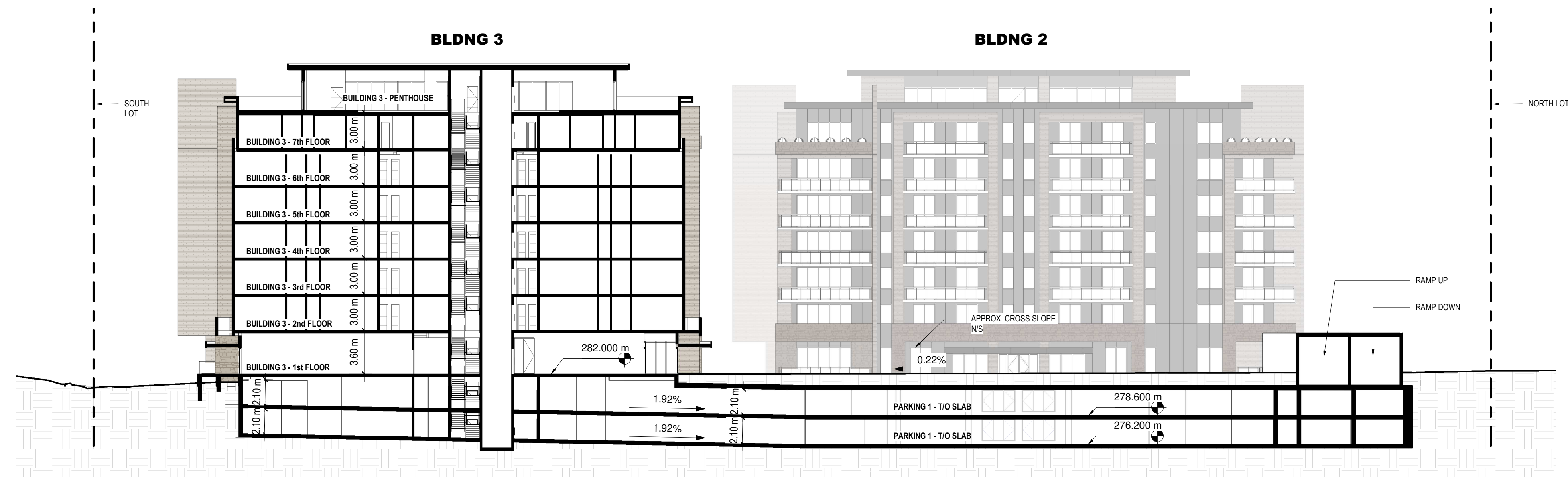
Project:
POLO CLUB CONDOS
 LESLIE ST. AURORA
 TOWN'S FILE #: SP-2020-06
 REGION'S FILE #: SP.20.A.0124

Sheet Title:
PARKADE LEVEL-2

Design: JR	Drawn: ND	Approved: JR
Comm. No: 14-125	Sheet No: A1.1	




1 SITE SECTION E/W
1 : 200



2 SITE SECTION N/S
1 : 250


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Seals:


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Revisions:			
No.	Date:	Particular:	By:

Revisions:			
No.	Date:	Particular:	By:

Drawing Issue:		
Date:	Particular:	By:
2022.04.06	SITE PLAN SUBMISSION SET	ND
2022.10.27	SITE PLAN SUBMISSION SET	ND

Drawing Issue:		
Date:	Particular:	By:

Project:
POLO CLUB CONDOS
LESLIE ST. AURORA
 Sheet Title:
SITE SECTIONS

Design:	Drawn:	Approved:
JR	ND	JR
Comm. No:	Sheet No:	
14-125	A3.1	

