	Sheet List
Sheet Number	Sheet Name

A0.0a	PROJECT STATISTICS W/ MATRIX
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A1.2	PARKADE LEVEL-1
A1.3	BASEMENT PLAN, BLDNG 1
A1.4	1ST FLOOR PLAN, BLDNG 1
A1.5	2ND TO 6TH FLOOR PLAN, BLDNG 1
A1.6	7TH FLOOR PLAN, BLDNG 1
A1.7	MECH./ELEC. PENTHOUSE PLAN, BLDNG 1
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A2.2	LEFTSIDE ELEVATION (BLDNG 1)
A2.3	REAR ELEVATION (BLDNG 1)
A2.4	RIGHTSIDE ELEVATION (BLDNG 1)
A2.5	FRONT ELEVATION (BLDNG 2)
A2.6	LEFTSIDE ELEVATION (BLDNG 2)
A2.7	REAR ELEVATION (BLDNG 2)
A2.8	RIGHTSIDE ELEVATION (BLDNG 2)
A2.9	FRONT ELEVATION (BLDNG 3)
A2.10	LEFTSIDE ELEVATION (BLDNG 3)
A2.11	REAR ELEVATION (BLDNG 3)
A2.12	RIGHTSIDE ELEVATION (BLDNG 3)
A2.13	ANGULAR PLANE STUDIES
A3.1	SITE SECTIONS
A7.1	3D VIEW FROM THE NORTH
A7.2	3D VIEW FROM THE WEST
A7.3	3D VIEW FROM THE SOUTH
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TOWN OF AURORA
PLANNING & DEVELOPMENT SERVICES
BUILDING DIVISION
PERMIT NO.: PR20230426 DATE: Mar. 2, 2023
APPROVED BY: Bill Jean

## POLO CLUB CONDOS

15306 & 15286 LESLIE ST. AURORA, ON

SPA RE-SUBMISSION - ARCH SET 2022.10.27





	REQ.	PROP.	Na
ZONE		RA2	Basement
LOT AREA	28,500 sqm (300x95sqm)	18,075.98 sqm (345x52sqm)	Basement - Amenity
NUMBER OF UNITS		345 (115/BUILDING)	Basement - Circulation
2 STOREY		2	Basement - Entrance
1 BEDROOM		135 UNITS	Basement - Suites
2 BEDROOM		122 UNITS	Basement - Voids
2 BEDROOM + D		4 UNITS	
3 BEDROOM		82 UNITS	
LOT FRONTAGE	30.0m	114.5m	1st Floor
FRONT YARD (EAST, BUILDING 1, REAR)	9m	10.83m	1st Floor - Amenity
INTERIOR SIDE YARD (NORTH, BUILDING 1)	6m	6.79m	1st Floor - Circulation
INTERIOR SIDE YARD (SOUTH, BUILDING 3)	6m	6.83m	1st Floor - Suites
REAR YARD (WEST, BUILDING 2)	15m	21.95m	13t 1 1001 - Ouites
LOT COVERAGE	35% max.	23%	
AMENITY AREA	6,210sqm (18m2 / unit) 50% indoor min.	6,210sqm (18m2 / unit) 35% indoor min.	2nd Floor
BUILDING HT.	26m	28m max (Building hts. from adjacent	2nd Floor - Amenity
		grades are: Building1=24.58m; Building2=24.33m; Building3=24.14m)	2nd Floor - Circulation
NUMBER OF STOREYS		7 + PENTHOUSE	2nd Floor - Suites
GFA - BUILDING 1 (see area breakdown this page)		11,319 sqm	
GFA - BUILDINGS 2 & 3 (see area breakdown this page)		10,169 sqm	
TOTAL GFA (all 3 buildings)		31,657sqm	3rd Floor
PARKING SPACES	443 (345 unit spots + 87 + visitor +	445 (345 unit spots + 87 visitor + 13	3rd Floor - Amenity
	11 barrier free)	barrier free (4 of which belong to visitors)	3rd Floor - Circulation
REQ. MANOEUVRING SPACE	7m	7m	3rd Floor - Suites
BICYCLE PARKING	69	70	
DENSITY DENSITY	09	191units/ha	
	0		4th Floor
DRIVEWAY WIDTH @ STREET LINE	9m max.	6.0m	4th Floor - Amenity
DRIVEWAY SETBACK TO BUILDING	1.5m	5.77m (building 1 to driveway, this is the minimum)	4th Floor - Circulation
		,	4th Floor - Suites

AREA (sqft) AREA (sqm)

45 UNITS

40 UNITS

2 UNITS

28 UNITS

115 UNITS

7,760 m<sup>2</sup>

7,760 m<sup>2</sup>

15,521 m<sup>2</sup>

**BUILDING 3** 

1 BEDROOM

2 BEDROOM

3 BEDROOM

TOTAL

2 BEDROOM + D

2 STOREY (3 BDRM)

n/a

45 UNITS

40 UNITS

2 UNITS

28 UNITS

115 UNITS

7th Floor - Suites

Penthouse Amenity

Total Building GFA

Penthouse

Parking Level Areas\* (measured to outside of fndn. walls, exclduding cistern)

**BUILDING 2** 

2 STOREY (3 BDRM)

1 BEDROOM

2 BEDROOM

3 BEDROOM

TOTAL

2 BEDROOM + D

83,532 ft<sup>2</sup>

83,532 ft<sup>2</sup>

167,065 ft<sup>2</sup>

Name

2 UNITS

45 UNITS

42 UNITS

26 UNITS

115 UNITS

n/a

Parking Level 2

Parking Level 1

Total Parking Area GFA

**UNIT COUNT:** 

BUILDING 1

1 BEDROOM

2 BEDROOM

3 BEDROOM

TOTAL

2 BEDROOM + D

2 STOREY (3 BDRM)

2nd Floor - Suites	2nd Floor - Amenity	161 ft²	15 m <sup>2</sup>
14,983 ft²   1,392 m	2nd Floor - Circulation	990 ft²	92 m <sup>2</sup>
3rd Floor - Amenity	2nd Floor - Suites	13,832 ft²	1,285 m <sup>2</sup>
3rd Floor - Amenity     161 ft²     15 m       3rd Floor - Circulation     990 ft²     92 m       3rd Floor - Suites     13,832 ft²     1,285 m       4th Floor     14,983 ft²     1,392 m       4th Floor - Amenity     161 ft²     15 m       4th Floor - Circulation     990 ft²     92 m       4th Floor - Suites     13,832 ft²     1,285 m       5th Floor     161 ft²     15 m       5th Floor - Amenity     161 ft²     15 m       5th Floor - Circulation     990 ft²     92 m       5th Floor - Suites     13,832 ft²     1,285 m       6th Floor - Amenity     161 ft²     15 m       6th Floor - Amenity     161 ft²     15 m       6th Floor - Circulation     990 ft²     92 m       6th Floor - Suites     13,832 ft²     1,285 m       6th Floor - Suites     13,832 ft²     1,285 m       7th Floor     14,983 ft²     1,392 m       7th Floor     7th Floor - Amenity     161 ft²     15 m       7th Floor     161 ft²     15 m       7th Floor - Amenity     161 ft²     15 m		14,983 ft <sup>2</sup>	1,392 m
3rd Floor - Circulation     990 ft²     92 m       3rd Floor - Suites     13,832 ft²     1,285 m       4th Floor     14,983 ft²     1,392 m       4th Floor - Amenity     161 ft²     15 m       4th Floor - Circulation     990 ft²     92 m       4th Floor - Suites     13,832 ft²     1,285 m       5th Floor     14,983 ft²     1,392 m       5th Floor - Amenity     161 ft²     15 m       5th Floor - Circulation     990 ft²     92 m       5th Floor - Suites     13,832 ft²     1,285 m       6th Floor     161 ft²     15 m       6th Floor - Amenity     161 ft²     15 m       6th Floor - Circulation     990 ft²     92 m       6th Floor - Suites     13,832 ft²     1,285 m       6th Floor - Suites     13,832 ft²     1,285 m       7th Floor     14,983 ft²     1,392 m       7th Floor     15 m     15 m       7th Floor     161 ft²     15 m       7th Floor - Amenity     161 ft²     15 m	3rd Floor		
3rd Floor - Suites       13,832 ft²       1,285 m         4th Floor       14,983 ft²       1,392 m         4th Floor - Amenity       161 ft²       15 m         4th Floor - Circulation       990 ft²       92 m         4th Floor - Suites       13,832 ft²       1,285 m         5th Floor       14,983 ft²       1,392 m         5th Floor - Amenity       161 ft²       15 m         5th Floor - Circulation       990 ft²       92 m         5th Floor - Suites       13,832 ft²       1,285 m         6th Floor       161 ft²       15 m         6th Floor - Amenity       161 ft²       15 m         6th Floor - Circulation       990 ft²       92 m         6th Floor - Suites       13,832 ft²       1,285 m         6th Floor - Suites       13,832 ft²       1,285 m         7th Floor       14,983 ft²       1,392 m         7th Floor       7th Floor - Amenity       161 ft²       15 m	3rd Floor - Amenity	161 ft²	15 m <sup>2</sup>
4th Floor       4th Floor - Amenity     161 ft²     15 m       4th Floor - Circulation     990 ft²     92 m       4th Floor - Suites     13,832 ft²     1,285 m       5th Floor     14,983 ft²     1,392 m       5th Floor - Amenity     161 ft²     15 m       5th Floor - Circulation     990 ft²     92 m       5th Floor - Suites     13,832 ft²     1,285 m       6th Floor     14,983 ft²     1,392 m       6th Floor - Amenity     161 ft²     15 m       6th Floor - Circulation     990 ft²     92 m       6th Floor - Suites     13,832 ft²     1,285 m       6th Floor - Suites     13,832 ft²     1,285 m       7th Floor     14,983 ft²     1,392 m       7th Floor     161 ft²     15 m       7th Floor - Amenity     161 ft²     15 m	3rd Floor - Circulation	990 ft <sup>2</sup>	92 m <sup>2</sup>
4th Floor         4th Floor - Amenity       161 ft²       15 m         4th Floor - Circulation       990 ft²       92 m         4th Floor - Suites       13,832 ft²       1,285 m         5th Floor       14,983 ft²       1,392 m         5th Floor - Amenity       161 ft²       15 m         5th Floor - Circulation       990 ft²       92 m         5th Floor - Suites       13,832 ft²       1,285 m         6th Floor       161 ft²       15 m         6th Floor - Amenity       161 ft²       15 m         6th Floor - Circulation       990 ft²       92 m         6th Floor - Suites       13,832 ft²       1,285 m         6th Floor - Suites       13,832 ft²       1,285 m         7th Floor       14,983 ft²       1,392 m         7th Floor - Amenity       161 ft²       15 m	3rd Floor - Suites	13,832 ft²	1,285 m <sup>2</sup>
4th Floor - Amenity       161 ft²       15 m         4th Floor - Circulation       990 ft²       92 m         4th Floor - Suites       13,832 ft²       1,285 m         5th Floor       14,983 ft²       1,392 m         5th Floor - Amenity       161 ft²       15 m         5th Floor - Circulation       990 ft²       92 m         5th Floor - Suites       13,832 ft²       1,285 m         6th Floor       161 ft²       15 m         6th Floor - Amenity       161 ft²       15 m         6th Floor - Suites       13,832 ft²       1,285 m         6th Floor - Suites       13,832 ft²       1,285 m         6th Floor - Suites       13,832 ft²       1,285 m         7th Floor       14,983 ft²       1,392 m         7th Floor       161 ft²       15 m		14,983 ft²	1,392 m
4th Floor - Circulation       990 ft²       92 m         4th Floor - Suites       13,832 ft²       1,285 m         5th Floor       14,983 ft²       1,392 m         5th Floor - Amenity       161 ft²       15 m         5th Floor - Circulation       990 ft²       92 m         5th Floor - Suites       13,832 ft²       1,285 m         6th Floor       161 ft²       15 m         6th Floor - Amenity       161 ft²       15 m         6th Floor - Suites       13,832 ft²       1,285 m         6th Floor - Suites       13,832 ft²       1,285 m         7th Floor       14,983 ft²       1,392 m         7th Floor       7th Floor - Amenity       161 ft²       15 m	4th Floor		
4th Floor - Suites       13,832 ft²       1,285 m         5th Floor       14,983 ft²       1,392 m         5th Floor - Amenity       161 ft²       15 m         5th Floor - Circulation       990 ft²       92 m         5th Floor - Suites       13,832 ft²       1,285 m         6th Floor       14,983 ft²       1,392 m         6th Floor - Amenity       161 ft²       15 m         6th Floor - Circulation       990 ft²       92 m         6th Floor - Suites       13,832 ft²       1,285 m         6th Floor - Suites       13,832 ft²       1,285 m         7th Floor       14,983 ft²       1,392 m	4th Floor - Amenity	161 ft²	15 m <sup>2</sup>
5th Floor         5th Floor - Amenity       161 ft²       15 m         5th Floor - Circulation       990 ft²       92 m         5th Floor - Suites       13,832 ft²       1,285 m         6th Floor       14,983 ft²       1,392 m         6th Floor - Amenity       161 ft²       15 m         6th Floor - Circulation       990 ft²       92 m         6th Floor - Suites       13,832 ft²       1,285 m         7th Floor       14,983 ft²       1,392 m         7th Floor       7th Floor - Amenity       161 ft²       15 m	4th Floor - Circulation	990 ft²	92 m
5th Floor       161 ft²       15 m         5th Floor - Amenity       990 ft²       92 m         5th Floor - Suites       13,832 ft²       1,285 m         6th Floor       14,983 ft²       1,392 m         6th Floor - Amenity       161 ft²       15 m         6th Floor - Circulation       990 ft²       92 m         6th Floor - Suites       13,832 ft²       1,285 m         7th Floor       14,983 ft²       1,392 m         7th Floor - Amenity       161 ft²       15 m	4th Floor - Suites	13,832 ft²	1,285 m
5th Floor - Amenity       161 ft²       15 m         5th Floor - Circulation       990 ft²       92 m         5th Floor - Suites       13,832 ft²       1,285 m         6th Floor       14,983 ft²       1,392 m         6th Floor - Amenity       161 ft²       15 m         6th Floor - Circulation       990 ft²       92 m         6th Floor - Suites       13,832 ft²       1,285 m         7th Floor       14,983 ft²       1,392 m         7th Floor - Amenity       161 ft²       15 m		14,983 ft²	1,392 m
5th Floor - Circulation       990 ft²       92 m         5th Floor - Suites       13,832 ft²       1,285 m         6th Floor       14,983 ft²       1,392 m         6th Floor - Amenity       161 ft²       15 m         6th Floor - Circulation       990 ft²       92 m         6th Floor - Suites       13,832 ft²       1,285 m         7th Floor       14,983 ft²       1,392 m         7th Floor - Amenity       161 ft²       15 m	5th Floor		
5th Floor - Suites       13,832 ft²       1,285 m         6th Floor       14,983 ft²       1,392 m         6th Floor - Amenity       161 ft²       15 m         6th Floor - Circulation       990 ft²       92 m         6th Floor - Suites       13,832 ft²       1,285 m         14,983 ft²       1,392 m         7th Floor       161 ft²       15 m	<u> </u>		
14,983 ft²       1,392 m         6th Floor         6th Floor - Amenity       161 ft²       15 m         6th Floor - Circulation       990 ft²       92 m         6th Floor - Suites       13,832 ft²       1,285 m         14,983 ft²       1,392 m         7th Floor       161 ft²       15 m			
6th Floor - Amenity 161 ft² 15 m 6th Floor - Circulation 990 ft² 92 m 6th Floor - Suites 13,832 ft² 1,285 m 14,983 ft² 1,392 m  7th Floor 7th Floor - Amenity 161 ft² 15 m	5th Floor - Suites	· ·	
6th Floor - Amenity       161 ft²       15 m         6th Floor - Circulation       990 ft²       92 m         6th Floor - Suites       13,832 ft²       1,285 m         14,983 ft²       1,392 m         7th Floor       161 ft²       15 m		14,983 ft²	1,392 m
6th Floor - Circulation       990 ft²       92 m         6th Floor - Suites       13,832 ft²       1,285 m         14,983 ft²       1,392 m         7th Floor       161 ft²       15 m	6th Floor	10150	
6th Floor - Suites       13,832 ft²       1,285 m         14,983 ft²       1,392 m         7th Floor       161 ft²       15 m	•		
7th Floor       161 ft²       1,392 m         7th Floor - Amenity       161 ft²       15 m		990 ft²	92 m
7th Floor 7th Floor - Amenity 161 ft² 15 m			
7th Floor - Amenity 161 ft <sup>2</sup> 15 m	6th Floor - Circulation 6th Floor - Suites	1	1,285 m
		1	
7th Floor - Circulation 861 ft <sup>2</sup> 80 m	6th Floor - Suites 7th Floor	14,983 ft²	1,392 m
	7th Floor - Amenity	14,983 ft²	

Gross Floor Areas\* - Building 1

Name

AREA (sqm)

883 m²

35 m²

189 m²

231 m<sup>2</sup>

1,346 m<sup>2</sup>

252 m²

95 m²

806 m<sup>2</sup>

1,153 m<sup>2</sup>

8 m²

AREA (sqft)

9,505 ft<sup>2</sup>

377 ft<sup>2</sup>

2,034 ft<sup>2</sup>

2,486 ft<sup>2</sup>

14,488 ft<sup>2</sup>

2,713 ft<sup>2</sup>

1,023 ft<sup>2</sup>

8,676 ft<sup>2</sup>

12,411 ft<sup>2</sup>

13,315 ft²

14,338 ft<sup>2</sup>

5,683 ft<sup>2</sup>

5,683 ft<sup>2</sup>

121,837 ft<sup>2</sup>

1,237 m²

1,332 m<sup>2</sup>

528 m²

parking spaces

528 m²

11,319 m<sup>2</sup>

86 ft²

Name	AREA (sqft)	AREA (sqm)
1st Floor	(17)	( 1 /
1st Floor - Amenity	1,152 ft²	107 m²
1st Floor - Circulation	1,356 ft²	126 m²
1st Floor - Entrance	1,550 ft <sup>2</sup>	144 m²
1st Floor - Suites	10,419 ft²	968 m²
1st Floor - Voids	43 ft²	4 m²
	14,521 ft²	1,349 m²
2nd Floor		
2nd Floor - Amenity	161 ft²	15 m²
2nd Floor - Circulation	990 ft <sup>2</sup>	92 m²
2nd Floor - Suites	13,832 ft²	1,285 m²
	14,983 ft <sup>2</sup>	1,392 m²
3rd Floor		
3rd Floor - Amenity	161 ft²	15 m²
3rd Floor - Circulation	990 ft²	92 m²
3rd Floor - Suites	13,832 ft²	1,285 m²
	14,983 ft <sup>2</sup>	1,392 m²
4th Floor		
4th Floor - Amenity	161 ft²	15 m²
4th Floor - Circulation	990 ft²	92 m²
4th Floor - Suites	13,832 ft²	1,285 m²
	14,983 ft²	1,392 m <sup>2</sup>
5th Floor		
5th Floor - Amenity	161 ft²	15 m²
5th Floor - Circulation	990 ft²	92 m²
5th Floor - Suites	13,832 ft²	1,285 m²
	14,983 ft <sup>2</sup>	1,392 m²
6th Floor		
6th Floor - Amenity	161 ft²	15 m²
6th Floor - Circulation	990 ft²	92 m²
6th Floor - Suites	13,832 ft²	1,285 m²
	14,983 ft²	1,392 m <sup>2</sup>
7th Floor		
7th Floor - Amenity	161 ft²	15 m²
7th Floor - Circulation	861 ft²	80 m²
7th Floor - Suites	13,315 ft²	1,237 m²
	14,338 ft <sup>2</sup>	1,332 m <sup>2</sup>
Penthouse		
Penthouse Amenity	5,683 ft²	528 m²
	5,683 ft <sup>2</sup>	528 m²
Total Building GFA	109,458 ft <sup>2</sup>	10,169 m²

open to below areas
 refuse storage rooms and chutes

stairwells

mechanical rooms
 elevator shafts

C C C C C C	persons/bedroom persons/bedroom persons/bedroom persons/bedroom persons/bedroom persons/bedroom persons/bedroom	40 66 66 66 66 66	
C C C C	persons/bedroom persons/bedroom persons/bedroom persons/bedroom persons/bedroom	66 66 66 66 66	
C C C C	persons/bedroom persons/bedroom persons/bedroom persons/bedroom	66 66 66 66	
C C C	persons/bedroom persons/bedroom persons/bedroom	66 66 66	
C C	persons/bedroom persons/bedroom	66 66	
С	persons/bedroom	66	
	·		
С	persons/bedroom		
		56	
l		426	
		60	
С	fixed number	60	
С	persons/bedroom	40	
С	persons/bedroom	66	
С	persons/bedroom	56	
		426	
С	fixed number	60	
426			
426			
426			
1278			
	C C C C C C C C C C C C C C C C C C C	C persons/bedroom C fixed number  C fixed number	

### **UNIT DISTRIBUTION (BUILDING 1):**

NAME	1ST/MEZZ.	2ND	3RD	4TH	5TH	6TH	7TH	TOTAL
2 STOREY (3 BDRM)	2 UNITS							2 UNITS
1 BEDROOM		9 UNITS		45 UNITS				
2 BEDROOM	4 UNITS	6 UNITS	6 UNITS	6 UNITS	6 UNITS	6 UNITS	8 UNITS	42 UNITS
3 BEDROOM	2 UNITS	4 UNITS	4 UNITS	4 UNITS	4 UNITS	4 UNITS	4 UNITS	26 UNITS
TOTAL								115 UNITS

#### **UNIT DISTRIBUTION (BUILDINGS 2 & 3):**

NAME	1ST	2ND	3RD	4TH	5TH	6TH	7TH	TOTAL
1 BEDROOM		9 UNITS		45 UNITS				
2 BEDROOM	2 UNITS	6 UNITS	8 UNITS	40 UNITS				
2 BEDROOM + D	2 UNITS							2 UNITS
3 BEDROOM	4 UNITS	28 UNITS						
TOTAL								115 UNITS

Roma	of Practice: anov Romanov Ard Parkside Dr. 2Z6	hitects			LR!	0 ASS or	OCIAN
	of Project: lub Condo				A O	RCHIT	ZJS Z
Part of	on: & 15286 Leslie St. (LOT 21, Concession) April, 03, 20202	2, Aurora			WARRANA TO	LICEN 3717	MANOV CE
		Ontario Building Pa	g Code Data Ma art 3	trix			Building Code Reference
3.00	Building Code Version:	O. Reg. 332/12	_ Last Amen	dment	O. Reg. 1	91/14	
3.01	Project Type:	☐ Change of use	□ Addition □ Addition and ren	ovation	enovation		[A] 1.1.2.
3.02	Major Occupancy Classification:	Occupancy Group C	<u>Use</u>				3.1.2.1.(1)
3.03	Superimposed Major Occupancies:	☑ No ☐ Yes  Description:					3.2.2.7.
3.04	Building Area (m <sup>2</sup> )	Description:		Existing	New	<u>Total</u>	[A] 1.4.1.2.
		Building 1		0	1,346_	0	
		Building 2		0	1,349	0	
		Building 3		0	1,349_	0	
				0	0	0	
	1	1			0		1

3.05	Gross Area (m²)	<u>Description:</u> <u>Existing</u> <u>New</u> <u>Total</u>	[A] 1.4.1.2.
		Building 1012,1200	NOTE: THESE GFA I
		Building 2 0 10,743 0	THOSE ABOVE BEC
		Building 3 0 10,743 0	THEY CAPTURE THI ENTIRETY OF THE F
		000	PLATES WITHOUT T EXCLUSIONS THAT
	Insert additional lines as needed	Total <u>0</u> <u>0</u> 0	FROM THE BY-LAW
3.06	Mezzanine Area	Description: Existing New Total	3.2.1.1.
	(m <sup>2</sup> )	Building 1 0 0 0	
		Building 2 0 0 0	
		Building 3 0 0 0	
		Total000	
	Insert additional lines as needed		
3.07	Building Height	7 Storeys above grade 1=24.58m (m) Above grade 2=24.33m	[A] 1.4.1.2. & 3.2.1.1.
		2 Storeys below grade 3=24.14m	3.2.1.1.
3.08	High Building	□ No   ☑ Yes	3.2.6.
3.09	Number of Streets/ Firefighter access	1 street(s)	3.2.2.10. & 3.2.5.
3.10	Building Classification: (Size and Construction Relative to Occupancy)	3.2.2.42 Group/Div <u>C</u>	3.2.2.20 83.
3.11	Sprinkler System	☑ Required       ☐ Not Required         Proposed:       ☑ entire building       ☐ selected compartments         ☐ selected floor areas       ☐ basement         ☐ in lieu of roof rating       ☐ none	32.1.5. & 32.2.17.
3.12	Standpipe System	□ Not required ⊠ Required	3.2.9.
3.13	Fire Alarm System	⊠ Required       □ Not required         Proposed:       □ Single stage       □ Two stage       □ None	3.2.4.
3.14	Water Service / Supply is Adequate	□ No        Yes	
3.15	Construction Type:	Restriction:       □ Combustible permitted       ☒ Non-combustible required         Actual:       □ Combustible       ☒ Non-combustible       □ Combination         Heavy Timber Construction:       ☒ No       □ Yes	3.2.2.20 83. & 3.2.1.4.

3.16	Importance Category:	☐ Low ☐ Low human occupancy ☐ Post-disaster shelter ☐ Normal	4.1.2.1.(3) & T4.1.2.1.B
		☐ High ☐ Minor storage building ☐ Explosive or hazardous substances	
		□ Post-disaster	
3.17	Seismic Hazard	(I <sub>E</sub> Fa Sa (0.2)) =	4.1.2.1.(3)
	Index:	Seismic design required for Table 4.1.8.18. items 6 to 21: ((I <sub>E</sub> Fa Sa (0.2)) ≥ 0.35 or Post-disaster) □ No □ Yes	4.1.8.18.(2)
3.18	Occupant Load	Floor Level/Area Occupancy Based On Occupant Load Type (Persons)	3.1.17.
		See table this page 0	
	Insert additional lines as needed		
3.19	Barrier-free Design:	x Yes <u>Explanation</u> □ No	3.8.
3.20	Hazardous Substances:	☐ Yes Explanation x No	3.3.1.2. & 3.3.1.19.
3.21	Required Fire Resistance Ratings	Horizontal Assembly Rating Supporting Noncombustible Assembly (H) in lieu of rating?	3.2.2.20 83. 3.2.1.4.
	3.2.2.42	Floors over basement <u>2hr</u> <u>0</u> No ☐ Yes ☐ N/A	
		Floors	
		Mezzanine 0 0 No Yes N/A	
		Roof <u>0</u> 0 No Yes N/A	
3.22	Spatial Separation	Wall   EBF   L.D. L/H   Required   Construction Type   Cladding Type   Area   (m)   or   FRR (H)   Required   Required   Required   MILL   Construction Type   Cladding Type	3.2.3.
		<u>East</u> <u>833</u> <u>10.5</u> <u>n/a</u> <u>0</u> ⊠ Noncombustible ⊠ Noncombustible	
		North 882 6.6 n/a 0 ⊠ Noncombustible ⊠ Noncombustible	
		South 972 6.8 n/a 0 ⊠ Noncombustible ⊠ Noncombustible	

3.23	Plumbing Fixture Requirements	Ratio: Male:Fe		3.7.4.			
		Floor Level/Area	Occupant Load	OBC Reference	<u>Fixtures</u> <u>Required</u>	<u>Fixtures</u> <u>Provided</u>	
			0		0	0	
			0		0	0	
			0		0	0	
	Insert additional lines as needed		0_		0	0	
3.24	Energy Efficiency:	Compliance Path:	Prescriptive:	TABLE SB	5.5-7–2017		
		Climatic Zone:	Zone 6				
3.25	Notes:						
	Insert additional lines as needed						

No. Date: Particular: 2020.04.06 Revised Stats 2020.04.07 Revised Stats
2020.04.30 Minor Site Plan Revisions 2020.09.23 GFA's Revised 2020.10.01 Revisions
2020.10.07 Revisions to Parking Count/Layout
2020.10.21 Revisions for Town 2021.07.13 Revisions to Plans 32 2022.10.27 SPA, Additional Units 34 2022.10.27 Corrected Figures Drawing Issue:

Revisions:

Date:	Particular:	Ву:
2020.05.13	SITE PLAN SUBMISSION SET	ND
2020.05.13	SITE PLAN SUBMISSION SET	ND
2021.07.12	SITE PLAN RE-SUBMISSION SET (COORDINATION SET)	ND
2022.04.06	SITE PLAN SUBMISSION SET	ND
2022.10.27	SITE PLAN SUBMISSION SET	ND



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375 PARKSIDE DRIVE, TORONTO, ONTARIO, CANADA

POLO CLUB CONDOS LESLIE ST. AURORA

**TOWN'S FILE #**: SP-2020-06 **REGION'S FILE #**: SP.20.A.0124

Sheet Title: PROJECT STATISTICS W/

Design: Drawn: Approved:

Comm. No:

October 2016

MATRIX

Sheet No:

Ontario Building Code Data Matrix, Part 3
© Ontario Association of Architects Ontario Building Code Data Matrix, Part 3
© Ontario Association of Architects October 2016 October 2016

Ontario Building Code Data Matrix, Part 3 © Ontario Association of Architects Ontario Building Code Data Matrix, Part 3 © Ontario Association of Architects October 2016

#### **OUTDOOR AMENITY STATS**

Outdoor Amenity A	reas - Building 1	
Name	AREA (sqft)	AREA (sqm)
Basement - Private Patios	306 ft <sup>2</sup>	28
1st Floor - Private Balconies	792 ft <sup>2</sup>	72
2nd Floor - Private Balconies	1,515 ft <sup>2</sup>	136
Oud Floor Drivete Beloogies	4 545 40	100
3rd Floor - Private Balconies	1,515 ft <sup>2</sup>	136
4th Floor - Private Balconies	1,515 ft <sup>2</sup>	136
	1	
5th Floor - Private Balconies	1,515 ft <sup>2</sup>	136
6th Floor - Private Balconies	1,515 ft <sup>2</sup>	136
7th Floor - Private Balconies	929 ft <sup>2</sup>	84
	0.000 (10	
Public Terrace @ Roof	6,606 ft <sup>2</sup>	614
Total Outdoor Amenity	16,209 ft <sup>2</sup>	1478

#### **Building 1 Outdoor Amenities Note**

Minimum Prop. Rate: 65% of 18m<sup>2</sup> for each of 100 units = 1,170m<sup>2</sup>

Amenity Area Distribution:
Private Balconies & Patios = 864m<sup>2</sup>
Public Terrace @ Penthouse = 614m<sup>2</sup>
Total = 1,478m<sup>2</sup>

#### **Total Outdoor Amenities, Entire Development**

Building 1 (1,478 m<sup>2</sup>) Building 2 (1,478 m<sup>2</sup>) Building 3 (1,478 m<sup>2</sup>) 5,432m<sup>2</sup>

Outdoor Amenity Areas - Buildings 2 & 3				
Name	AREA (sqft)	AREA (sqm)		
1st Floor - Private Balconies & Patios	1,098 ft <sup>2</sup>	100		
2nd Floor - Private Balconies	1,515 ft <sup>2</sup>	136		
		1		
3rd Floor - Private Balconies	1,515 ft <sup>2</sup>	136		
	1	1		
4th Floor - Private Balconies	1,515 ft <sup>2</sup>	136		
THE Floor Delicate Delicacion	4 545 40	100		
5th Floor - Private Balconies	1,515 ft <sup>2</sup>	136		
6th Floor - Private Balconies	1,515 ft <sup>2</sup>	136		
otti i iooi i iivate Balconies	1,01011	100		
7th Floor - Private Balconies	929 ft <sup>2</sup>	84		
Public Terrace @ Roof	6,606 ft <sup>2</sup>	614		
Total Outdoor Amenity	16,208 ft <sup>2</sup>	1478		

#### **Buildings 2 & 3 Outdoor Amenities Note**

Minimum Prop. Rate: 65% of 18m<sup>2</sup> for each of 100 units = 1,170m<sup>2</sup>

Amenity Area Distribution:
Private Balconies & Patios = 864m<sup>2</sup>
Public Terrace @ Penthouse = 614m<sup>2</sup>
Total = 1,478m<sup>2</sup>

#### **INDOOR AMENITY STATS**

Interior Ame	enity - Building 1	
Name	AREA (sqft)	AREA (sqm)
Basement - Amenity	9,511 ft²	883
1st Floor - Amenity	2,723 ft <sup>2</sup>	252
2nd Floor - Amenity	164 ft <sup>2</sup>	15
3rd Floor - Amenity	164 ft <sup>2</sup>	15
4th Floor - Amenity	164 ft <sup>2</sup>	15
5th Floor - Amenity	164 ft <sup>2</sup>	15
6th Floor - Amenity	164 ft <sup>2</sup>	15
7th Floor - Amenity	164 ft <sup>2</sup>	15
Penthouse Amenity	5,687 ft <sup>2</sup>	528
Total Indoor Amenity	18,906 ft <sup>2</sup>	1753

#### **Building 1 Interior Amenities Note**

Proposed Min. Rate: 35% of 18m<sup>2</sup> for each of 115 units = min. 725m<sup>2</sup>

Proposed Interior Amenites Distribution (summary of table above):

Basement = 883m<sup>2</sup>
1st Floor = 252m<sup>2</sup>
Amenity distributed on regular floors = 90m<sup>2</sup>
Penthouse Amenity = 528m<sup>2</sup>
Total = 1,753m<sup>2</sup>

#### Total Interior Amenities, Entire Development

Building 1 (1,753 m<sup>2</sup>) Building 2 (725 m<sup>2</sup>) Building 3 (725 m<sup>2</sup>) 3,203m<sup>2</sup>

Interior Amenity - Buildings 2 & 3			
Name	AREA (sqft)	AREA (sqm)	
1st Floor - Amenity	1,151 ft <sup>2</sup>	107	
2nd Floor - Amenity	162 ft <sup>2</sup>	15	
3rd Floor - Amenity	162 ft <sup>2</sup>	15	
4th Floor - Amenity	162 ft <sup>2</sup>	15	
5th Floor - Amenity	162 ft <sup>2</sup>	15	
6th Floor - Amenity	162 ft <sup>2</sup>	15	
7th Floor - Amenity	162 ft <sup>2</sup>	15	
Penthouse Amenity	5,687 ft <sup>2</sup>	528	
Total Indoor Amenity	7,809 ft <sup>2</sup>	725	

#### **Buildings 2 & 3 Interior Amenities Note**

Proposed Min. Rate: 35% of 18m<sup>2</sup> for each of 115 units = min. 725m<sup>2</sup> each per Buildings 2 & 3

Proposed Interior Amenites Distribution per Buildings 2 & 3 (summary of table above):

1st Floor = 107m<sup>2</sup>
Amenity distributed on regular floors = 90m<sup>2</sup>
Penthouse Amenity = 528m<sup>2</sup>
Total = 725m<sup>2</sup>

No.	Date:	Particular:	Ву
17	2020.09.23	New Sheet A0.0(b)	ND
18	2020.10.01	Revisions	ND
19	2020.10.05	Revisions	ND
21	2020.10.21	Revisions for Town	ND
26	2021.02.08	Site Revisions	ND
27	2021.05.19	Expanded Indoor Amenity - Bldngs 2 & 3	ND
28	2021.07.13	Revisions to Plans	ND
32	2022.10.27	SPA, Additional Units	ND

#### Drawing Issue:

Date:	Particular:	Ву:
2021.07.12	SITE PLAN RE-SUBMISSION SET (COORDINATION SET)	ND
2022.04.06	SITE PLAN SUBMISSION SET	ND
2022.10.27	SITE PLAN SUBMISSION SET	ND



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ect:

POLO CLUB CONDOS LESLIE ST. AURORA

TOWN'S FILE #: SP-2020-06

REGION'S FILE #: SP.20.A.0124

Sheet Title:

ADDITIONAL PROJECT STATS

Design:

Drawn:

Approved:

JR

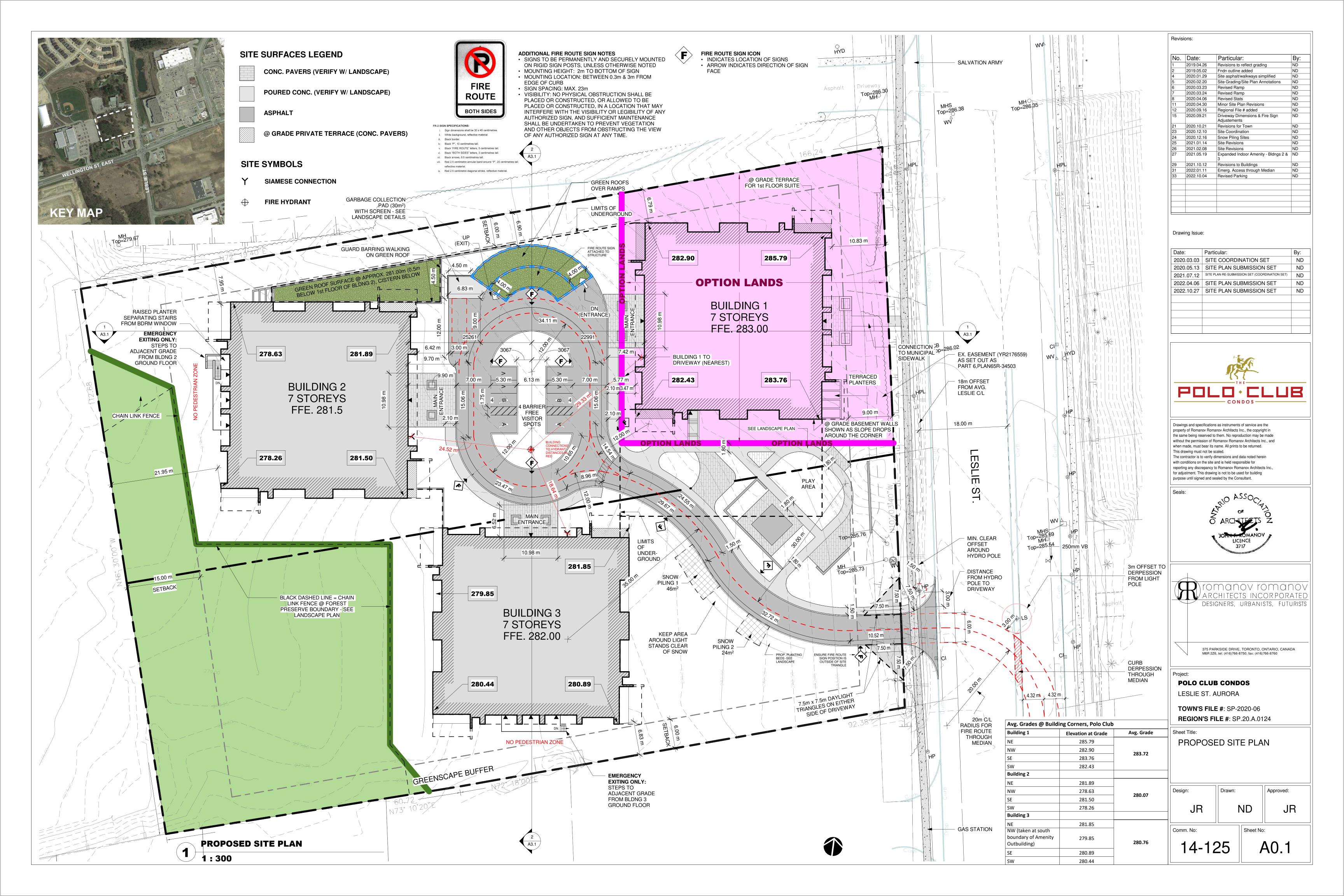
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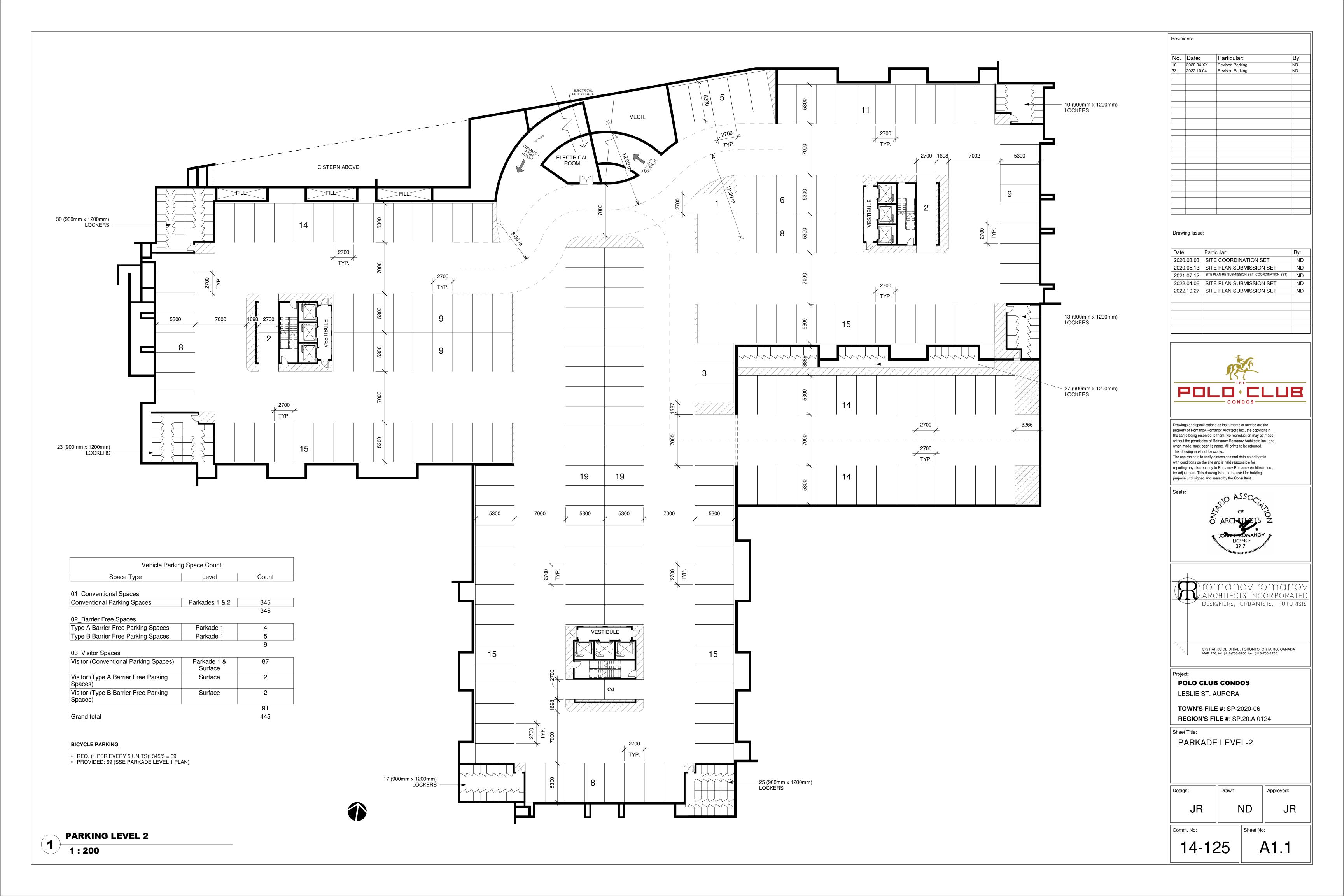
JR

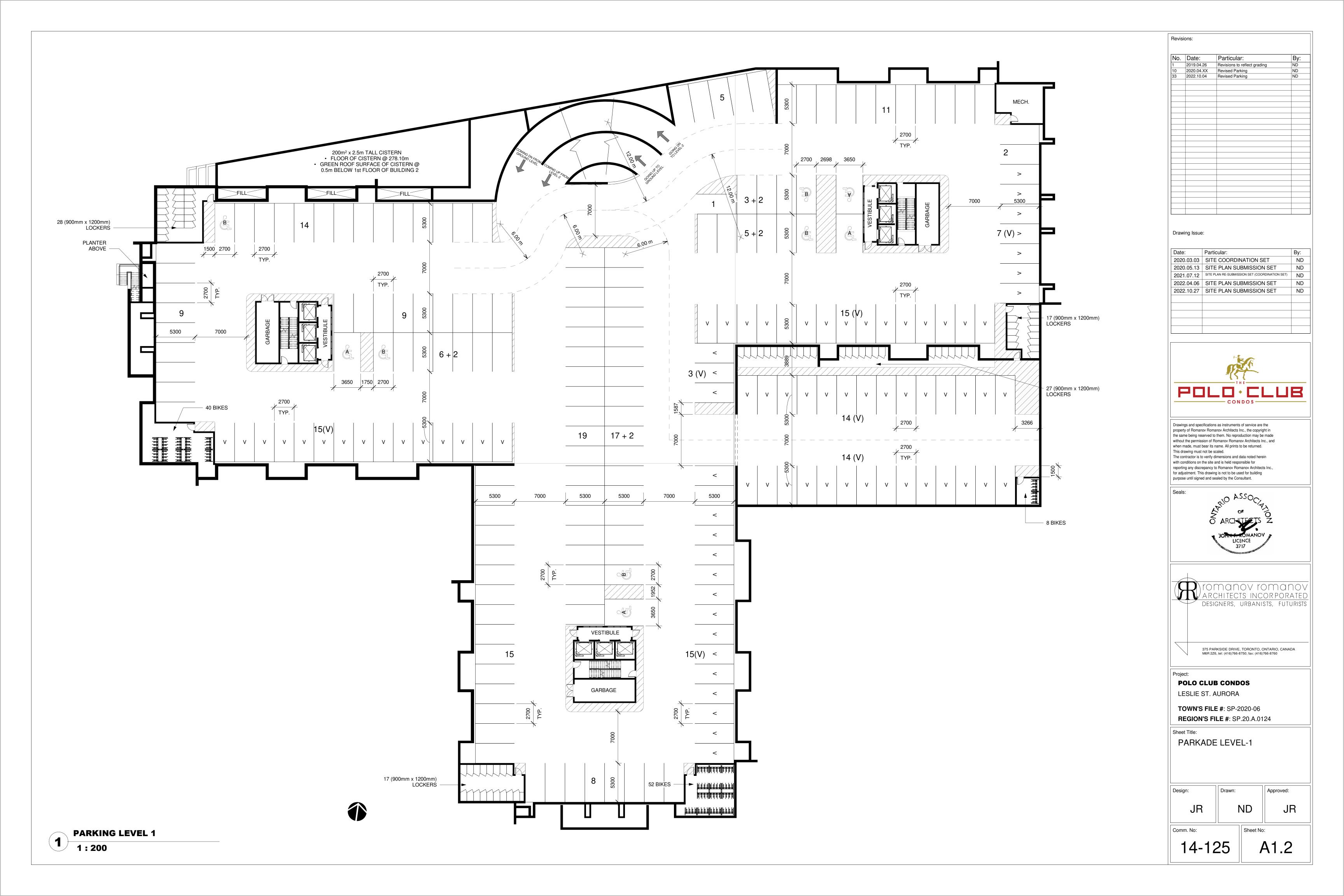
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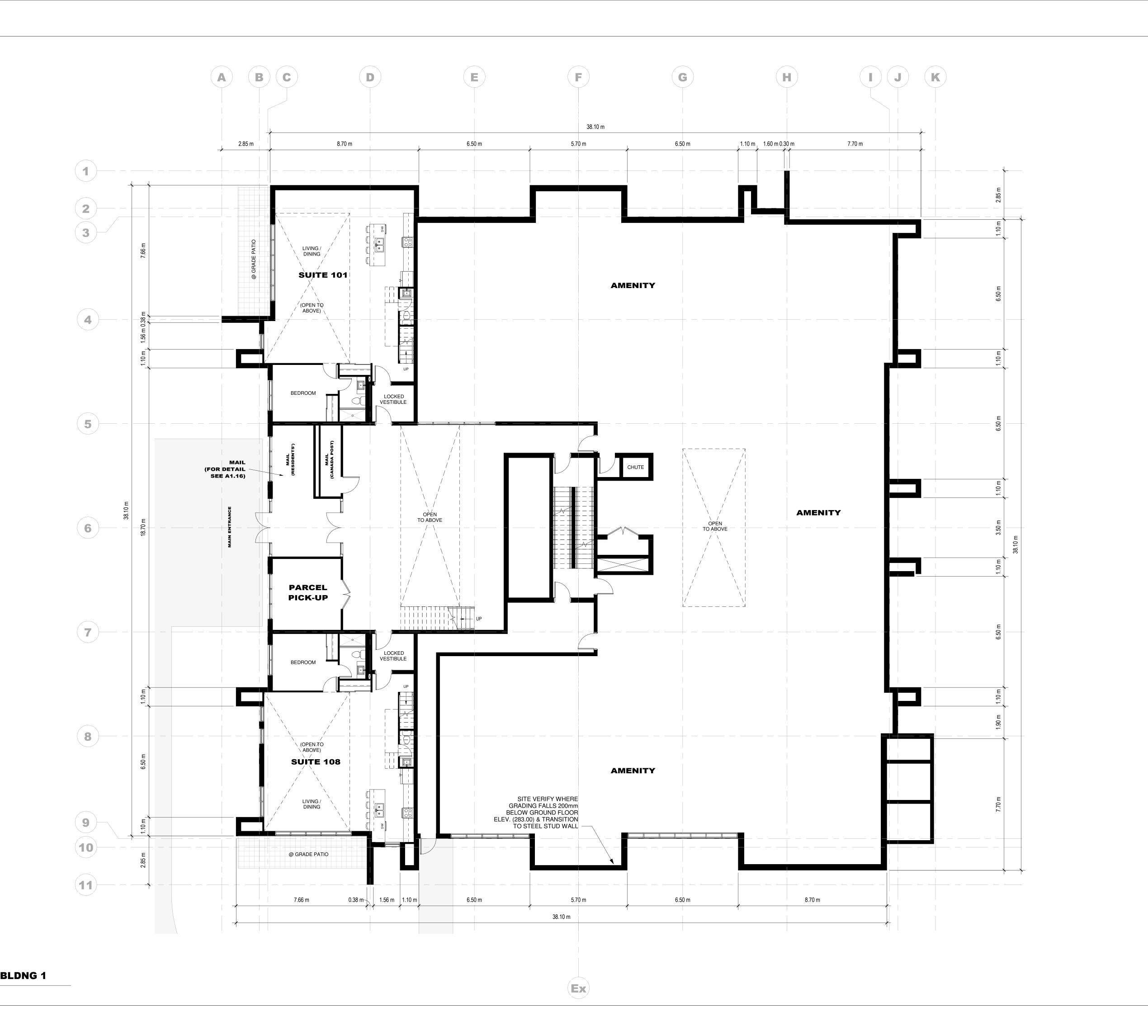
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No. Date: Particular: By:

#### Drawing Issue:

Date:	Particular:	By:
2020.03.03	SITE COORDINATION SET	ND
2020.05.13	SITE PLAN SUBMISSION SET	ND
2021.07.12	SITE PLAN RE-SUBMISSION SET (COORDINATION SET)	ND
2022.04.06	SITE PLAN SUBMISSION SET	ND
2022.10.27	SITE PLAN SUBMISSION SET	ND



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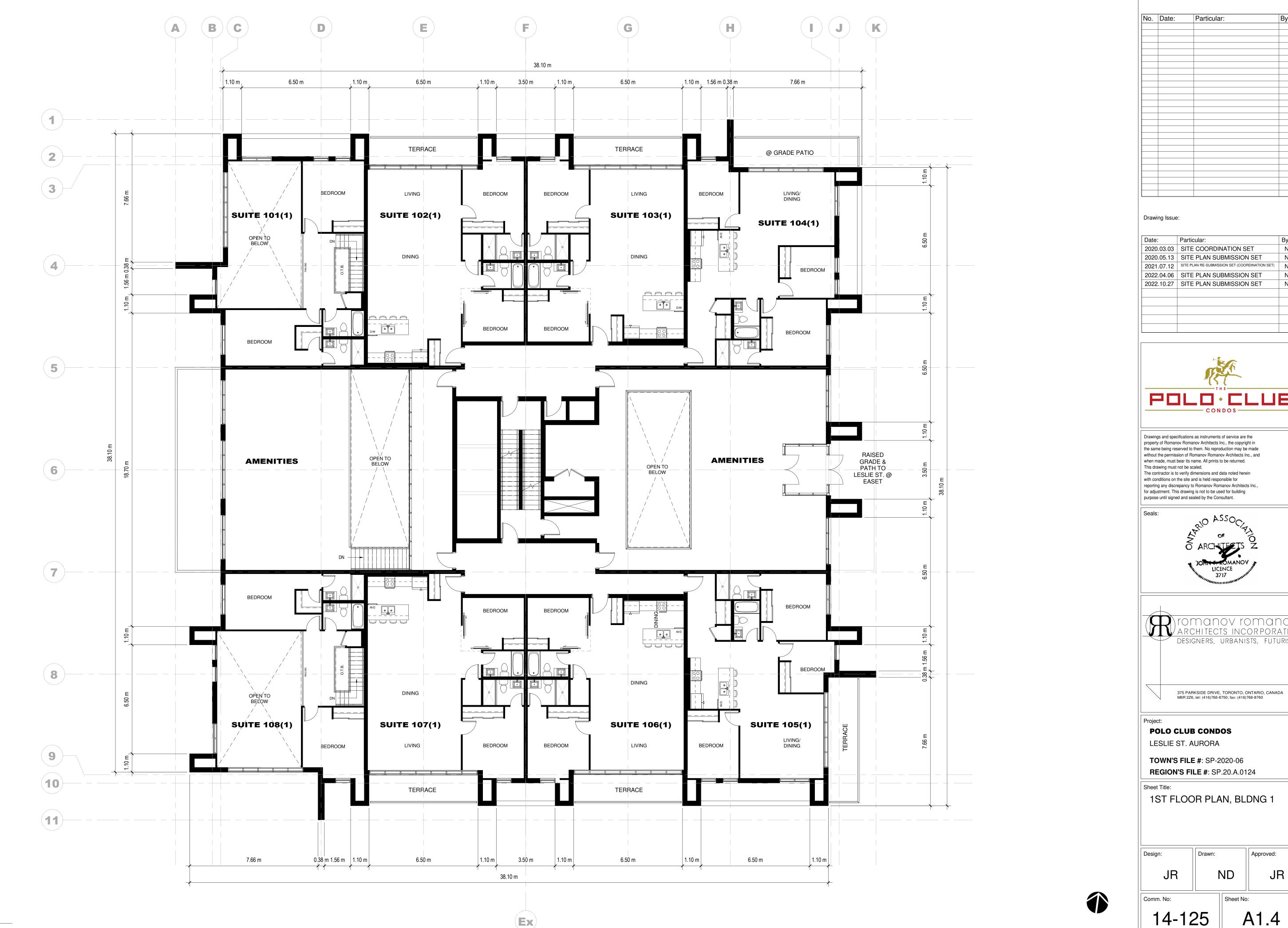
Sheet Title:

BASEMENT PLAN, BLDNG 1

Design: Drawn: Approved: JR ND JR

Comm. No:

nm. No: Sheet No:

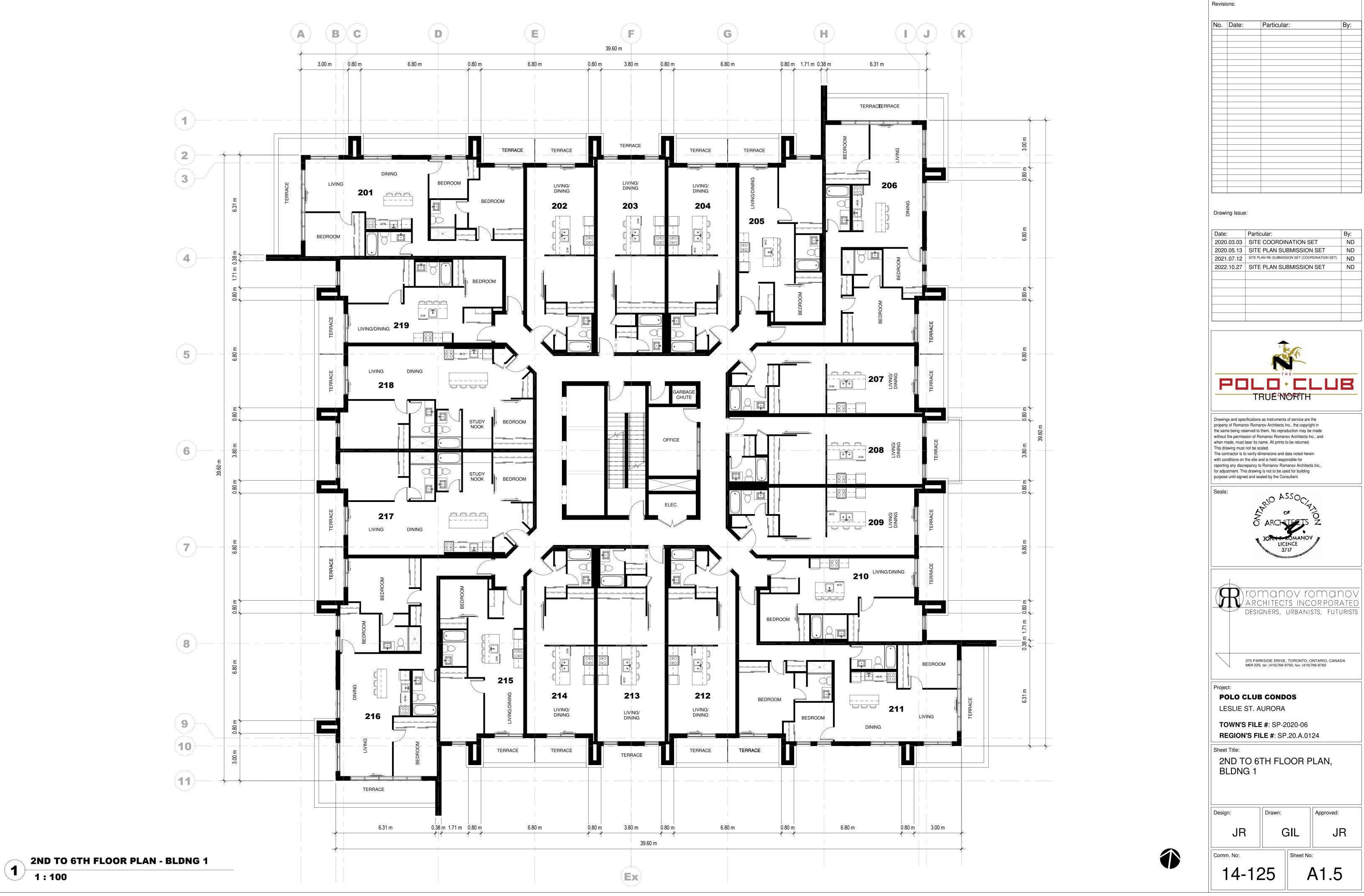


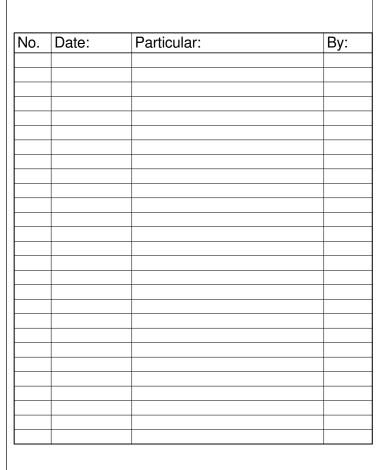
Revisions:

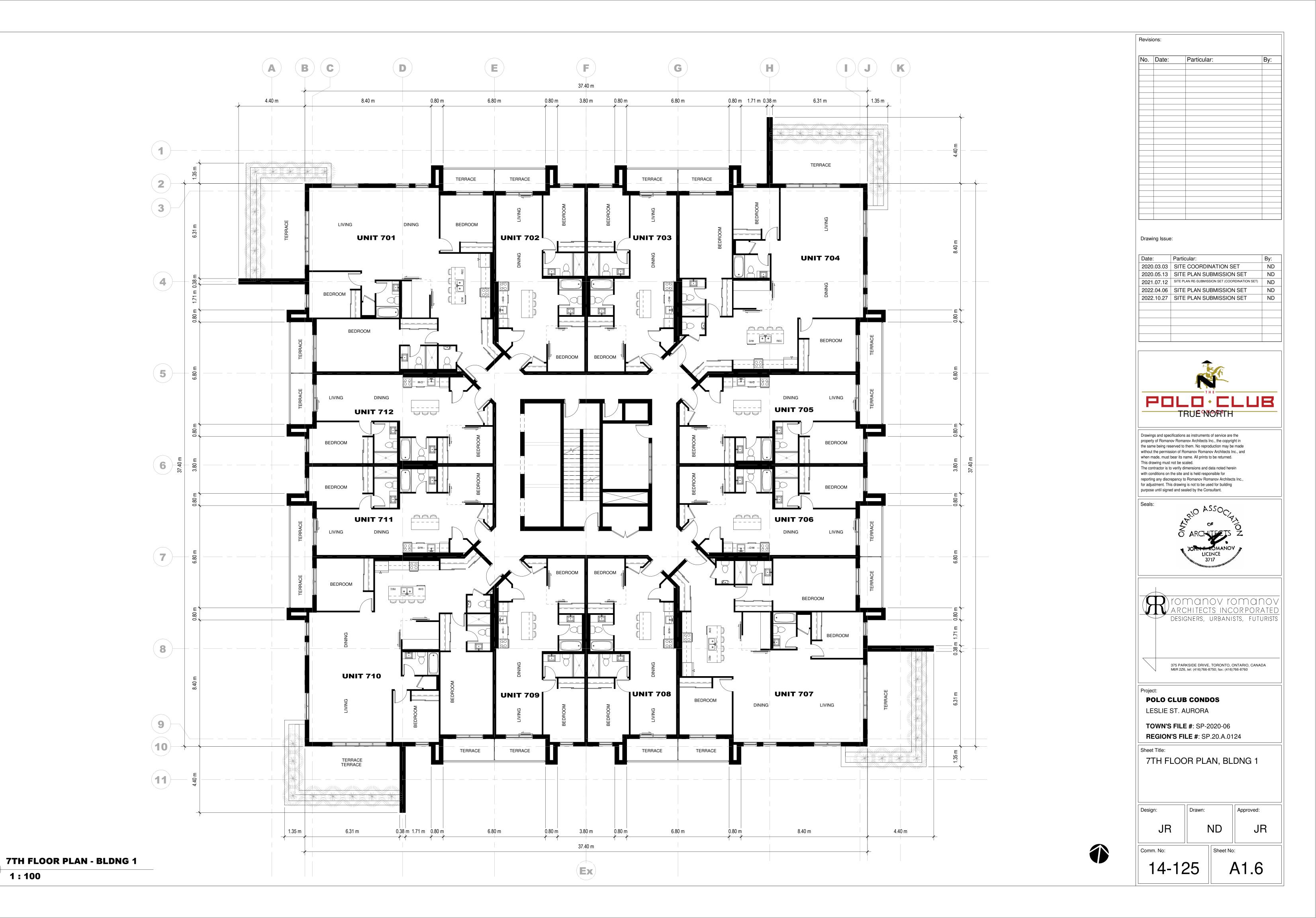
ND 2021.07.12 SITE PLAN RE-SUBMISSION SET (COORDINATION SET) ND ND



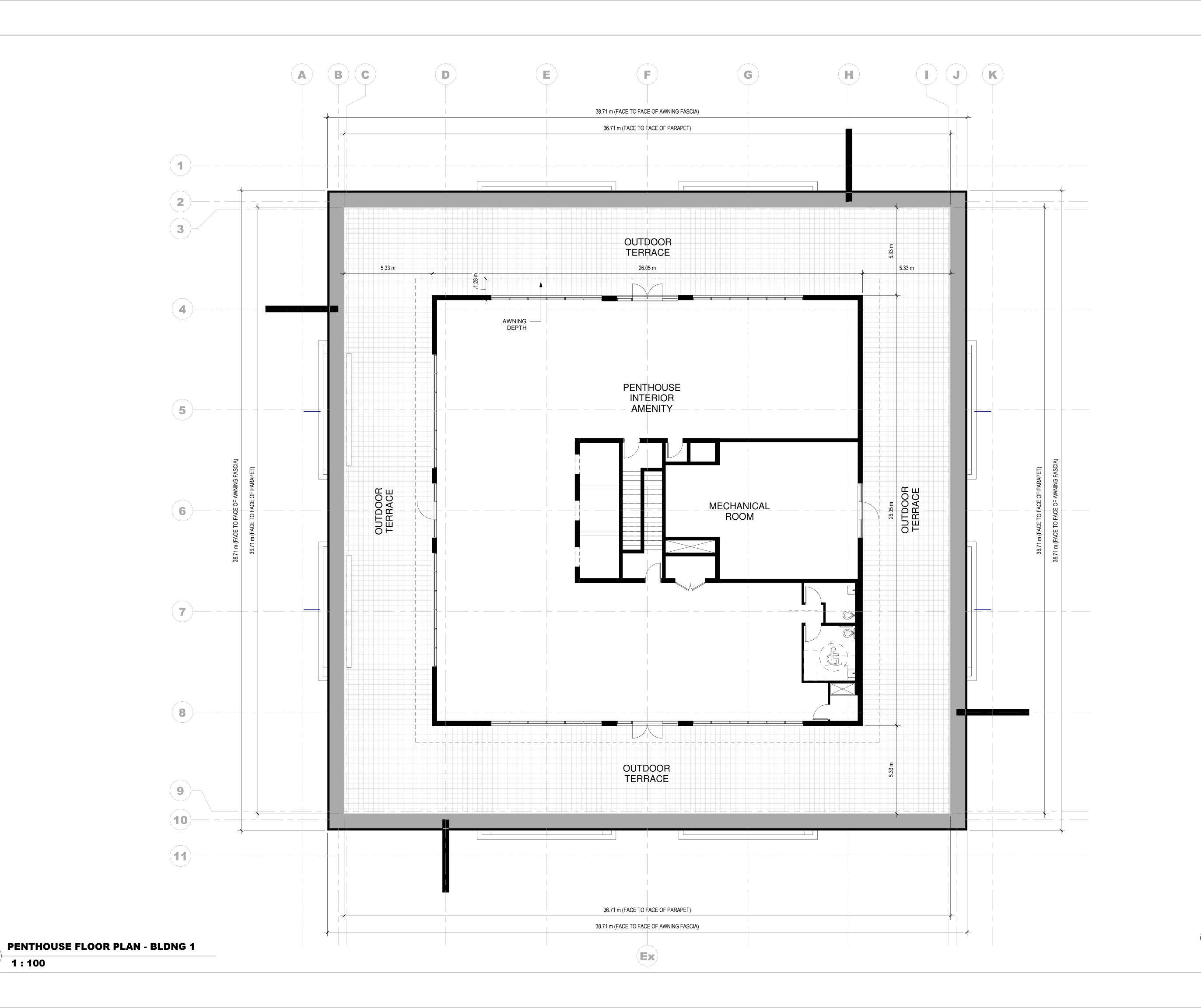
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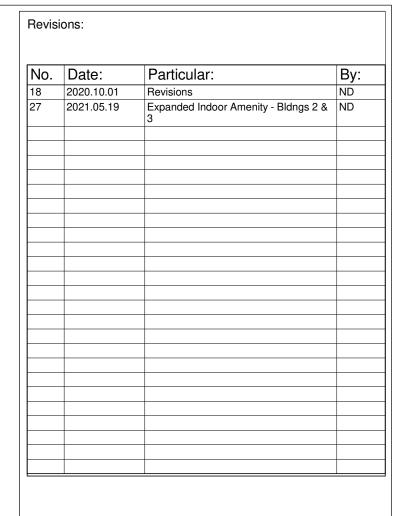




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#### Drawing Issue:

Date:	Particular:	By:
2020.03.03	SITE COORDINATION SET	ND
2020.05.13	SITE PLAN SUBMISSION SET	ND
2021.07.12	SITE PLAN RE-SUBMISSION SET (COORDINATION SET)	ND
2022.04.06	SITE PLAN SUBMISSION SET	ND
2022.10.27	SITE PLAN SUBMISSION SET	ND



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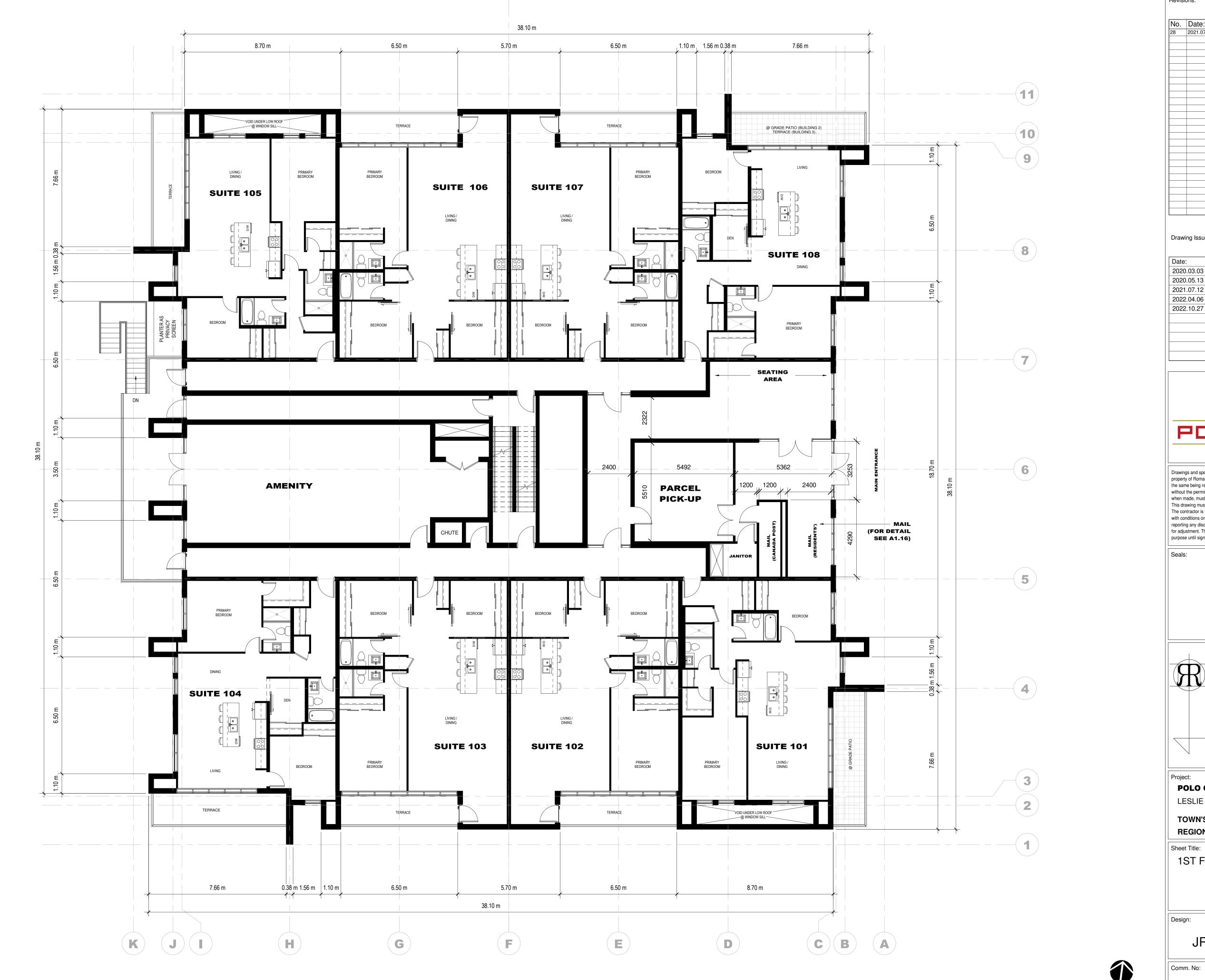
LESLIE ST. AURORA

TOWN'S FILE #: SP-2020-06 REGION'S FILE #: SP.20.A.0124

Sheet Title:

MECH./ELEC. PENTHOUSE PLAN, BLDNG 1

Comm. No:



1ST FLOOR - BLDNG 2

1:100

No. Date: Particular: 28 2021.07.13 Revisions to Plans

#### Drawing Issue:

Date:	Particular:	Ву:
2020.03.03	SITE COORDINATION SET	ND
2020.05.13	SITE PLAN SUBMISSION SET	ND
2021.07.12	SITE PLAN RE-SUBMISSION SET (COORDINATION SET)	ND
2022.04.06	SITE PLAN SUBMISSION SET	ND
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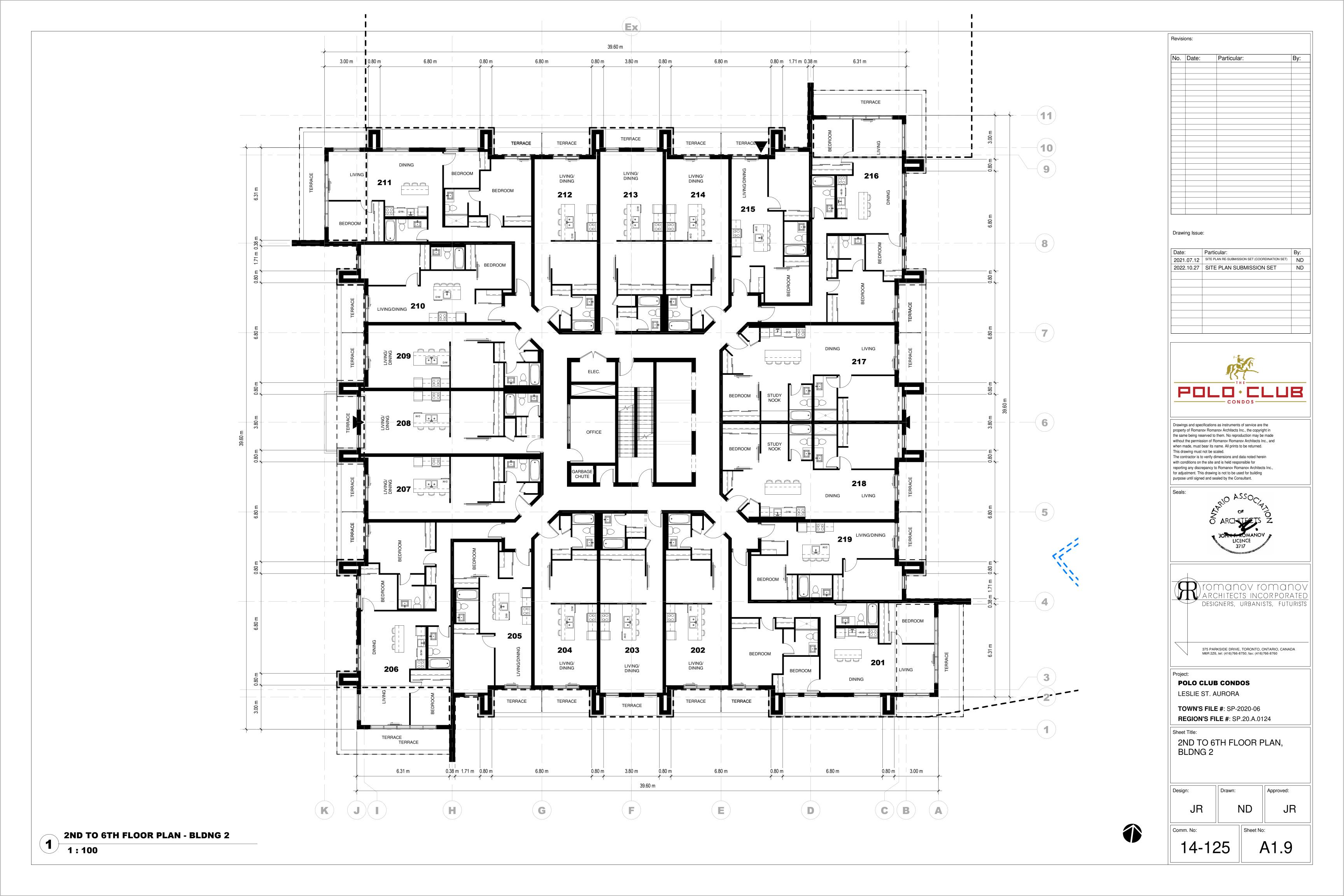
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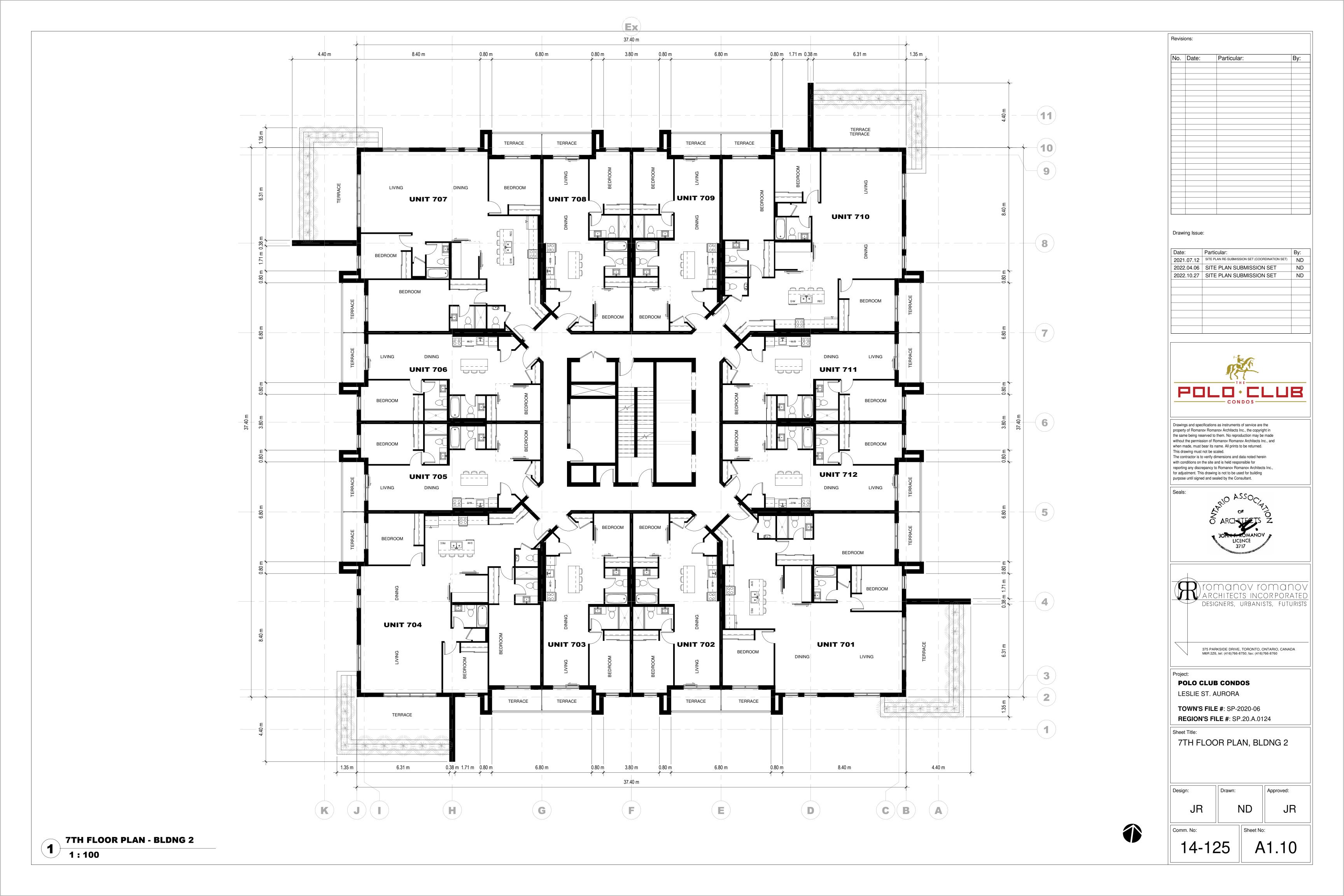
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Approved:

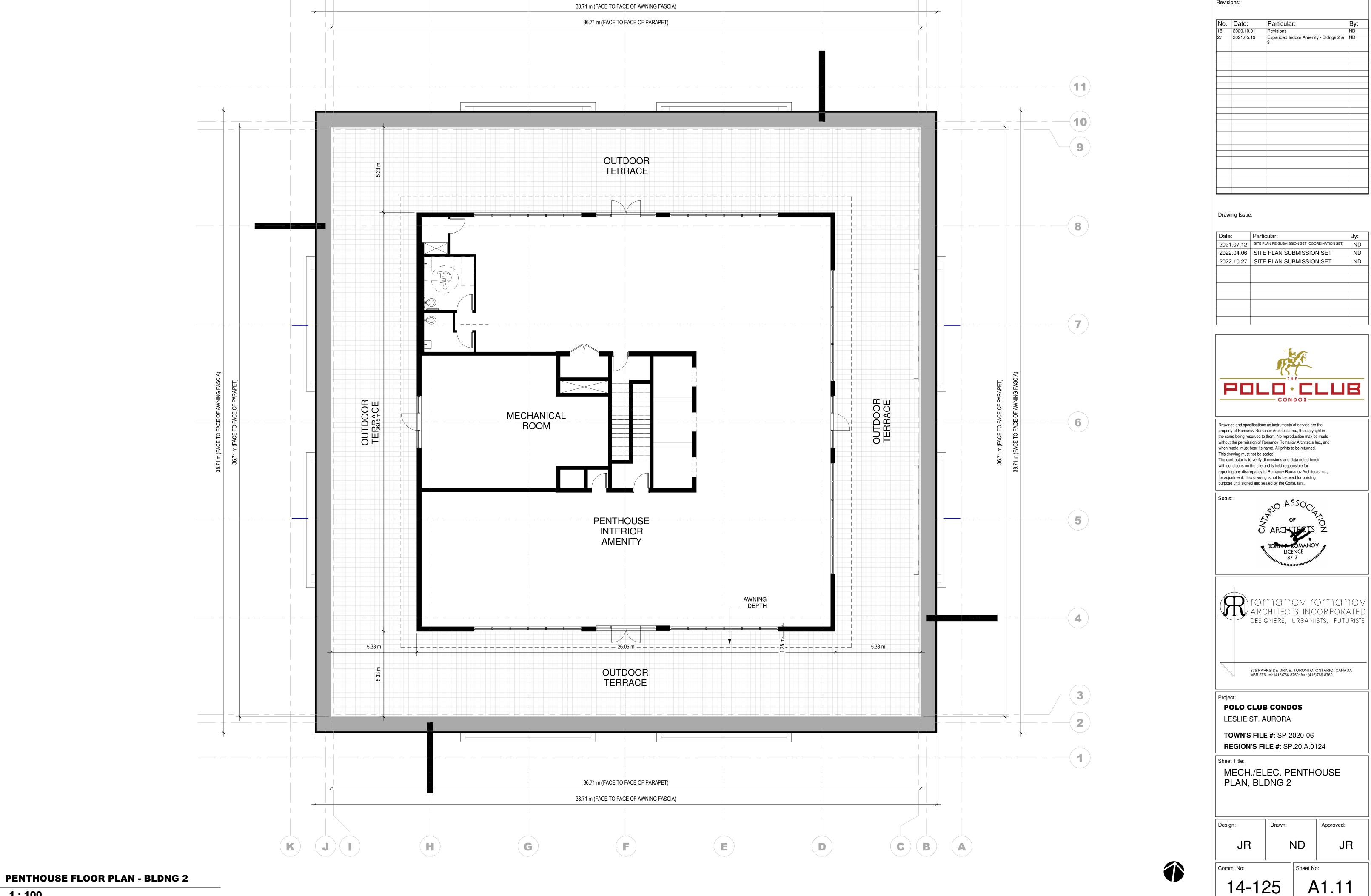
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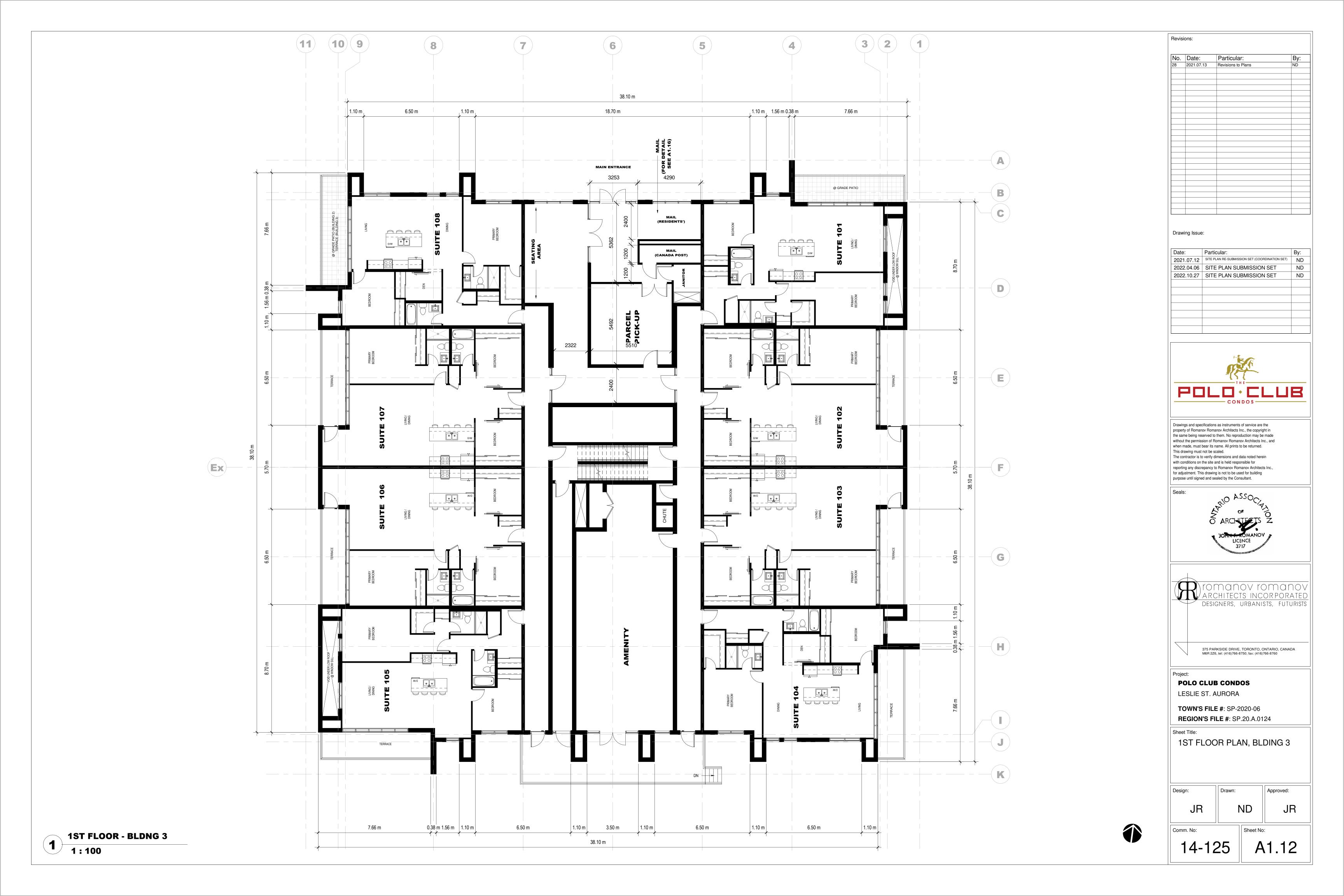
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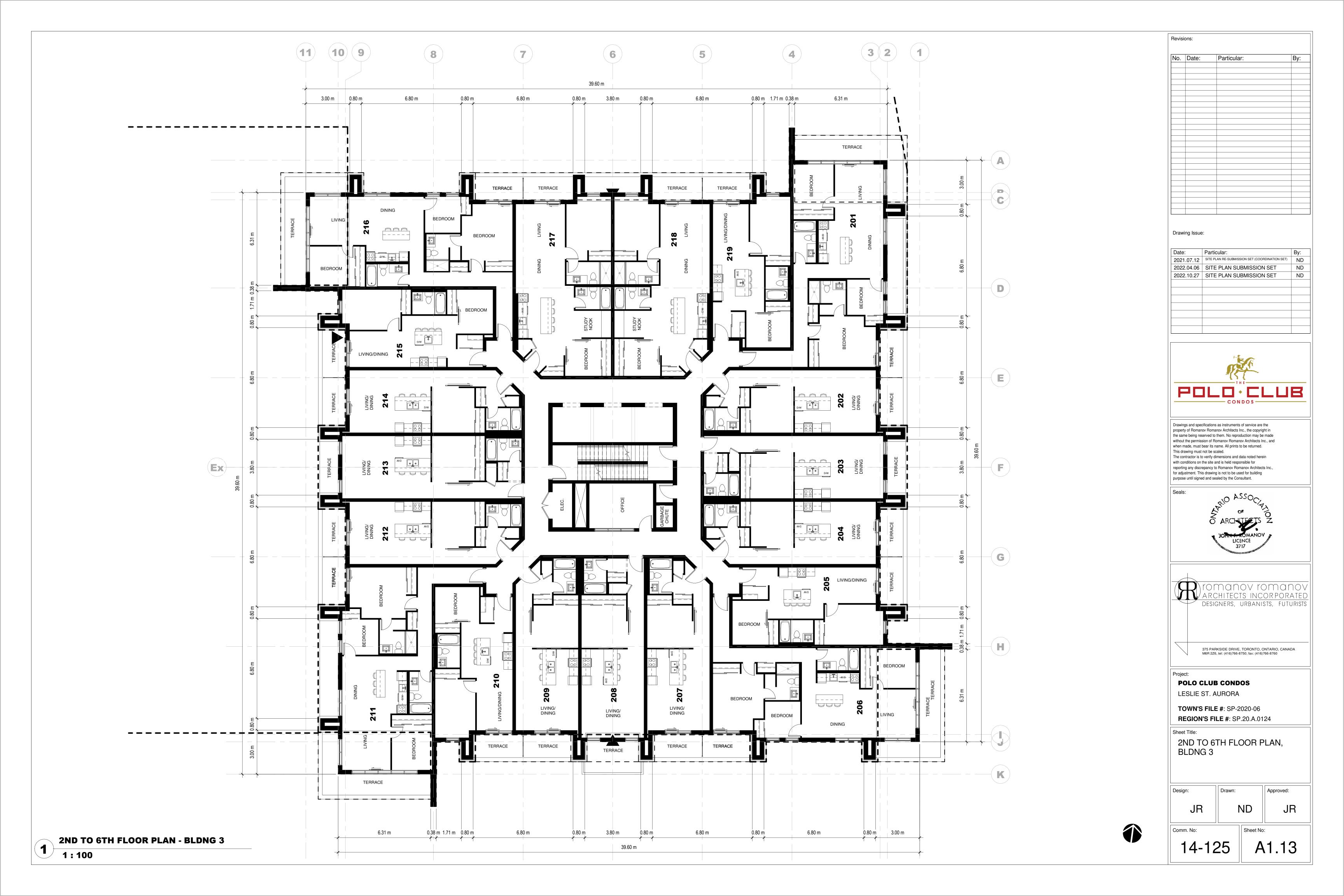


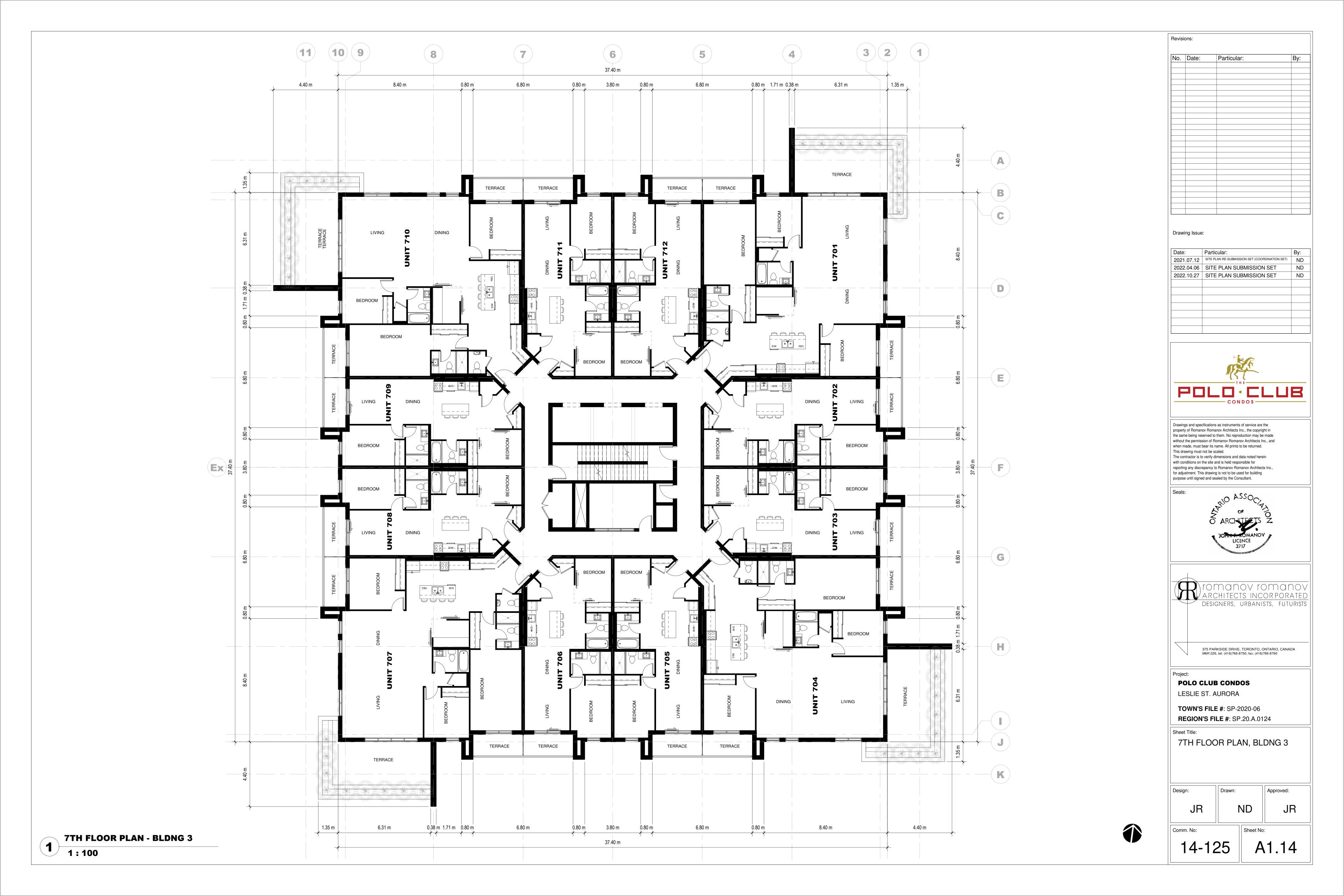


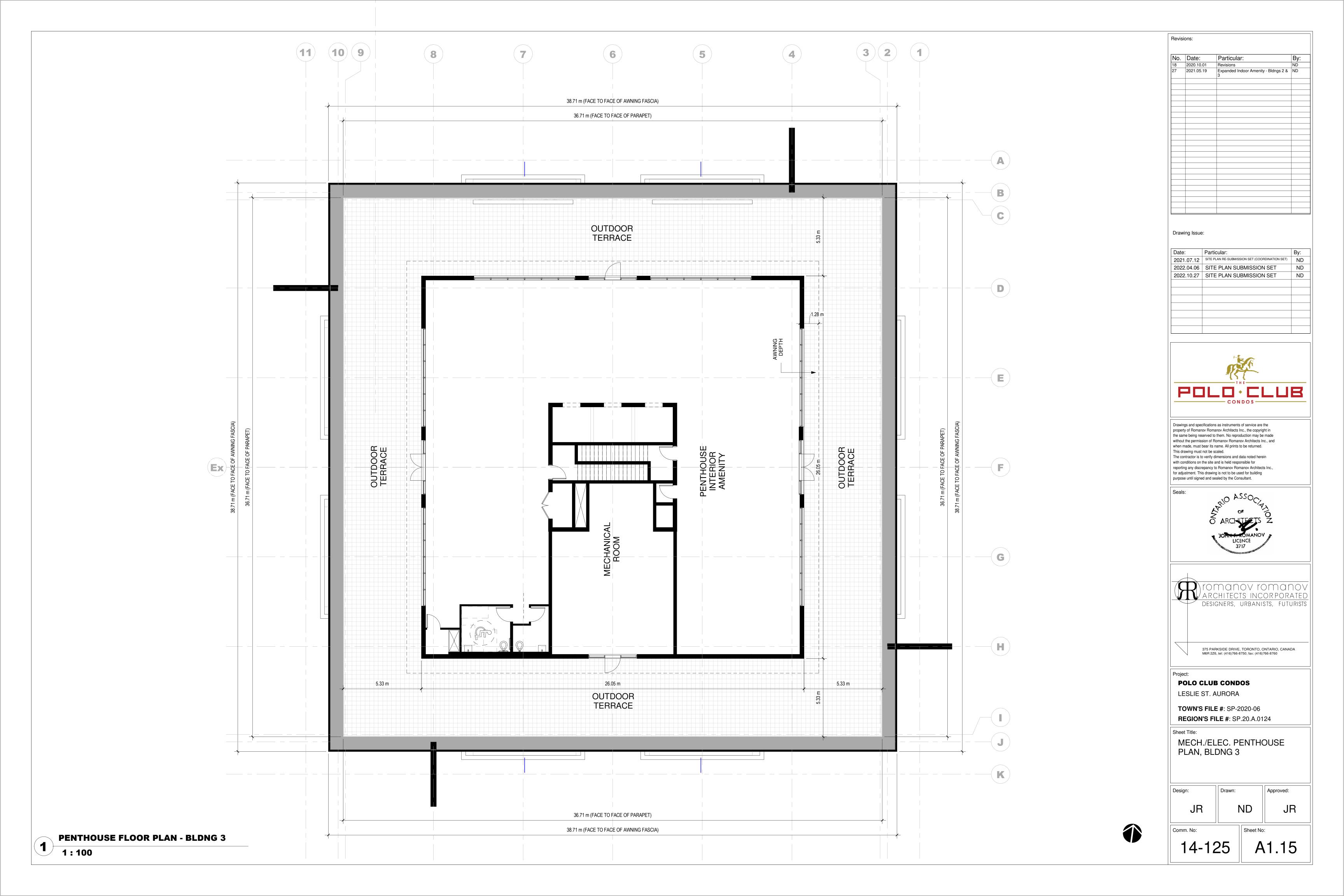
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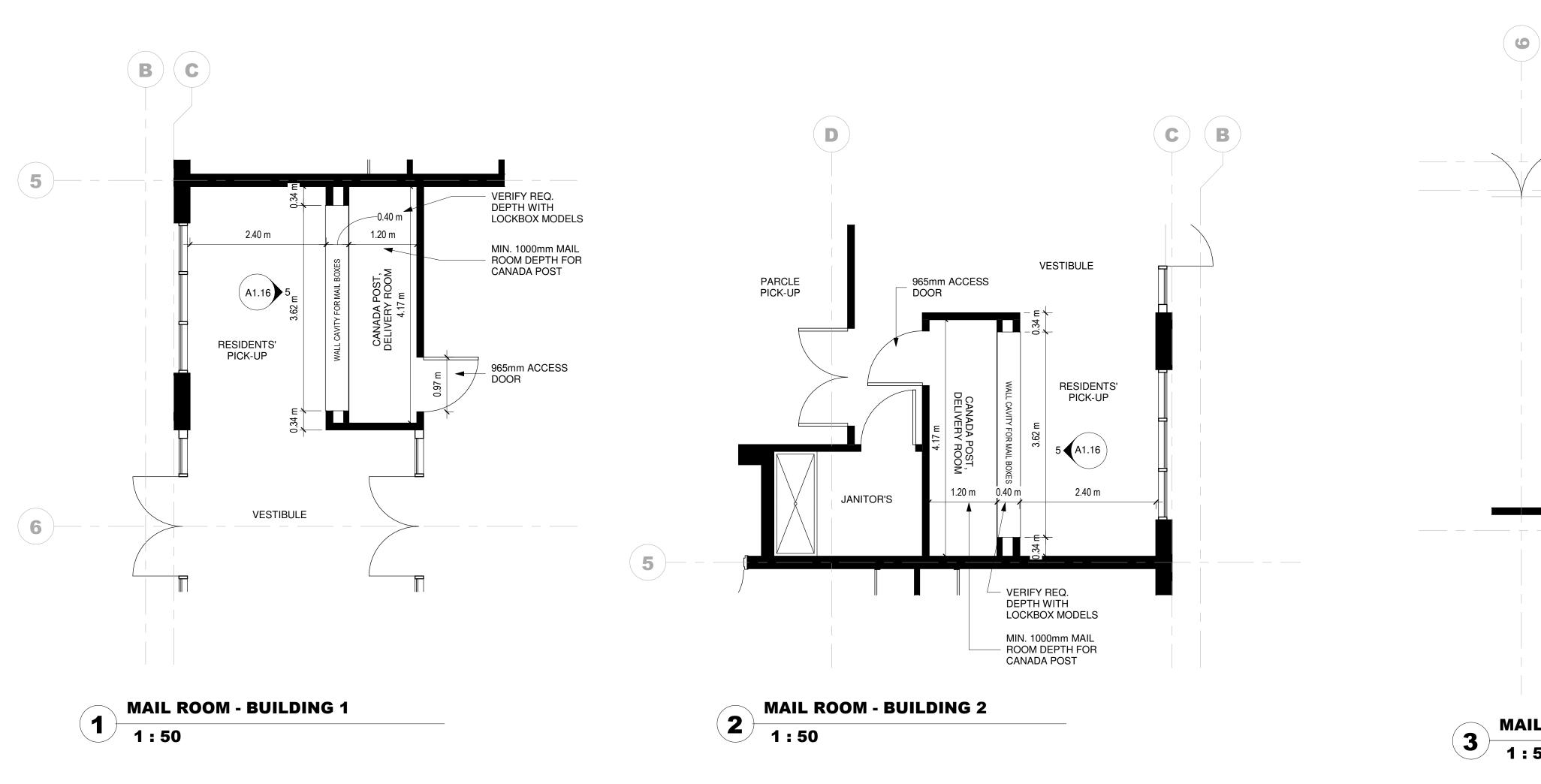


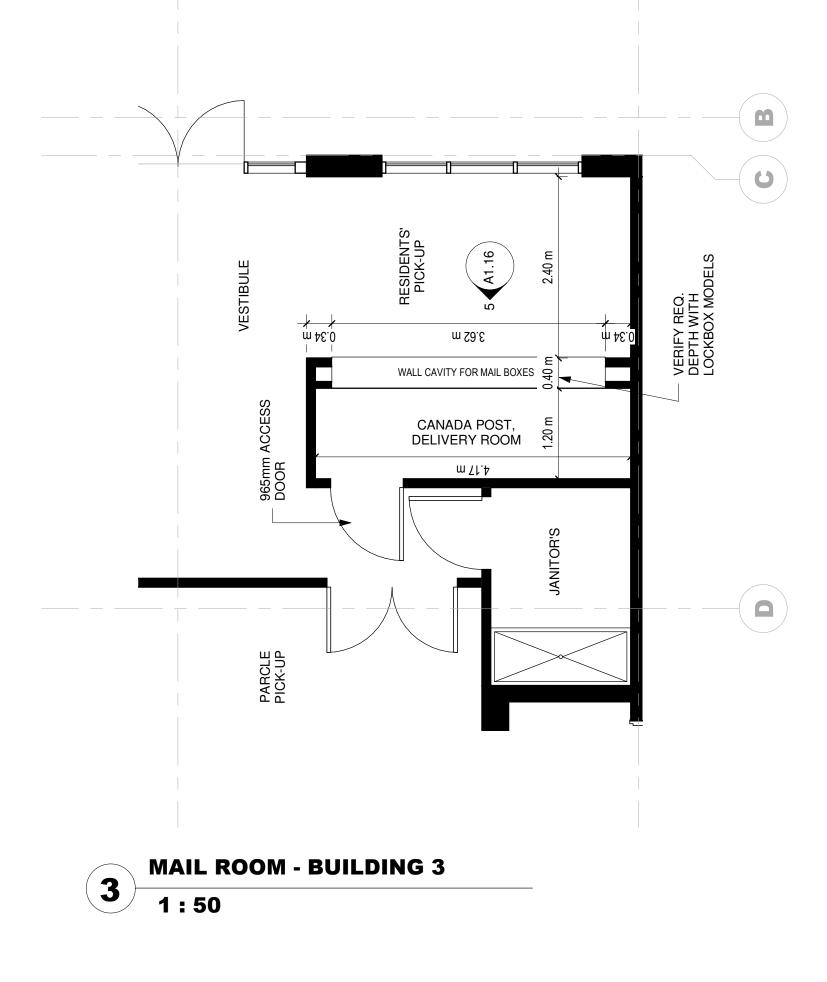


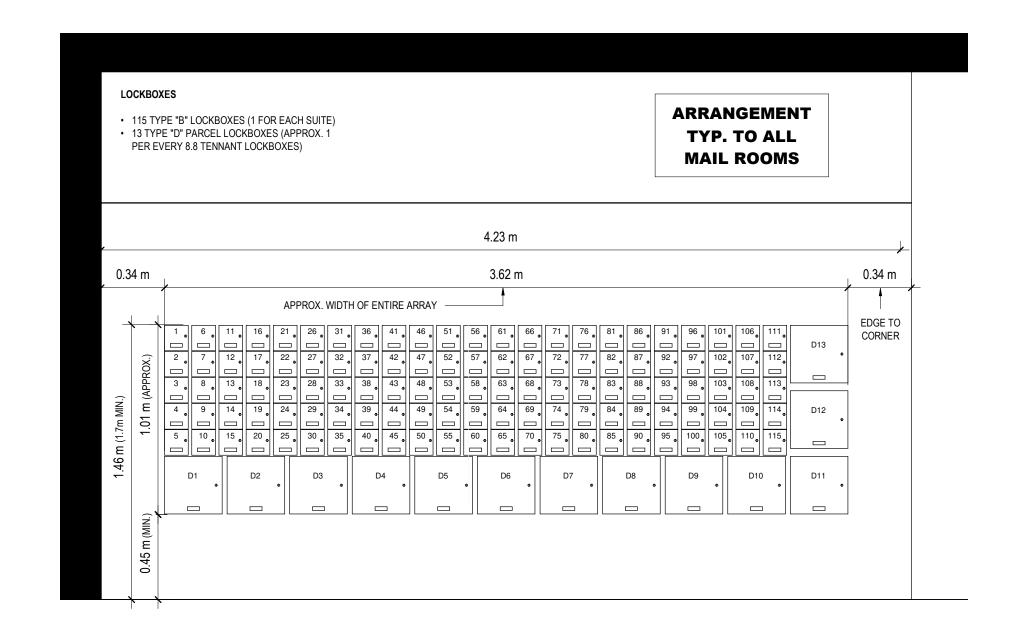














"B" SIZE

PERSONAL COMPARTMENTS FOR RESIDENTS
THESE ARE MINIMUM SIZE REQUIREMENTS
REAR-LOADING
350 mm DEPTH (MIN.)

"D" SIZE

COMMUNITY PARCEL COMPARTMENTS
THESE ARE MINIMUM SIZE REQUIREMENTS
THESE ARE MINIMUM SIZE REQUIREMENTS
REAR-LOADING
350 mm DEPTH (MIN.)

LOCKBOX DETAILS

1:10

#### MAILROOM PARAMETERS

#### WHERE A MAILROOM FACILITY IS INSTALLED, THE MAILROOM MUST:

MEET THESE SPECIFICATIONS
BE LOCATED BEHIND THE LOCKBOX SYSTEM

 BE LIT WITH A BRIGHTNESS NOT LESS THAN 100 LUX, MEASURED 75 CM ABOVE THE FLOOR, WITHOUT IMPEDIMENTS OR OBSTRUCTIONS THAT WOULD REDUCE LIGHTING OR VISIBILITY OF SUITE NUMBERS OR CREATE ANY OTHER UNSAFE CONDITIONS (FOR EXAMPLE, SUSPENDED VENTILATION DUCTS, PIPES ABOVE THE FLOOR AND PIPES OR DUCTS RUNNING ALONG WALLS, PIPES IN FRONT OF THE MAILBOXES, HOT PIPES OR DUCTS OR DEBRIS AROUND THE MAILBOXES)

BE ADEQUATELY VENTILATEDBE OF SUFFICIENT SIZE TO ALLOW:

MAIL-DISPATCHING FACILITY

- 1. A MINIMUM WORKING SPACE BEHIND THE BOXES OF 100 CM IN WIDTH
- ALONG THE LENGTH OF THE GROUP LOCKBOX SYSTEM

  2. SUCH ADDITIONAL WORKING SPACE AS DETERMINED BY YOUR
  DELIVERY PLANNER, WHERE THE PROCESSING OR TEMPORARY
  STORAGE OF MAIL TAKES PLACE WITHIN THE MAILROOM, OR WHERE
  THE MAILROOM IS APPROVED BY YOUR DELIVERY PLANNER AS A
- HAVE DOORS EQUIPPED WITH A HIGH-SECURITY DEADBOLT LOCK PURCHASED FROM YOUR LOCAL AUTHORIZED DEALER; CONSULT YOUR DELIVERY PLANNER

CONSTRUCTION OF MAILROOM ACCESS DOORS MUST:

- ALLOW A MINIMUM HEIGHT OF 203 CM THROUGHOUT, WITHOUT OBSTRUCTIONS THAT MAY IMPEDE THE WORK OF DELIVERY PERSONNEL (FOR EXAMPLE, SUSPENDED VENTILATION DUCTS, PIPES ABOVE THE FLOOR AND PIPES OR DUCTS RUNNING ALONG THE WALLS, PIPES IN FRONT OF THE MAILBOXES, HOT PIPES OR DUCTS)
   ALLOW A MINIMUM WIDTH OF 81 CM
- HAVE A SOLID CORE; TEMPERED GLASS SHOULD BE A MINIMUM OF 6 MM THICK WITH A SAFETY FILM OR WIRES

YOUR DELIVERY PLANNER MUST REVIEW THE PLAN FOR THE MAILROOM.

No.	Date:	Particular:	B

Drawing Issue:

Date:	Particular:	By:
2021.07.12	SITE PLAN RE-SUBMISSION SET (COORDINATION SET)	ND
2022.04.06	SITE PLAN SUBMISSION SET	ND
2022.10.27	SITE PLAN SUBMISSION SET	ND



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POLO CLUB CONDOS

LESLIE ST. AURORA

**TOWN'S FILE #**: SP-2020-06 **REGION'S FILE #**: SP.20.A.0124

Sheet Title:

MAIL ROOMS

Design:

Drawn:

Approved:

JR

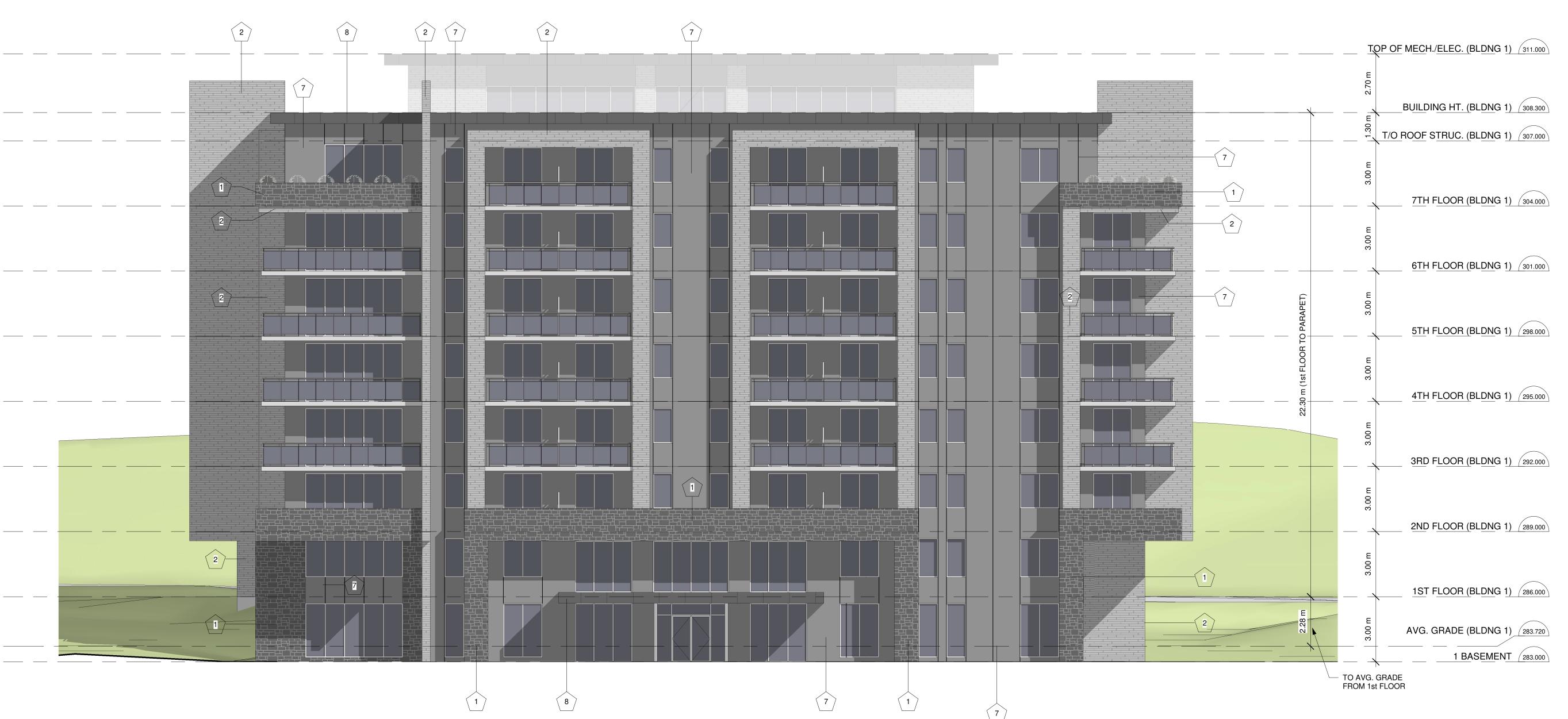
ND

JR

Comm. No:

-125 A1.16





BLDNG 1 - FRONT ELEVATION

	Materials L	egend
Mark	Description	Colour/Finish
1	Stone Veneer Texture	Grey (Building 1)
2	Horizontal Wood Cladding Texture	Grey (Building 1)
3	Stone Veneer Texture	Earth Red Tone (Building 2)
4	Horizontal Wood Cladding Texture	Earth Red Tone (Building 2)
5	Stone Veneer Texture	Sand Tone (Building 3)
6	Horizontal Wood Cladding Texture	Sand Tone (Building 3)
7	Metal Panel Finish	Mid-Grey (Common to all buildings)
8	Metal Panel Finish (fascia)	Grey (Common to all buildings)





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POLO CLUB CONDOS

LESLIE ST. AURORA

TOWN'S FILE #: SP-2020-06
REGION'S FILE #: SP.20.A.0124

Sheet Title:

FRONT ELEVATION (BLDNG 1)

Design:

Drawn:

Approved:

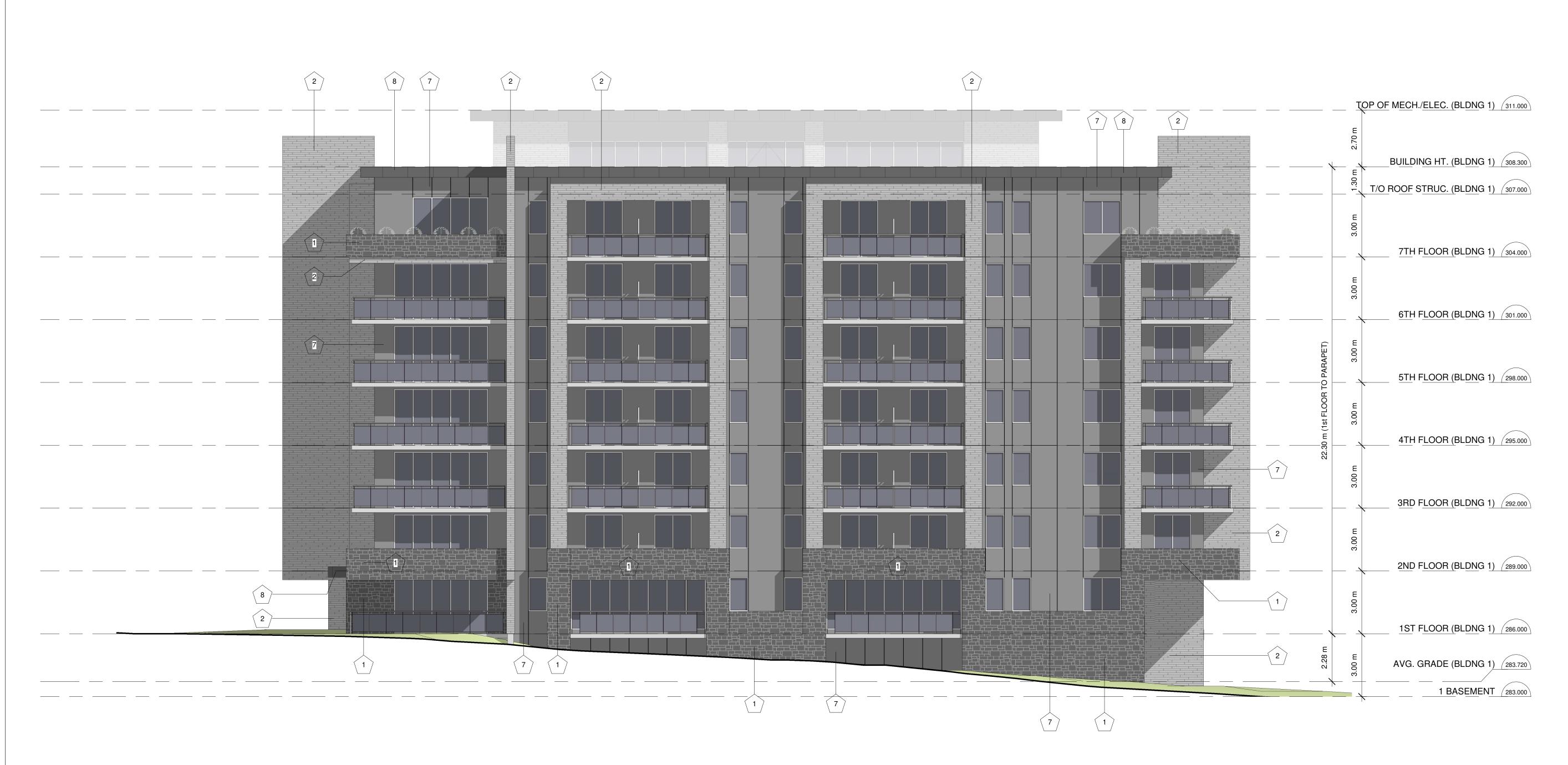
JR

ND

JR

Comm. No:

14-125 A2



**BLDNG 1 - LEFTSIDE ELEVATION** 

	Materials L	.egend
Mark	Description	Colour/Finish
1	Stone Veneer Texture	Grey (Building 1)
2	Horizontal Wood Cladding Texture	Grey (Building 1)
3	Stone Veneer Texture	Earth Red Tone (Building 2)
4	Horizontal Wood Cladding Texture	Earth Red Tone (Building 2)
5	Stone Veneer Texture	Sand Tone (Building 3)
6	Horizontal Wood Cladding Texture	Sand Tone (Building 3)
7	Metal Panel Finish	Mid-Grey (Common to all buildings)
8	Metal Panel Finish (fascia)	Grey (Common to all buildings)

No.	Date:	Particular:	Ву
13	2020.09.16	Penthouse Roof Dropped	ND
18	2020.10.01	Revisions	ND
27	2021.05.19	Expanded Indoor Amenity - Bldngs 2 & 3	ND

#### Drawing Issue:

Date:	Particular:	Ву:
2020.03.03	SITE COORDINATION SET	ND
2020.05.13	SITE PLAN SUBMISSION SET	ND
2021.07.12	SITE PLAN RE-SUBMISSION SET (COORDINATION SET)	ND
2022.04.06	SITE PLAN SUBMISSION SET	ND
2022.10.27	SITE PLAN SUBMISSION SET	ND



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POLO CLUB CONDOS

LESLIE ST. AURORA

TOWN'S FILE #: SP-2020-06

**REGION'S FILE #**: SP.20.A.0124

LEFTSIDE ELEVATION (BLDNG

Approved:

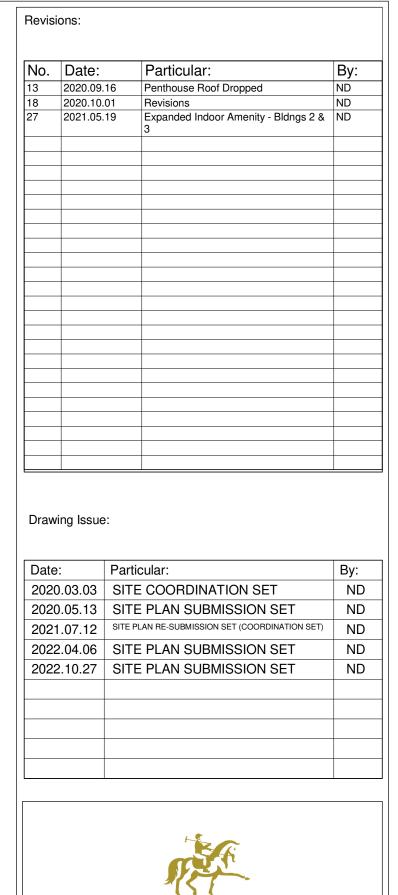
Comm. No:

Sheet Title:



**BLDNG 1 - REAR ELEVATION** 

REGION			
Sheet Title:	egend	Materials L	
REAR	Colour/Finish	Description	Mark
	Grey (Building 1)	Stone Veneer Texture	1
	Grey (Building 1)		2
	3 ( 3 )	Horizontal Wood Cladding Texture	<del>_</del>
Design:	Earth Red Tone (Building 2)	Stone Veneer Texture	3
	Earth Red Tone (Building 2)	Horizontal Wood Cladding Texture	4
∥ JR	Sand Tone (Building 3)	Stone Veneer Texture	5
Comm. No:	Sand Tone (Building 3)	Horizontal Wood Cladding Texture	6
Comm. No.	Mid-Grey (Common to all buildings)	Metal Panel Finish	7
∥ 14-	Grey (Common to all buildings)	Metal Panel Finish (fascia)	8





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**POLO CLUB CONDOS** 

TOWN'S FILE #: SP-2020-06

**REGION'S FILE #**: SP.20.A.0124

REAR ELEVATION (BLDNG 1)

Comm. No:



**BLDNG 1 - RIGHTSIDE ELEVATION** 

	Materials L	egend
Mark	Description	Colour/Finish
1	Stone Veneer Texture	Grey (Building 1)
2	Horizontal Wood Cladding Texture	Grey (Building 1)
3	Stone Veneer Texture	Earth Red Tone (Building 2)
4	Horizontal Wood Cladding Texture	Earth Red Tone (Building 2)
5	Stone Veneer Texture	Sand Tone (Building 3)
6	Horizontal Wood Cladding Texture	Sand Tone (Building 3)
7	Metal Panel Finish	Mid-Grey (Common to all buildings)
8	Metal Panel Finish (fascia)	Grey (Common to all buildings)

No.	Date:	Particular:	Ву
13	2020.09.16	Penthouse Roof Dropped	ND
18	2020.10.01	Revisions	ND
27	2021.05.19	Expanded Indoor Amenity - Bldngs 2 & 3	ND

#### Drawing Issue:

Date:	Particular:	Ву:
2020.03.03	SITE COORDINATION SET	ND
2020.05.13	SITE PLAN SUBMISSION SET	ND
2021.07.12	SITE PLAN RE-SUBMISSION SET (COORDINATION SET)	ND
2022.04.06	SITE PLAN SUBMISSION SET	ND
2022.10.27	SITE PLAN SUBMISSION SET	ND



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LESLIE ST. AURORA

TOWN'S FILE #: SP-2020-06

**REGION'S FILE #**: SP.20.A.0124

Sheet Title: RIGHTSIDE ELEVATION (BLDNG 1)

Approved:

Comm. No:

Sheet No: 14-125



BLDNG 2 - FRONT ELEVATION

	Materials Legend			
Mark	Description	Colour/Finish		
	Stone Veneer Texture	Grey (Building 1)		
2	Horizontal Wood Cladding Texture	Grey (Building 1)		
3	Stone Veneer Texture	Earth Red Tone (Building 2)		
4	Horizontal Wood Cladding Texture	Earth Red Tone (Building 2)		
5	Stone Veneer Texture	Sand Tone (Building 3)		
6	Horizontal Wood Cladding Texture	Sand Tone (Building 3)		
7	Metal Panel Finish	Mid-Grey (Common to all buildings)		
8	Metal Panel Finish (fascia)	Grey (Common to all buildings)		

No.	Date:	Particular:	Ву
13	2020.09.16	Penthouse Roof Dropped	ND
18	2020.10.01	Revisions	ND
27	2021.05.19	Expanded Indoor Amenity - Bldngs 2 & 3	ND

# Date: Particular: By: 2020.05.13 SITE PLAN SUBMISSION SET ND 2021.07.12 SITE PLAN RE-SUBMISSION SET (COORDINATION SET) ND 2022.04.06 SITE PLAN SUBMISSION SET ND 2022.10.27 SITE PLAN SUBMISSION SET ND



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Project:
POLO CLUB CONDOS

LESLIE ST. AURORA

Sheet Title:

TOWN'S FILE #: SP-2020-06

REGION'S FILE #: SP.20.A.0124

FRONT ELEVATION (BLDNG 2)

Design:

Drawn:

Approved:

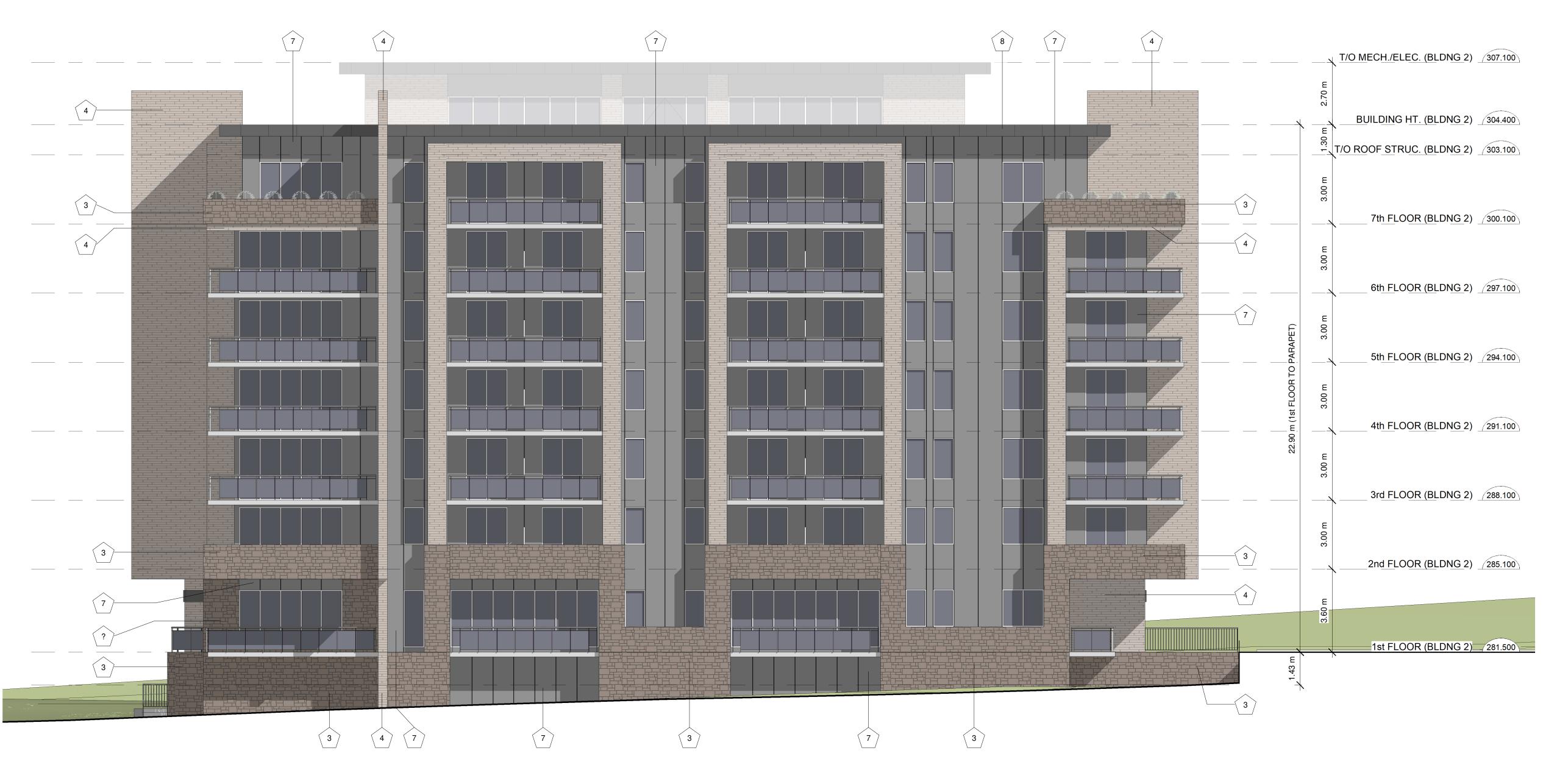
JR

ND

JR

Comm. No: Sheet No: Δ

A2.5



BLDNG 2 - LEFTSIDE ELEVATION

1 1:100

Drawing Issue: Particular: 2020.05.13 SITE PLAN SUBMISSION SET 2021.07.12 SITE PLAN RE-SUBMISSION SET (COORDINATION SET) ND 2022.04.06 SITE PLAN SUBMISSION SET 2022.10.27 SITE PLAN SUBMISSION SET POLO\*CLUB Drawings and specifications as instruments of service are the property of Romanov Romanov Architects Inc., the copyright in the same being reserved to them. No reproduction may be made without the permission of Romanov Romanov Architects Inc., and when made, must bear its name. All prints to be returned. This drawing must not be scaled. The contractor is to verify dimensions and data noted herein with conditions on the site and is held responsible for for adjustment. This drawing is not to be used for building purpose until signed and sealed by the Consultant. romanov romanov Architects incorporated Designers, urbanists, futurists 375 PARKSIDE DRIVE, TORONTO, ONTARIO, CANADA M6R 2Z6, tel: (416)766-8750; fax: (416)766-8760

No. Date:

Particular:

 18
 2020.10.01
 Revisions
 ND

 27
 2021.05.19
 Expanded Indoor Amenity - Bldngs 2 & ND

13 2020.09.16 Penthouse Roof Dropped

TOWN'S FILE #: SP-2020-06 **REGION'S FILE #**: SP.20.A.0124

Colour/Finish

Grey (Building 1)

Grey (Building 1)

Earth Red Tone (Building 2)

Earth Red Tone (Building 2)

Mid-Grey (Common to all buildings)

Grey (Common to all buildings)

Sand Tone (Building 3)

Sand Tone (Building 3)

Materials Legend

Description

Horizontal Wood Cladding Texture

Horizontal Wood Cladding Texture

Horizontal Wood Cladding Texture

Stone Veneer Texture

Stone Veneer Texture

Stone Veneer Texture

Metal Panel Finish (fascia)

Metal Panel Finish

Mark

Sheet Title: LEFTSIDE ELEVATION (BLDNG

**POLO CLUB CONDOS** 

LESLIE ST. AURORA

Approved:

Sheet No:

Comm. No: 14-125

A2.6



1 : 100

BLDNG 2 - REAR ELEVATION
1 : 100

	Materials L	egend
Mark	Description	Colour/Finish
1	Stone Veneer Texture	Grey (Building 1)
2	Horizontal Wood Cladding Texture	Grey (Building 1)
3	Stone Veneer Texture	Earth Red Tone (Building 2)
4	Horizontal Wood Cladding Texture	Earth Red Tone (Building 2)
5	Stone Veneer Texture	Sand Tone (Building 3)
6	Horizontal Wood Cladding Texture	Sand Tone (Building 3)
7	Metal Panel Finish	Mid-Grey (Common to all buildings)
8	Metal Panel Finish (fascia)	Grey (Common to all buildings)

No.	Date:	Particular:	Ву
13	2020.09.16	Penthouse Roof Dropped	ND
18	2020.10.01	Revisions	ND
27	2021.05.19	Expanded Indoor Amenity - Bldngs 2 & 3	ND

#### Drawing Issue:

Date:	Particular:	Ву:
2020.05.13	SITE PLAN SUBMISSION SET	ND
2021.07.12	SITE PLAN RE-SUBMISSION SET (COORDINATION SET)	ND
2022.04.06	SITE PLAN SUBMISSION SET	ND
2022.10.27	SITE PLAN SUBMISSION SET	ND



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#### POLO CLUB CONDOS

LESLIE ST. AURORA

**TOWN'S FILE #**: SP-2020-06

**REGION'S FILE #**: SP.20.A.0124

Sheet Title:
REAR ELEVATION (BLDNG 2)

Design: Drawn: Approved:

JR ND JR

Comm. No:

A2.7



BLDNG 2 - RIGHTSIDE ELEVATION
1:100

Mark Description  1 Stone Veneer Texture	Colour/Finish  Grey (Building 1)
1 Stone Veneer Texture	Grev (Building 1)
2 Horizontal Wood Cladding Texture	Grey (Building 1)
3 Stone Veneer Texture	Earth Red Tone (Building 2)
4 Horizontal Wood Cladding Texture	Earth Red Tone (Building 2)
5 Stone Veneer Texture	Sand Tone (Building 3)
6 Horizontal Wood Cladding Texture	Sand Tone (Building 3)
7 Metal Panel Finish	Mid-Grey (Common to all buildings)
8 Metal Panel Finish (fascia)	Grey (Common to all buildings)

No.	Date:	Particular:	Ву
13	2020.09.16	Penthouse Roof Dropped	ND
18	2020.10.01	Revisions	ND
27	2021.05.19	Expanded Indoor Amenity - Bldngs 2 & 3	ND
			+

#### Drawing Issue:

Revisions:

Date:	Particular:	Ву:
2020.05.13	SITE PLAN SUBMISSION SET	ND
2021.07.12	SITE PLAN RE-SUBMISSION SET (COORDINATION SET)	ND
2022.04.06	SITE PLAN SUBMISSION SET	ND
2022.10.27	SITE PLAN SUBMISSION SET	ND



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LESLIE ST. AURORA

TOWN'S FILE #: SP-2020-06 REGION'S FILE #: SP.20.A.0124

RIGHTSIDE ELEVATION (BLDNG 2)

Design:

Drawn:

Approved:

JR

ND

JR

Comm. No:

Sheet Title:

14-125

A2.8



1:100

Revisions:

| No. | Date: | Particular: | By: | 13 | 2020.09.16 | Penthouse Roof Dropped | ND | ND | | Penthouse Roof Dropped | ND | ND | | Penthouse Roof Dropped | ND | ND | | Penthouse Roof Dropped | ND | ND | | Penthouse Roof Dropped | ND | ND | | Penthouse Roof Dropped | ND | ND | | Penthouse Roof Dropped | ND | ND | | Penthouse Roof Dropped | ND | ND | | Penthouse Roof Dropped | ND | ND | Penthouse Roof Dropped | ND | Penthouse Roof Drop

Date: Particular: By:

2020.05.13 SITE PLAN SUBMISSION SET ND

2021.07.12 SITE PLAN RE-SUBMISSION SET (COORDINATION SET) ND

2022.04.06 SITE PLAN SUBMISSION SET ND

2022.10.27 SITE PLAN SUBMISSION SET ND



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POLO CLUB CONDOS

LESLIE ST. AURORA

**TOWN'S FILE #**: SP-2020-06 **REGION'S FILE #**: SP.20.A.0124

Sheet Title:

Materials Legend

Description

Horizontal Wood Cladding Texture

Horizontal Wood Cladding Texture

Horizontal Wood Cladding Texture

Stone Veneer Texture

Stone Veneer Texture

Stone Veneer Texture

Metal Panel Finish (fascia)

Metal Panel Finish

Colour/Finish

Grey (Building 1)

Grey (Building 1)

Earth Red Tone (Building 2)

Earth Red Tone (Building 2)

Mid-Grey (Common to all buildings)

Grey (Common to all buildings)

Sand Tone (Building 3)

Sand Tone (Building 3)

Mark

FRONT ELEVATION (BLDNG 3)

Design:

Drawn:

Approved:

JR

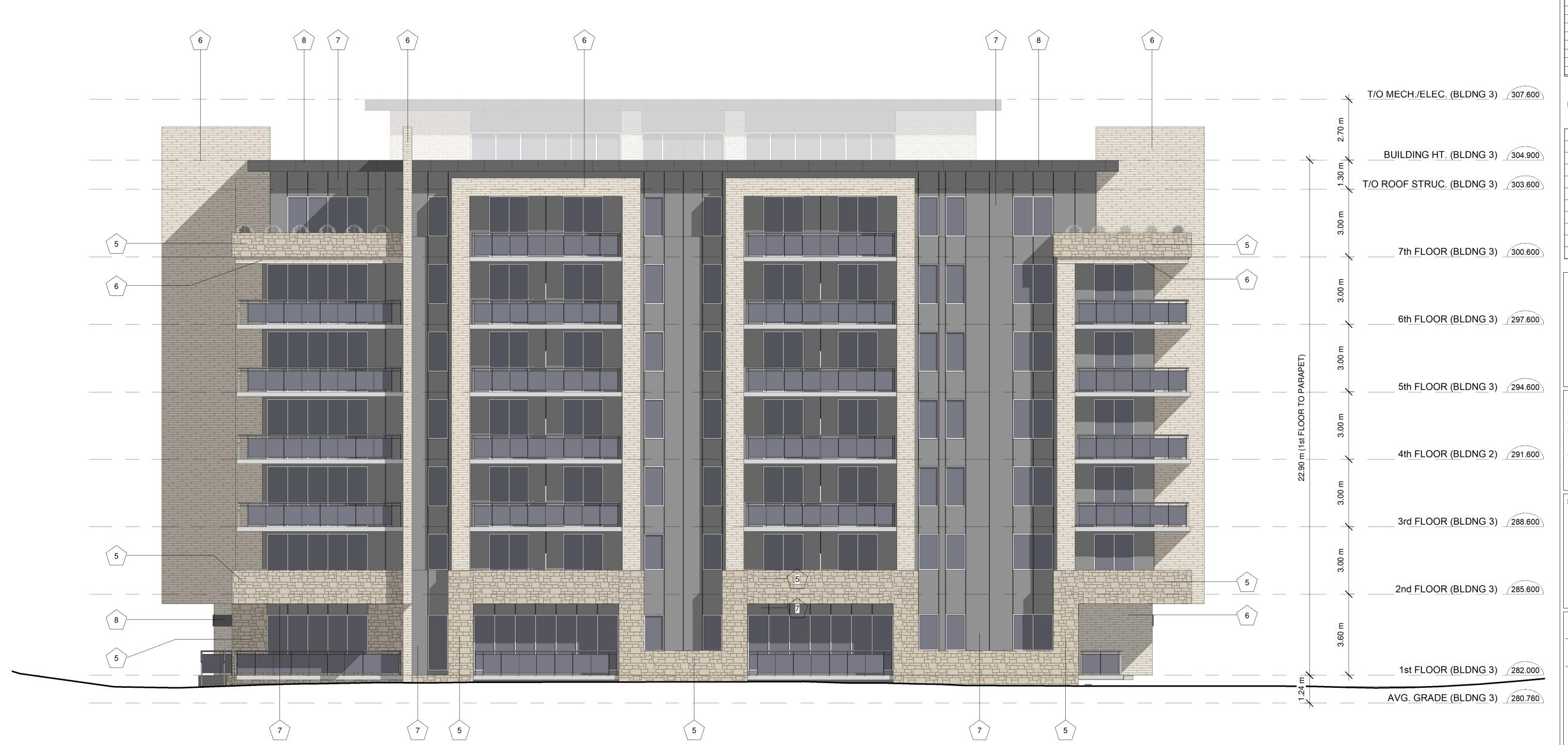
ND

JR

Comm. No:

Sheet No:

14-125 | A2.9



BLDNG 3 - LEFTSIDE ELEVATION
1:100

Materials Legend				
Mark	Description	Colour/Finish		
1	Stone Veneer Texture	Grey (Building 1)		
2	Horizontal Wood Cladding Texture	Grey (Building 1)		
3	Stone Veneer Texture	Earth Red Tone (Building 2)		
4	Horizontal Wood Cladding Texture	Earth Red Tone (Building 2)		
5	Stone Veneer Texture	Sand Tone (Building 3)		
6	Horizontal Wood Cladding Texture	Sand Tone (Building 3)		
7	Metal Panel Finish	Mid-Grey (Common to all buildings)		
8	Metal Panel Finish (fascia)	Grey (Common to all buildings)		

No. Date: Particular: By:
13 2020.09.16 Penthouse Roof Dropped ND
18 2020.10.01 Revisions ND
27 2021.05.19 Expanded Indoor Amenity - Bidngs 2 & ND
3

Drawing Issue:

ate:	Particular:	By:
020.05.13	SITE PLAN SUBMISSION SET	ND
021.07.12	SITE PLAN RE-SUBMISSION SET (COORDINATION SET)	ND
022.04.06	SITE PLAN SUBMISSION SET	ND
022.10.27	SITE PLAN SUBMISSION SET	ND



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POLO CLUB CONDOS

LESLIE ST. AURORA

TOWN'S FILE #: SP-2020-06 REGION'S FILE #: SP.20.A.0124

Sheet Title:

LEFTSIDE ELEVATION (BLDNG 3)

Design:	Drawn:	Approved:
JR	ND	JR

Comm. No:

1-125 A2.1



1 1:100

No. Date: Particular: 13 2020.09.16 Penthouse Roof Dropped 
 2020.10.01
 Revisions
 ND

 2021.05.19
 Expanded Indoor Amenity - Bldngs 2 & ND
 Drawing Issue: Particular: 2020.05.13 SITE PLAN SUBMISSION SET 2021.07.12 SITE PLAN RE-SUBMISSION SET (COORDINATION SET) ND 2022.04.06 SITE PLAN SUBMISSION SET 2022.10.27 | SITE PLAN SUBMISSION SET



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**POLO CLUB CONDOS** 

LESLIE ST. AURORA

TOWN'S FILE #: SP-2020-06

REGION'S FILE #: SP.20.A.0124 Sheet Title:

Materials Legend

Description

Stone Veneer Texture

Stone Veneer Texture

Stone Veneer Texture

Metal Panel Finish (fascia)

Metal Panel Finish

2 Horizontal Wood Cladding Texture

Horizontal Wood Cladding Texture

Horizontal Wood Cladding Texture

Colour/Finish

Grey (Building 1)

Grey (Building 1)

Earth Red Tone (Building 2)

Earth Red Tone (Building 2)

Mid-Grey (Common to all buildings)

Grey (Common to all buildings)

Sand Tone (Building 3)

Sand Tone (Building 3)

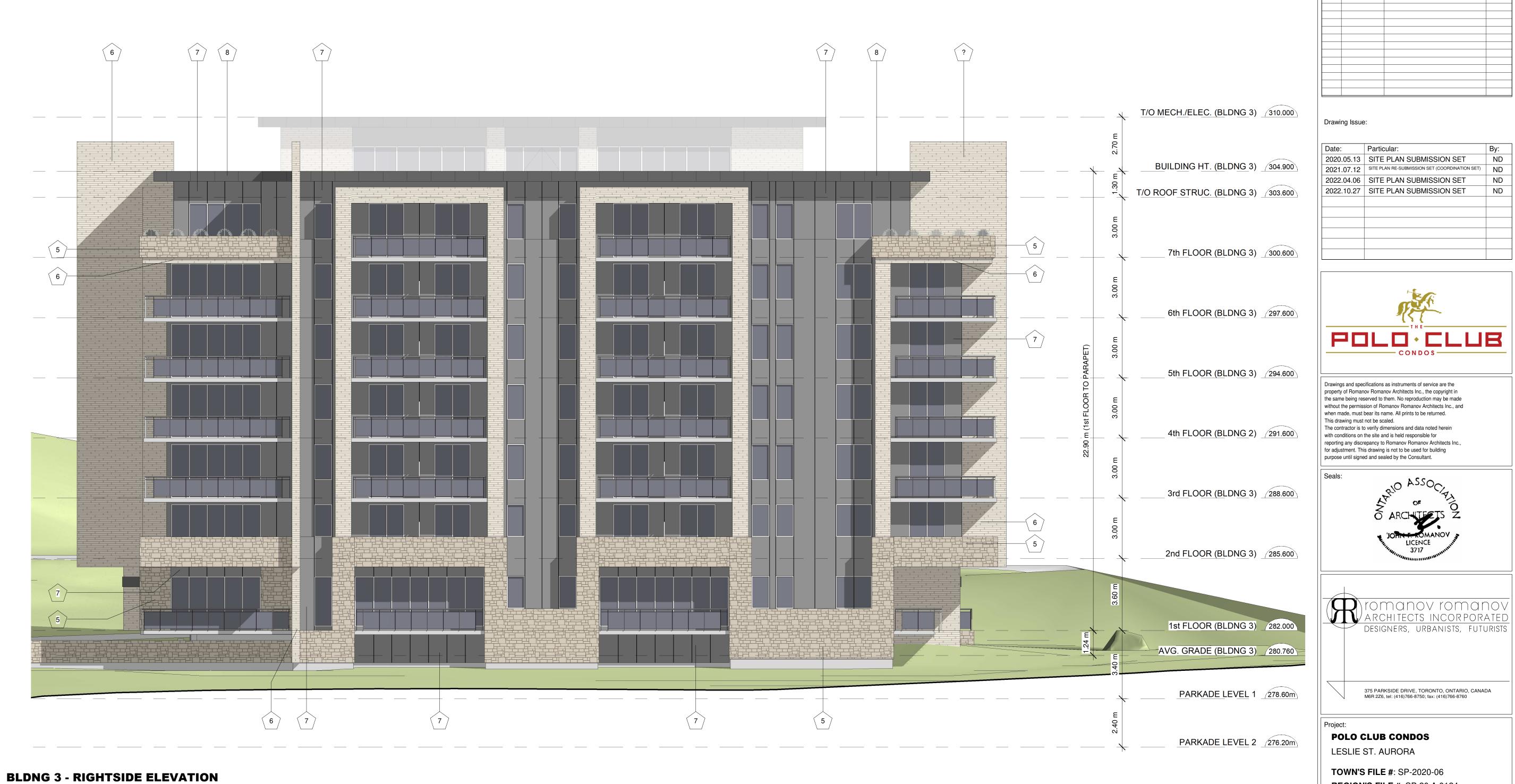
Mark

REAR ELEVATION (BLDNG 3)

Design: Approved:

Comm. No:

A2.11 14-125



**POLO CLUB CONDOS** LESLIE ST. AURORA TOWN'S FILE #: SP-2020-06 **REGION'S FILE #**: SP.20.A.0124 Sheet Title:

No. Date:

13 2020.09.16

Particular:

Particular:

Penthouse Roof Dropped

2021.05.19 Expanded Indoor Amenity - Bldngs 2 & ND

RIGHTSIDE ELEVATION (BLDNG 3)

Approved:

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Comm. No:

Materials Legend

Colour/Finish

Grey (Building 1)

Grey (Building 1)

Earth Red Tone (Building 2)

Earth Red Tone (Building 2)

Mid-Grey (Common to all buildings)

Grey (Common to all buildings)

Sand Tone (Building 3)

Sand Tone (Building 3)

Description

Horizontal Wood Cladding Texture

Horizontal Wood Cladding Texture

Horizontal Wood Cladding Texture

Stone Veneer Texture

Stone Veneer Texture

Stone Veneer Texture

Metal Panel Finish (fascia)

Metal Panel Finish

Mark

Sheet No: A2.12 14-125



ANGULAR PLANE: NORTH ELEVATION

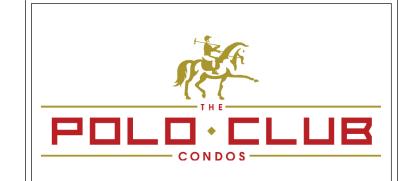


ANGULAR PLANE: FROM NORTHEAST

No.	Date:	Particular:	Ву

#### Drawing Issue:

Date:	Particular:	Ву:
2020.05.13	SITE PLAN SUBMISSION SET	ND
2021.07.12	SITE PLAN RE-SUBMISSION SET (COORDINATION SET)	ND
2022.04.06	SITE PLAN SUBMISSION SET	ND
2022.10.27	SITE PLAN SUBMISSION SET	ND



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roject:

POLO CLUB CONDOS LESLIE ST. AURORA

TOWN'S FILE #: SP-2020-06
REGION'S FILE #: SP.20.A.0124

Sheet Title:

ANGULAR PLANE STUDIES

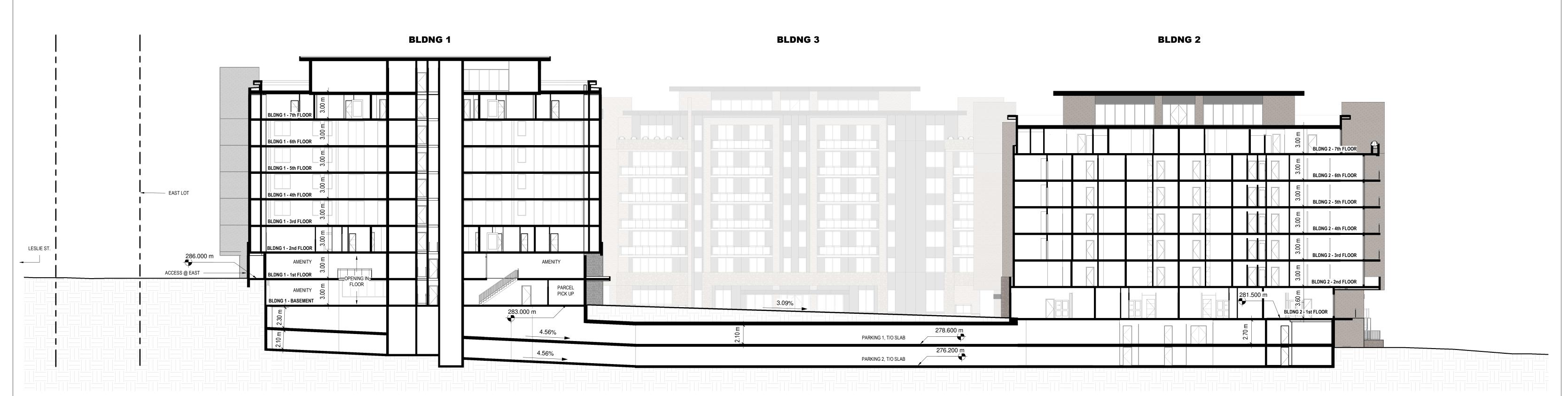
Design:

Approved:

Comm. No

14-125

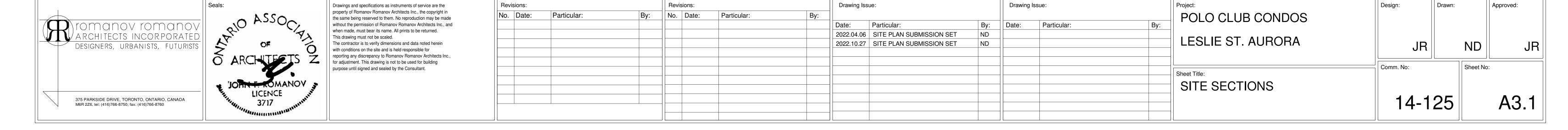
A2.13



1 : 200

BLDNG 3 **BLDNG 2** BUILDING 3 - PENTHOUSE → SOUTH ■ NORTH LOT BUILDING 3 - 6th FLOOR RAMP UP BUILDING 3 - 3rd FLOOR RAMP DOWN BUILDING 3 - 2nd FLOOR 282.000 <u>m</u> BUILDING 3 - 1st FLOOR 1.92% PARKING 1 - T/O SLAB 1.92% 276.200 m PARKING 1 - T/O SLAB

SITE SECTION N/S
1:250





No.	Date:	Particular:	By

Date:	Particular:	Ву:
2020.03.03	SITE COORDINATION SET	ND
2020.05.13	SITE PLAN SUBMISSION SET	ND
2021.07.12	SITE PLAN RE-SUBMISSION SET (COORDINATION SET)	ND
2022.04.06	SITE PLAN SUBMISSION SET	ND
2022.10.27	SITE PLAN SUBMISSION SET	ND



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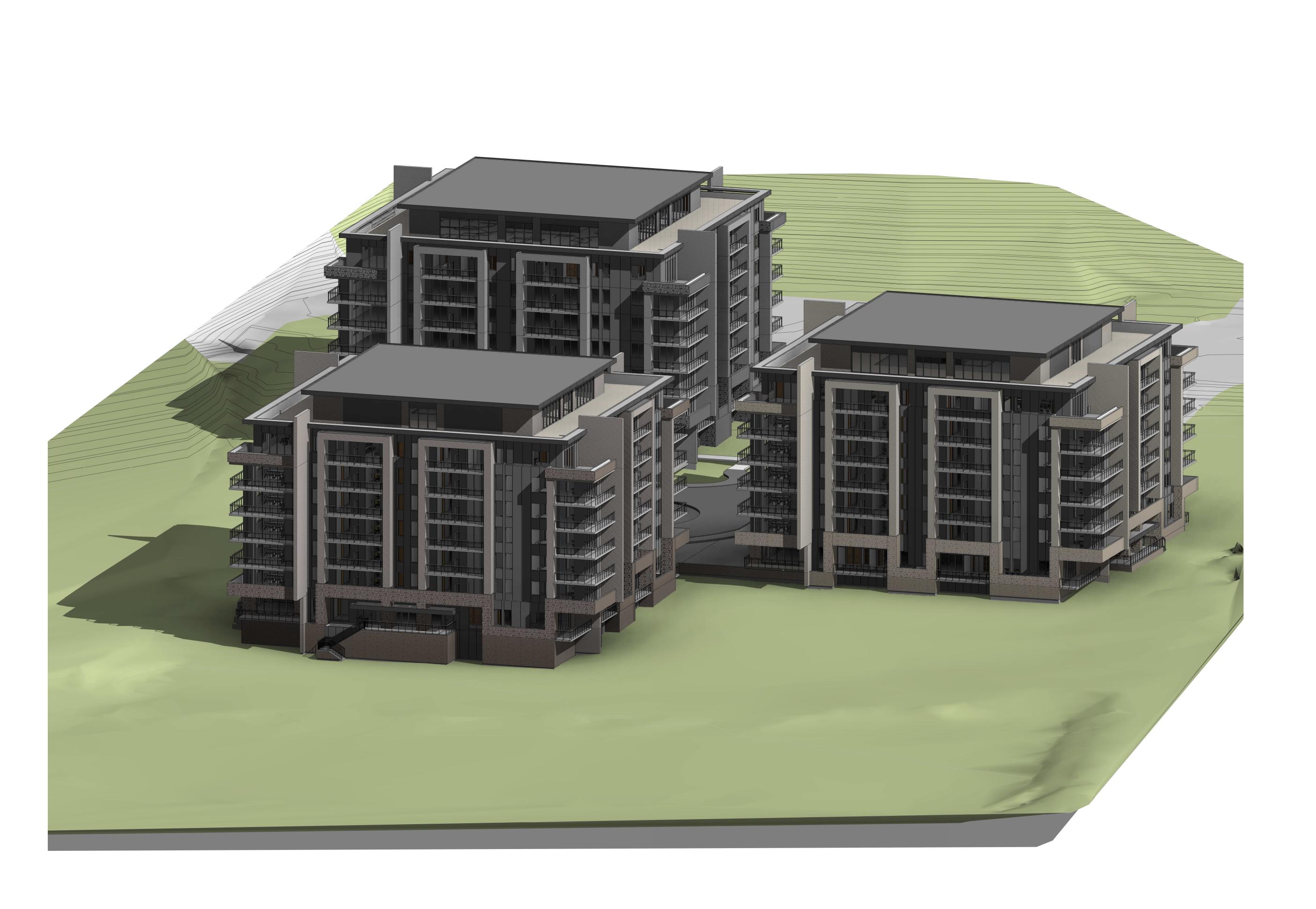
TOWN'S FILE #: SP-2020-06 REGION'S FILE #: SP.20.A.0124

Sheet Title:

3D VIEW FROM THE NORTH

Sheet No:

Comm. No:



No.	Date:	Particular:	Ву

Date:	Particular:	Ву:
2020.03.03	SITE COORDINATION SET	ND
2020.05.13	SITE PLAN SUBMISSION SET	ND
2021.07.12	SITE PLAN RE-SUBMISSION SET (COORDINATION SET)	ND
2022.04.06	SITE PLAN SUBMISSION SET	ND
2022.10.27	SITE PLAN SUBMISSION SET	ND



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TOWN'S FILE #: SP-2020-06

**REGION'S FILE #**: SP.20.A.0124

Sheet Title:

3D VIEW FROM THE WEST

Design: Drav

Comm. No:

ND

Sheet No:

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No.	Date:	Particular:	Ву

	Date:	Particular:	By:
	2020.03.03	SITE COORDINATION SET	ND
	2020.05.13	SITE PLAN SUBMISSION SET	ND
	2021.07.12	SITE PLAN RE-SUBMISSION SET (COORDINATION SET)	ND
	2022.04.06	SITE PLAN SUBMISSION SET	ND
	2022.10.27	SITE PLAN SUBMISSION SET	ND
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TOWN'S FILE #: SP-2020-06

REGION'S FILE #: SP.20.A.0124

Sheet Title:

3D VIEW FROM THE SOUTH

Comm. No:



No. Date: Particular:

#### Drawing Issue:

Date:	Particular:	Ву:
2020.03.03	SITE COORDINATION SET	ND
2020.05.13	SITE PLAN SUBMISSION SET	ND
2021.07.12	SITE PLAN RE-SUBMISSION SET (COORDINATION SET)	ND
2022.04.06	SITE PLAN SUBMISSION SET	ND
2022.10.27	SITE PLAN SUBMISSION SET	ND



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Sheet Title:

3D VIEW FROM THE EAST

Comm. No:







No.	Date:	Particular:	By

Date:	Particular:	Ву:
2021.07.12	SITE PLAN RE-SUBMISSION SET (COORDINATION SET)	ND
2022.04.06	SITE PLAN SUBMISSION SET	ND
2022.10.27	SITE PLAN SUBMISSION SET	ND



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Sheet Title:
RENDERS

Design:

Approved:

Comm. No:

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A7.5