

GROUND FLOOR PLAN

**TYPICAL BASEMENT FLOOR PLAN NOTES**

ALL CONCRETE FOOTING SHALL REST ON UNDISTURBED SOIL WITH A MIN. ALLOWABLE BEARING CAPACITY OF 150 Kpa (3000 PSF) AND BE FOUNDED A MIN. OF 4'-0" BELOW FINISHED GRADE.

CONCRETE STRENGTH FOR CONCRETE FOOTINGS SHALL BE MIN. OF 15MPa. FOR FOUND. WALLS SHALL BE 25MPa. UN AND REFER TO TYP. DETAIL.

CONCRETE STRENGTH FOR GARAGE SLAB, CONCRETE PORCHES AND STEPS SHALL BE A MIN. 32MPa. WITH 5 - 8% AIR ENTRAINMENT, UNLESS NOTED OTHERWISE.

CONCRETE STRIP FOOTING SIZE FOR 10" P. CONC. WALLS SHALL BE MIN. OF 8"x22" UNREINFORCED FOR UP TO 16'-0" JOIST SPAN.

THE ABOVE FOOTING SIZE WILL BE USED FOR FOUNDATION WALLS WHICH SUPPORT 2 STOREYS OF BRICK VENEER WALL CONSTRUCTION, 2 FLOORS AND ROOF OF LIGHT WOOD FRAME CONSTRUCTION, WITH SPAN OF SUPPORTED JOIST THAT DO NOT EXCEED 4.9m (16'-1") AT A SPECIFIED LIVE LOAD OF NOT GREATER THAN 2.4 Kpa (50 PSF).

REFER TO BASEMENT PLAN FOR FOOTING SIZES IN AREAS EXCEEDING THE ABOVE CONDITIONS.

3/4" SUB-FLOOR TO BE GLUED & NAILED (TYP.). REFER JOIST MANUFACTURER'S SPECIFICATIONS FOR ALL TECHNICAL DETAILS & LAYOUT.

ALL JOISTS UNDER CERAMIC TILES TO BE INSTALLED AS PER JOIST MANUF. SHOP DUGS.

ALL LVL'S SHALL BE 19E GRADE MICROLAM LVL OR BETTER U.S. O.

F1 = 36"x36"x16"	F2 = 24"x24"x12"
F3 = 20"x20"x12"	

ALL RETURN AIR PARTITIONS TO BE 6" - REFER TO HVAC DRAWINGS

**BRICK VENEER LINTELS**

UL1 = 3 1/2" x 3 1/2" x 1/4"	(90x90x6)	+ 2- 2" x 8" SFR
UL2 = 4" x 3 1/2" x 5/16"	(100x90x8)	+ 2- 2" x 8" SFR
UL3 = 5" x 3 1/2" x 5/16"	(125x90x8)	+ 2- 2" x 10" SFR
UL4 = 6" x 3 1/2" x 3/8"	(150x90x10)	+ 2- 2" x 12" SFR
UL5 = 6" x 4" x 3/8"	(150x100x10)	+ 2- 2" x 12" SFR
UL6 = 5" x 3 1/2" x 5/16"	(125x90x8)	+ 2- 2" x 12" SFR
UL7 = 5" x 3 1/2" x 5/16"	(125x90x8)	+ 3- 2" x 10" SFR
UL8 = 5" x 3 1/2" x 5/16"	(125x90x8)	+ 3- 2" x 12" SFR
UL9 = 6" x 4" x 5/16"	(150x100x10)	+ 3- 2" x 12" SFR

**WOOD LINTELS AND BEAMS**

WB1 = 2- 2" x 8" SFRUCE BEAM
WB2 = 3- 2" x 8" SFRUCE BEAM
WB3 = 2- 2" x 10" SFRUCE BEAM
WB4 = 3- 2" x 10" SFRUCE BEAM
WB5 = 2- 2" x 12" SFRUCE BEAM
WB6 = 3- 2" x 12" SFRUCE BEAM
WB7 = 5- 2" x 12" SFRUCE BEAM
WB8 = 4- 2" x 10" SFRUCE BEAM
WB9 = 4- 2" x 12" SFRUCE BEAM

**STEEL LINTELS**

L1 = 3 1/2" x 3 1/2" x 1/4"	(90x90x6.4)
L2 = 4" x 3 1/2" x 5/16"	(100x90x13)
L3 = 5" x 3 1/2" x 5/16"	(125x90x13)
L4 = 6" x 3 1/2" x 3/8"	(150x90x35)
L5 = 6" x 4" x 3/8"	(150x100x35)
L6 = 7" x 4" x 3/8"	(175x100x35)
L7 = 7" x 4" x 1/2"	(175x100x35)

**(LVL) BEAMS**

LVL1A = 1-1 3/4" x 7 1/4"	(1-45x84)
LVL1 = 2-1 3/4" x 7 1/4"	(2-45x84)
LVL2 = 3-1 3/4" x 7 1/4"	(3-45x84)
LVL3 = 4-1 3/4" x 7 1/4"	(4-45x84)
LVL4A = 1-1 3/4" x 9 1/2"	(1-45x125)
LVL4 = 2-1 3/4" x 9 1/2"	(2-45x125)
LVL5 = 3-1 3/4" x 9 1/2"	(3-45x125)
LVL5A = 4-1 3/4" x 9 1/2"	(4-45x125)
LVL6A = 1-1 3/4" x 11 7/8"	(1-45x300)
LVL6 = 2-1 3/4" x 11 7/8"	(2-45x300)
LVL7 = 3-1 3/4" x 11 7/8"	(3-45x300)
LVL7A = 4-1 3/4" x 11 7/8"	(4-45x300)

**COMPLIANCE PACKAGE "A1"**

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Contractor shall check all dimensions on the work and report any discrepancy to the Architectural Technologist before proceeding. Construction must conform to all applicable Codes and Requirement of Authorities having Jurisdiction.

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This drawing is not to be used for construction unless signed by the Architectural Technologist.

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2.	OCT. 1/24	REV. TILE BLOCK TO 5 STOREY BUILDING
1.	AUG. 26/24	ISSUED FOR REVIEW
NO:	DATE:	REVISION:



DRAWING TITLE:  
**EXISTING GROUND FLOOR PLAN**

**P DEL DESIGN**  
4370 Steeles Avenue West,  
Suite 203  
Woodbridge, Ontario L4L 4Y4  
T: 416 453 9985  
e-mail: peterd@pdeldesign.ca  
www.pdeldesign.ca

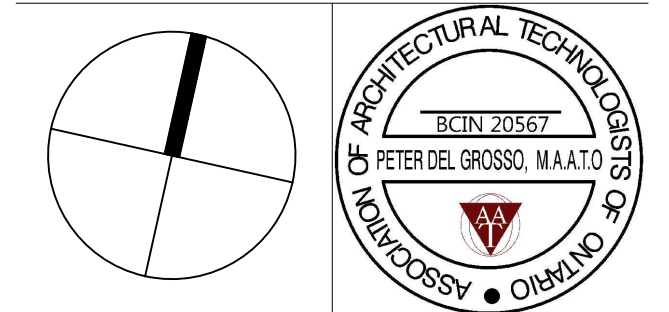
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents

**QUALIFICATION INFORMATION**  
Required unless design is exempt under  
Division C, Subsection 3.2.5 of The Building Code

PETER DEL GROSSO 20567

**REGISTRATION INFORMATION**  
Required unless design is exempt under  
Division C, Subsection 3.2.4 of The Building Code

PETER DEL GROSSO 27288



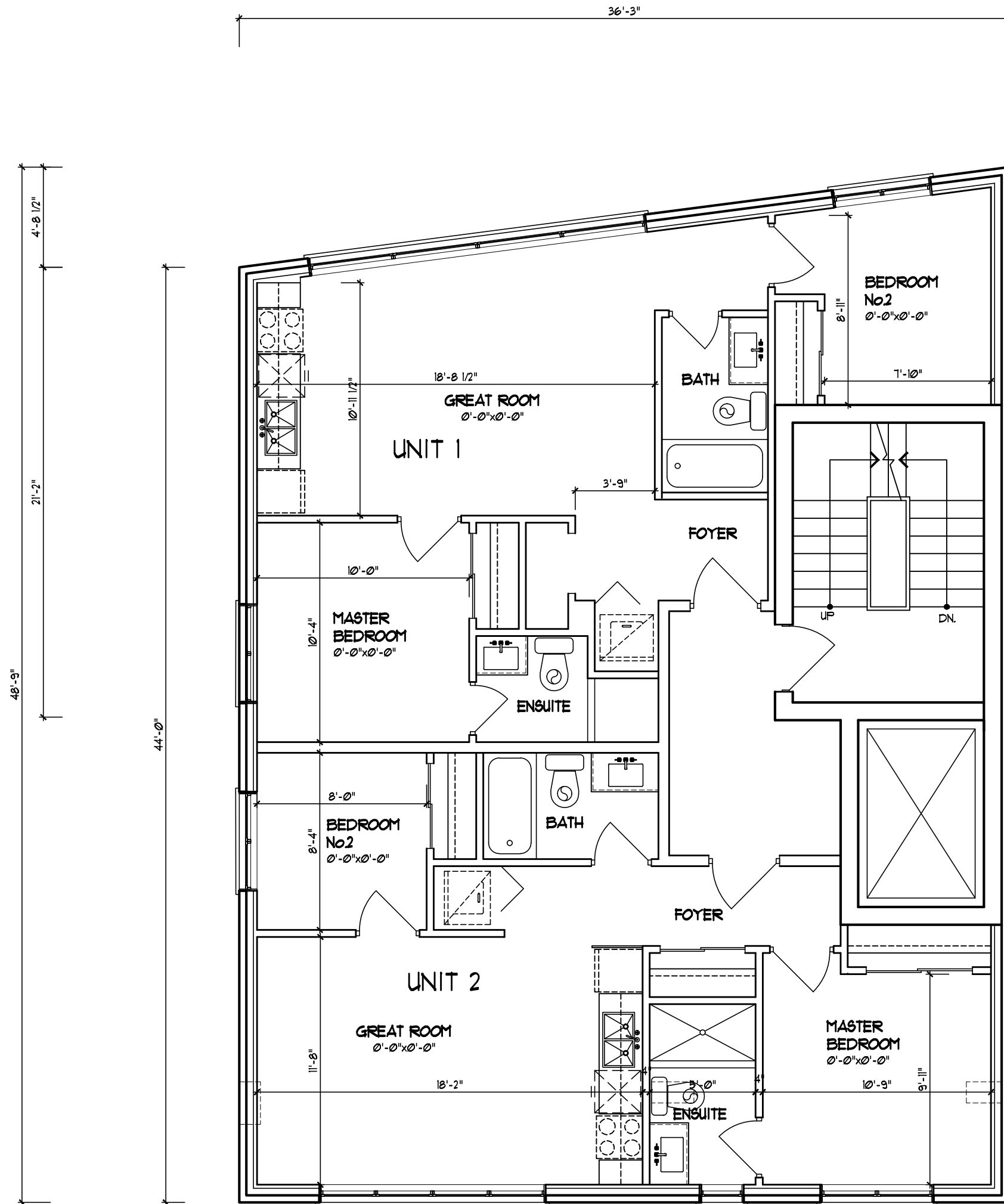
PROJECT:  
**PROPOSED 5 STOREY BUILDING**

15 TYLER STREET  
AURORA, ONTARIO

AREA: DATE: JULY 26/24  
SCALE: 3/16"=1'-0" DRAWN BY: PDG

DRAWING No.:  
**A-01**

PROJECT No.: 00-00



SECOND/THIRD FLOOR PLAN

- TYPICAL GROUND FLOOR NOTES**
- REFER JOIST MANUFACTURER'S SPECIFICATIONS FOR ALL TECHNICAL DETAILS & LAYOUT
  - 3/4" SUB-FLOOR TO BE GLUED & NAILED FOR GROUND FLOOR
  - 5/8" SUB-FLOOR FOR SECOND FLOOR (TYP.)
  - ALL JOISTS UNDER CERAMIC TILES TO BE INSTALLED AS PER JOIST MANUF. SHOP DWGS.
  - NO VOLUTE ON STAIRS RAILING
  - ALL LVL'S SHALL BE 13E GRADE MICROLLAM LVL. OR BETTER U. S. C.
- REFER TRUSS SHOP DWGS. FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS
- 10'-0" DENOTES CEILING HEIGHT
- ALL RETURN AIR PARTITIONS TO BE 6" - REFER TO HVAC DRAWINGS

**AREA CALCULATION**

UNIT 1	711	SQ. FT.
UNIT 2	677	SQ. FT.
<b>SUBTOTAL</b>	<b>1388</b>	<b>SQ. FT.</b>
	<b>128.95</b>	<b>M2</b>
DEDUCT ALL OPEN AREAS	0	SQ. FT.
<b>TOTAL NET AREA</b>	<b>1388</b>	<b>SQ. FT.</b>
	<b>128.95</b>	<b>M2</b>
COMMERCIAL AREA	465	SQ. FT.
COVERAGE GROUND FLOOR	1014	SQ. FT.
	<b>9420</b>	<b>M2</b>
COVERAGE RESIDENTIAL UNITS	1680	SQ. FT.
	<b>156.08</b>	<b>M2</b>

**COMPLIANCE PACKAGE "A1"**

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NO:	DATE:	REVISION:



DRAWING TITLE:  
**PROPOSED SECOND/THIRD FLOOR**

**P DEL DESIGN**

4370 Steeles Avenue West,  
Suite 203  
Woodbridge, Ontario L4L 4Y4  
T: 416 453 9985  
e-mail: peterd@pdeldesign.ca  
www.pdeldesign.ca

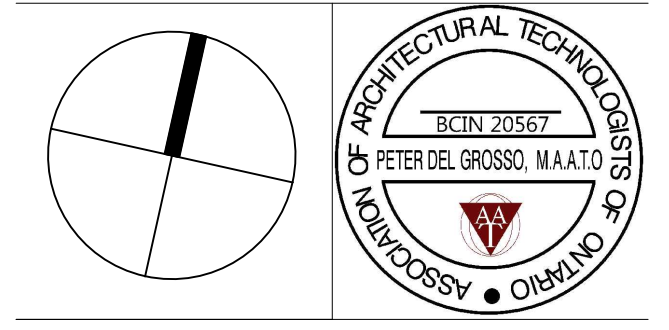
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**QUALIFICATION INFORMATION**  
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Division C, Subsection 3.2.5 of The Building Code

PETER DEL GROSSO 20567

**REGISTRATION INFORMATION**  
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Division C, Subsection 3.2.4 of The Building Code

PETER DEL GROSSO 27288



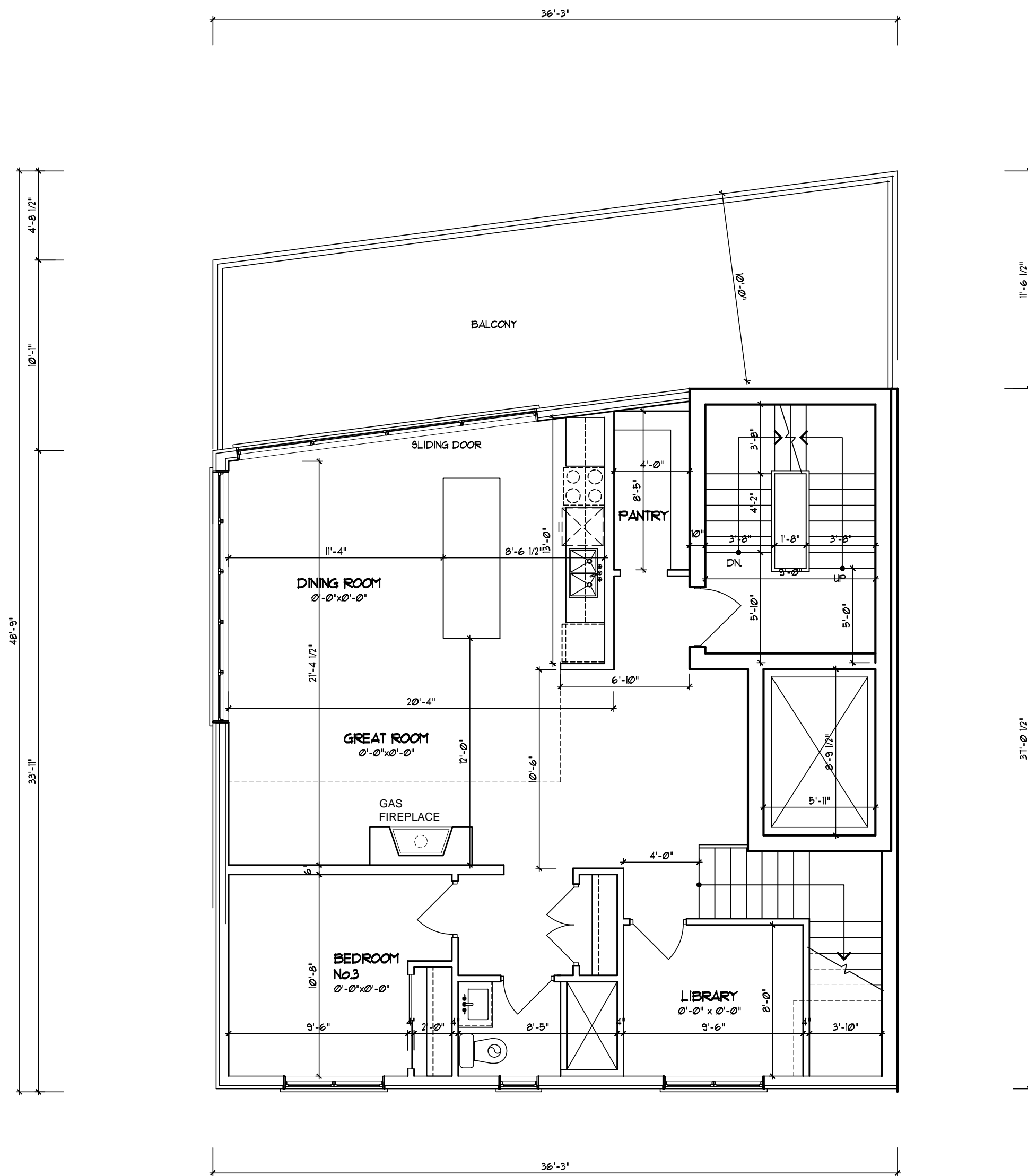
PROJECT:  
**PROPOSED 5 STOREY BUILDING**

15 TYLER STREET  
AURORA, ONTARIO

AREA: DATE: JULY 26/24  
SCALE: 3/16"=1'-0" DRAWN BY: PDG

DRAWING No.:  
**A-02**

PROJECT No.: 00-00



FORTH FLOOR  
GROUND FLOOR PLAN

AREA CALCULATION		
GROUND FLOOR AREA	1096	SQ. FT.
MEZZANINE AREA	800	SQ. FT.
<b>SUBTOTAL</b>	<b>1896</b>	<b>SQ. FT.</b>
	116.14	M2
DEDUCT ALL OPEN AREAS	0	SQ. FT.
<b>TOTAL NET AREA</b>	<b>1896</b>	<b>SQ. FT.</b>
	116.14	M2
COMMERCIAL AREA	465	SQ. FT.
COVERAGE GROUND FLOOR	1014	SQ. FT.
	94.20	M2
COVERAGE RESIDENTIAL UNITS	1680	SQ. FT.
	156.08	M2

SECOND FLOOR PLAN

**COMPLIANCE PACKAGE "A1"**

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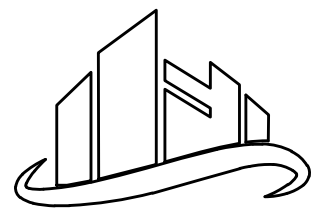
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1.	AUG. 26/24	ISSUED FOR REVIEW
NO:	DATE:	REVISION:



JULY 27, 2024

DRAWING TITLE:  
**PROPOSED FORTH GROUND FLOOR**



**P DEL DESIGN**

4370 Steeles Avenue West,  
Suite 203  
Woodbridge, Ontario L4L 4Y4  
T: 416 453 9985  
e-mail: peterd@pdeldesign.ca  
www.pdeldesign.ca

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents

**QUALIFICATION INFORMATION**

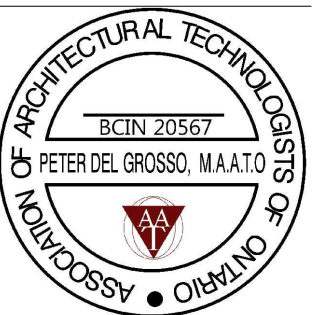
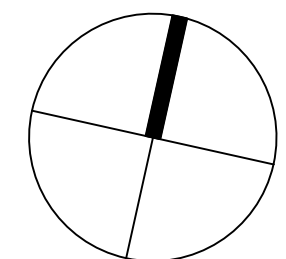
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**REGISTRATION INFORMATION**

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PETER DEL GROSSO 27288



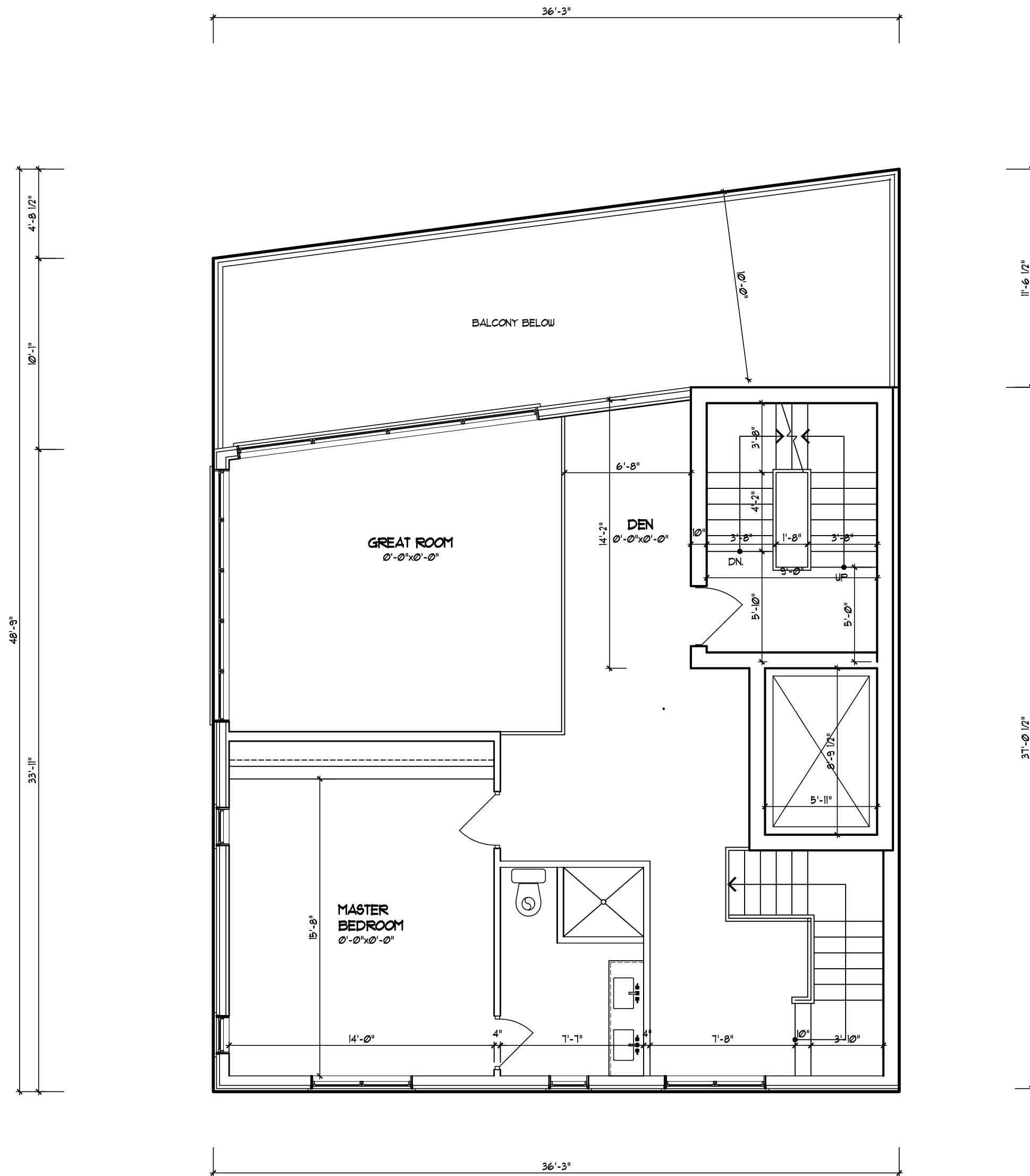
PROJECT:  
**PROPOSED 5 STOREY BUILDING**

15 TYLER STREET  
AURORA, ONTARIO

AREA: DATE: JULY 26/24  
SCALE: 3/16"=1'-0" DRAWN BY: PDG

DRAWING No.:  
**A-03**

PROJECT No.: 00-00



FORTH FLOOR  
MEZZANINE FLOOR PLAN

REFER TRUSS SHOP DINGS FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS	
	DENOTES STUD WALL REINFORCED FOR FUTURE GRAB BARS. REFER TO DETAIL 6/D-3
	DENOTES CEILING HEIGHT
ALL RETURN AIR PARTITIONS TO BE 6" - REFER TO HVAC DRAWINGS	

**COMPLIANCE PACKAGE "A1"**

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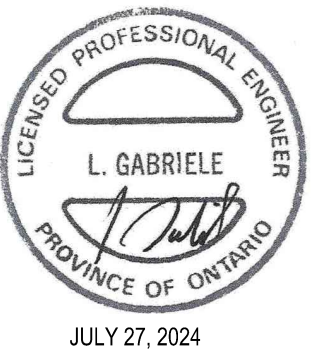
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NO:	DATE:	REVISION:



JULY 27, 2024

DRAWING TITLE:  
**PROPOSED MEZZANINE FLOOR**

**P DEL DESIGN**  
4370 Steeles Avenue West,  
Suite 203  
Woodbridge, Ontario L4L 4Y4  
T: 416 453 9985  
e-mail: peterd@pdeldesign.ca  
www.pdeldesign.ca

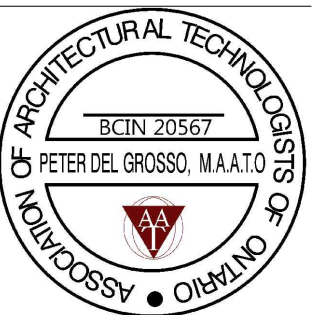
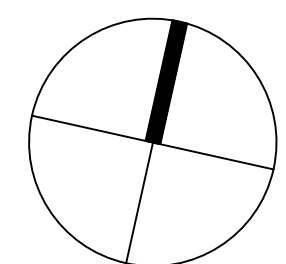
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PETER DEL GROSSO 27288



PROJECT:  
**PROPOSED 5 STOREY BUILDING**

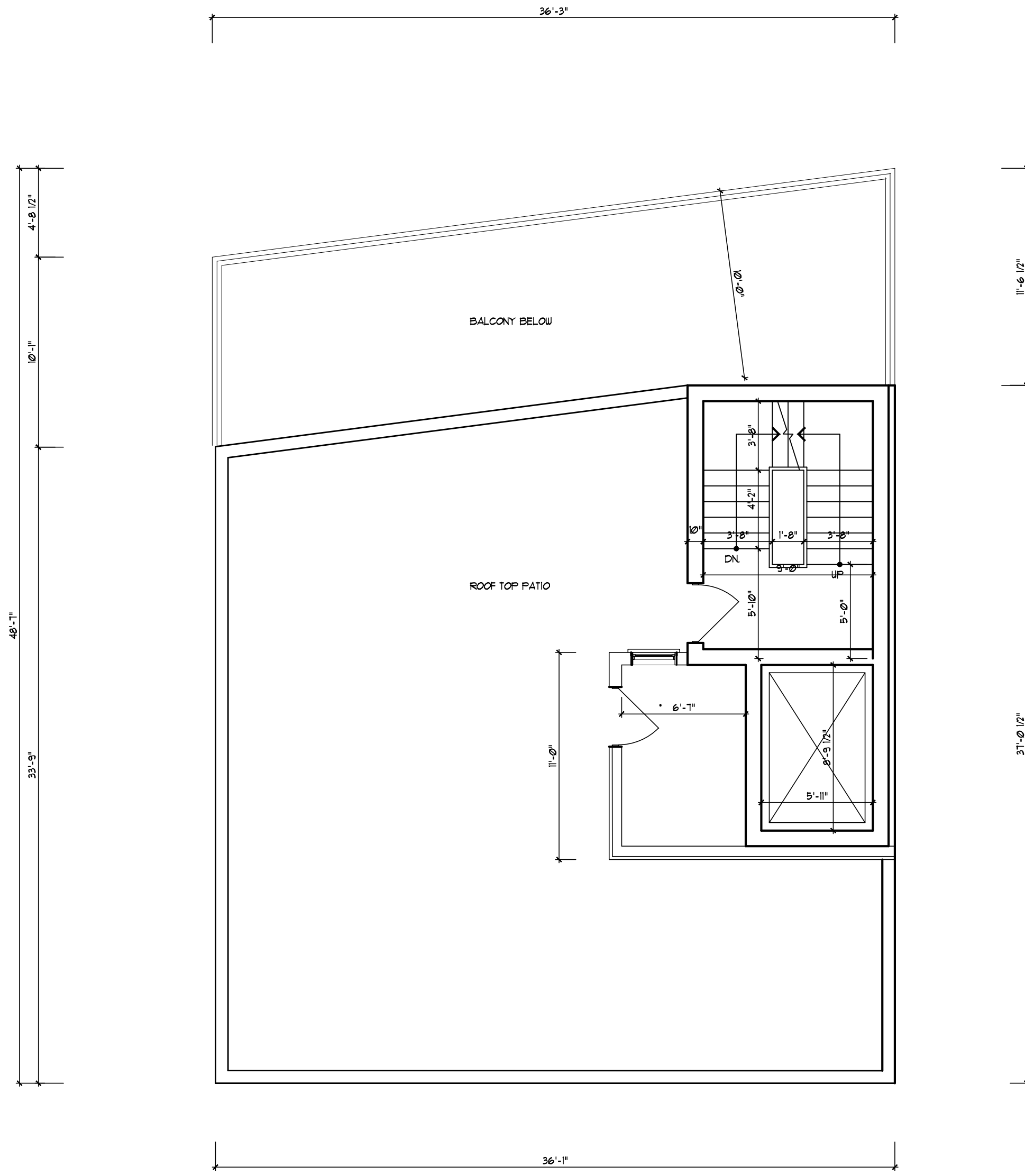
15 TYLER STREET  
AURORA, ONTARIO

AREA: DATE: JULY 26/24  
SCALE: 3/16"=1'-0" DRAWN BY: PDG

DRAWING No.:  
**A-04**

PROJECT No.: 00-00

SECOND FLOOR PLAN



ROOF TOP FLOOR PLAN

REFER TRUSS SHOP DRGS. FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS	
	DENOTES STUD WALL REINFORCED FOR FUTURE GRAB BARS. REFER TO DETAIL 6/D-3
	DENOTES CEILING HEIGHT
ALL RETURN AIR PARTITIONS TO BE 6" - REFER TO HVAC DRAWINGS	

**COMPLIANCE PACKAGE "A1"**

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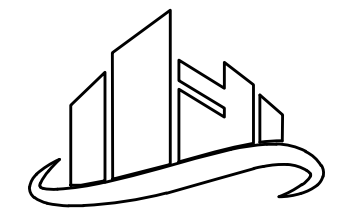
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2.	OCT. 1/24	REV. TILE BLOCK TO 5 STOREY BUILDING
1.	AUG. 26/24	ISSUED FOR REVIEW
NO:	DATE:	REVISION:



DRAWING TITLE:  
**PROPOSED ROOF TOP PATIO**



**P DEL DESIGN**

4370 Steeles Avenue West,  
Suite 203  
Woodbridge, Ontario L4L 4Y4  
T: 416 453 9985  
e-mail: peterd@pdeldesign.ca  
www.pdeldesign.ca

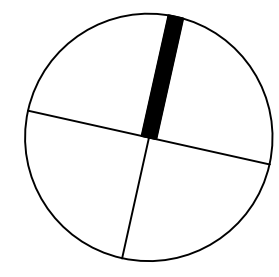
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**QUALIFICATION INFORMATION**  
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Division C, Subsection 3.2.5 of The Building Code

PETER DEL GROSSO 20567

**REGISTRATION INFORMATION**  
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Division C, Subsection 3.2.4 of The Building Code

PETER DEL GROSSO 27288



PROJECT:  
**PROPOSED 5 STOREY BUILDING**

15 TYLER STREET  
AURORA, ONTARIO

AREA: DATE: JULY 26/24  
SCALE: 3/16"=1'-0" DRAWN BY: PDG

DRAWING No.:  
**A-05**

PROJECT No.: 00-00

SECOND FLOOR PLAN

REFER TO TRUSS SHOP DUGS FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS

REFER TO JOIST MANUFACTURER'S SPECIFICATIONS FOR ALL TECHNICAL DETAILS & INFO.

ACTUAL FINISH GRADES MAY VARY DEPENDING ON LOT CONDITIONS. (REFER TO GRADING PLANS)

RAILING REQUIRED WHEN GRADE IS MORE THAN 2'-0"

**COMPLIANCE PACKAGE "A1"**

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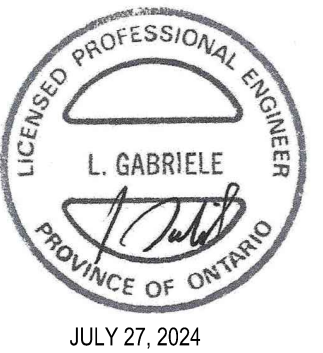
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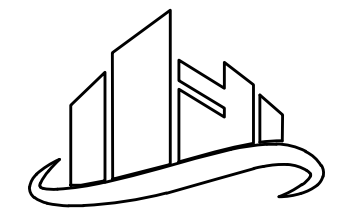
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1.	AUG. 26/24	ISSUED FOR REVIEW
NO:	DATE:	REVISION:



DRAWING TITLE:  
**NORTH (FRONT) ELEVATION**



**P DEL DESIGN**

4370 Steeles Avenue West,  
Suite 203  
Woodbridge, Ontario L4L 4Y4  
T: 416 453 9985  
e-mail: peterd@pdeldesign.ca  
www.pdeldesign.ca

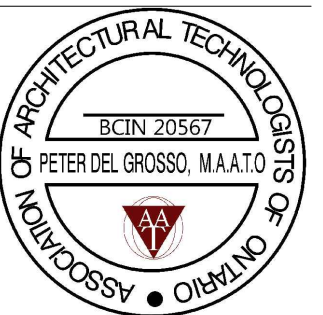
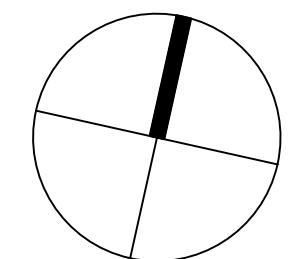
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PETER DEL GROSSO 27288



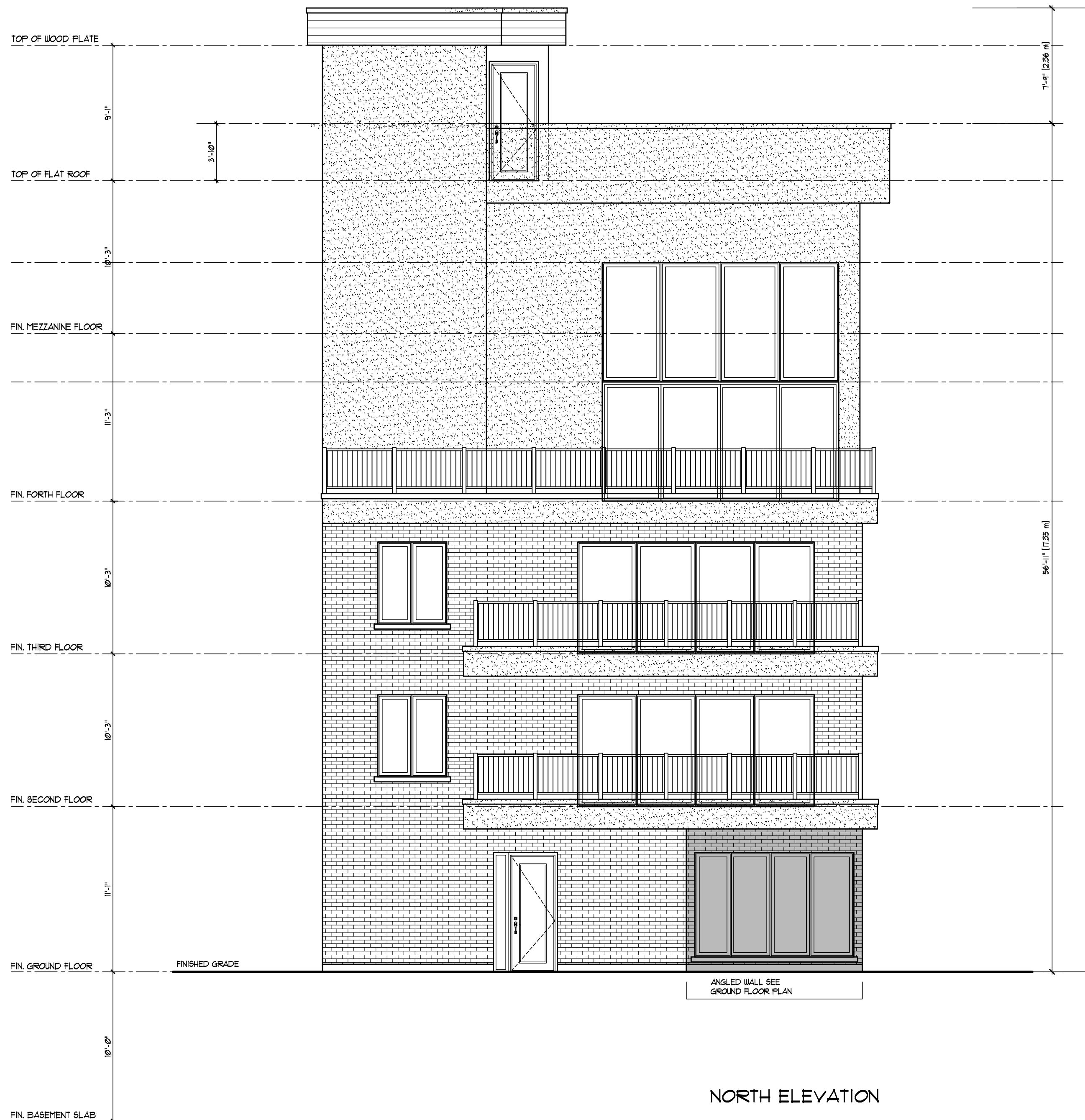
PROJECT:  
**PROPOSED 5 STOREY BUILDING**

15 TYLER STREET  
AURORA, ONTARIO

AREA: DATE: JULY 26/24  
SCALE: 3/16"=1'-0" DRAWN BY: PDG

DRAWING No.:  
**A-06**

PROJECT No.: 00-00



**NORTH ELEVATION**

REFER TO TRUSS SHOP DUGS FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS

REFER TO JOIST MANUFACTURER'S SPECIFICATIONS FOR ALL TECHNICAL DETAILS & INFO.

ACTUAL FINISH GRADES MAY VARY DEPENDING ON LOT CONDITIONS. (REFER TO GRADING PLANS)

RAILING REQUIRED WHEN GRADE IS MORE THAN 2'-0"

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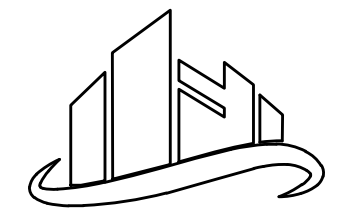
This drawing is not to be scaled.

This drawing is not to be used for construction unless signed by the Architectural Technologist.

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2.	OCT. 1/24	REV. TILE BLOCK TO 5 STOREY BUILDING
1.	AUG. 26/24	ISSUED FOR REVIEW
NO:	DATE:	REVISION:



DRAWING TITLE:  
**WEST (SIDE) ELEVATION**



**P DEL DESIGN**

4370 Steeles Avenue West,  
Suite 203  
Woodbridge, Ontario L4L 4Y4  
T: 416 453 9985  
e-mail: peterd@pdeldesign.ca  
www.pdeldesign.ca

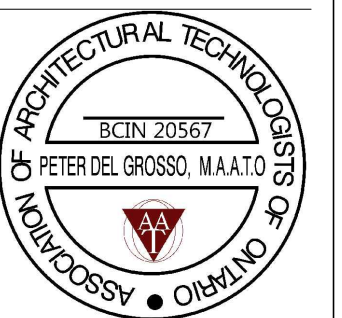
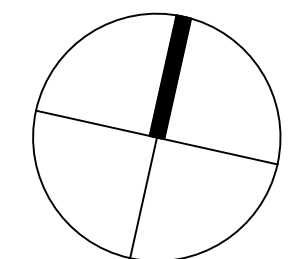
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents

**QUALIFICATION INFORMATION**  
Required unless design is exempt under  
Division C, Subsection 3.2.5 of The Building Code

PETER DEL GROSSO 20567

**REGISTRATION INFORMATION**  
Required unless design is exempt under  
Division C, Subsection 3.2.4 of The Building Code

PETER DEL GROSSO 27288



PROJECT:  
**PROPOSED 5 STOREY BUILDING**

15 TYLER STREET  
AURORA, ONTARIO

AREA: DATE: JULY 26/24  
SCALE: 3/16"=1'-0" DRAWN BY: PDG

DRAWING No.:  
**A-07**

PROJECT No.: 00-00



REFER TO TRUSS SHOP DUGS FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS

REFER TO JOIST MANUFACTURER'S SPECIFICATIONS FOR ALL TECHNICAL DETAILS & INFO.

ACTUAL FINISH GRADES MAY VARY DEPENDING ON LOT CONDITIONS. (REFER TO GRADING PLANS)

RAILING REQUIRED WHEN GRADE IS MORE THAN 2'-0"

**COMPLIANCE PACKAGE "A1"**

The Architectural Technologist is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. engineering information shown on the drawing. Refer to the appropriate engineering drawings before proceeding with work.

Contractor shall check all dimensions on the work and report any discrepancy to the Architectural Technologist before proceeding. Construction must conform to all applicable Codes and Requirement of Authorities having Jurisdiction.

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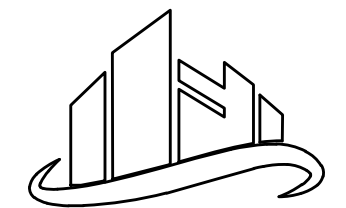
This drawing is not to be scaled.

This drawing is not to be used for construction unless signed by the Architectural Technologist.

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2.	OCT. 1/24	REV. TILE BLOCK TO 5 STOREY BUILDING
1.	AUG. 26/24	ISSUED FOR REVIEW
NO:	DATE:	REVISION:



DRAWING TITLE:  
**EAST (SIDE) ELEVATION**



**P DEL DESIGN**

4370 Steeles Avenue West,  
Suite 203  
Woodbridge, Ontario L4L 4Y4  
T: 416 453 9985  
e-mail: peterd@pdeldesign.ca  
www.pdeldesign.ca

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents

**QUALIFICATION INFORMATION**

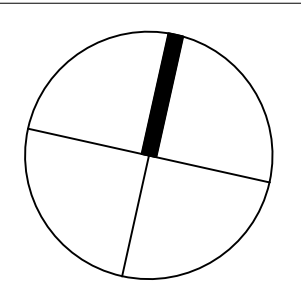
Required unless design is exempt under Division C, Subsection 3.2.5 of The Building Code

PETER DEL GROSSO 20567

**REGISTRATION INFORMATION**

Required unless design is exempt under Division C, Subsection 3.2.4 of The Building Code

PETER DEL GROSSO 27288



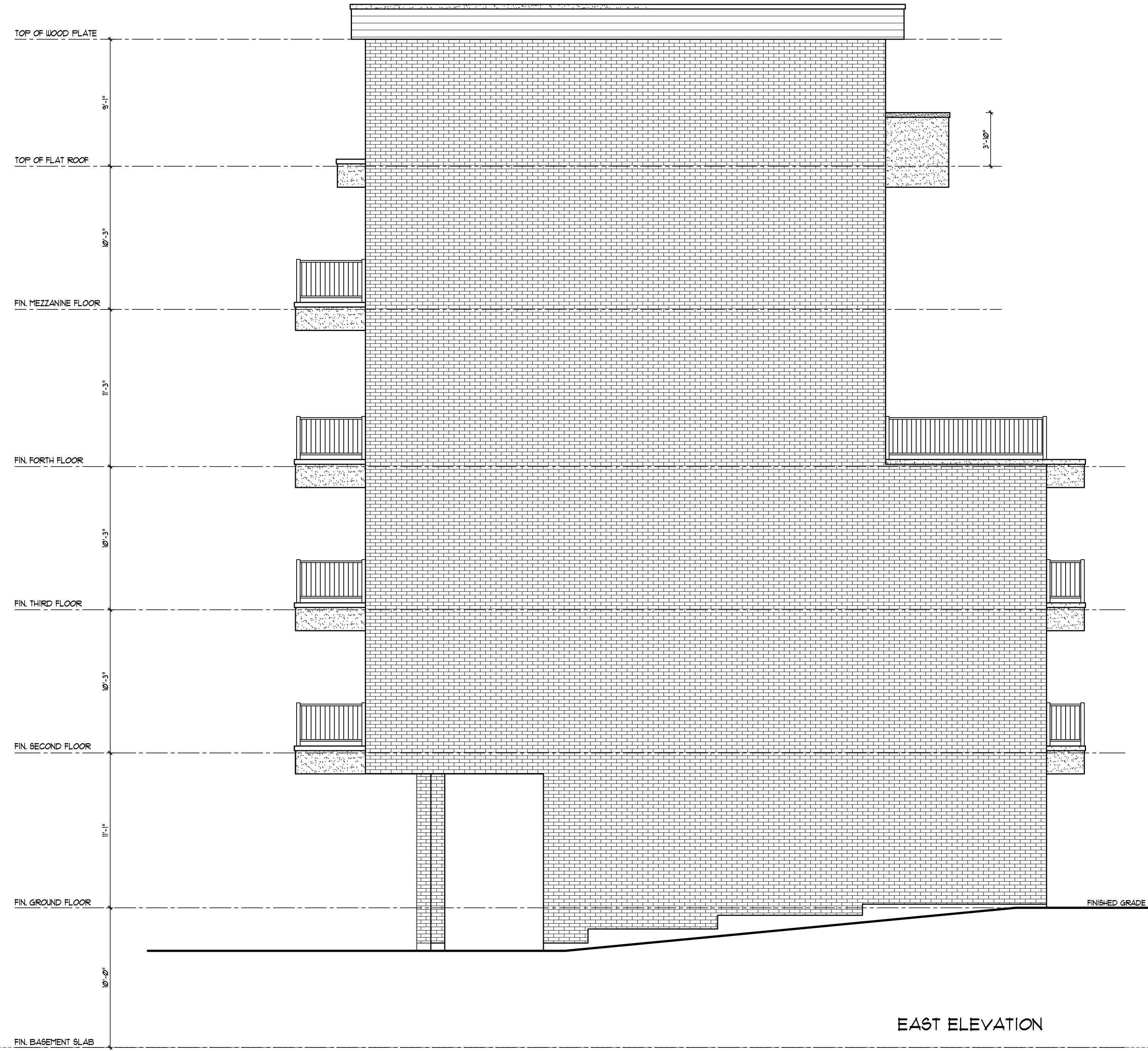
PROJECT:  
**PROPOSED 5 STOREY BUILDING**

15 TYLER STREET  
AURORA, ONTARIO

AREA: DATE: JULY 26/24  
SCALE: 3/16"=1'-0" DRAWN BY: PDG

DRAWING No.:  
**A-08**

PROJECT No.: 00-00



**EAST ELEVATION**



REFER TO TRUSS SHOP DUGS FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS

REFER TO JOIST MANUFACTURER'S SPECIFICATIONS FOR ALL TECHNICAL DETAILS & INFO.

ACTUAL FINISH GRADES MAY VARY DEPENDING ON LOT CONDITIONS. (REFER TO GRADING PLANS)

RAILING REQUIRED WHEN GRADE IS MORE THAN 2'-0"

**COMPLIANCE PACKAGE "A1"**

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Contractor shall check all dimensions on the work and report any discrepancy to the Architectural Technologist before proceeding. Construction must conform to all applicable Codes and Requirement of Authorities having Jurisdiction.

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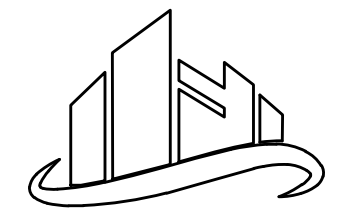
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This drawing is not to be used for construction unless signed by the Architectural Technologist.

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2.	OCT. 1/24	REV. TILE BLOCK TO 5 STOREY BUILDING
1.	AUG. 26/24	ISSUED FOR REVIEW
NO:	DATE:	REVISION:



DRAWING TITLE:  
**SOUTH (REAR) ELEVATION**



**P DEL DESIGN**

4370 Steeles Avenue West,  
Suite 203  
Woodbridge, Ontario L4L 4Y4  
T: 416 453 9985  
e-mail: peterd@pdeldesign.ca  
www.pdeldesign.ca

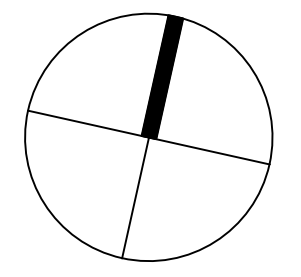
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents

**QUALIFICATION INFORMATION**  
Required unless design is exempt under  
Division C, Subsection 3.2.5 of The Building Code

PETER DEL GROSSO 20567

**REGISTRATION INFORMATION**  
Required unless design is exempt under  
Division C, Subsection 3.2.4 of The Building Code

PETER DEL GROSSO 27288



PROJECT:  
**PROPOSED 5 STOREY BUILDING**

15 TYLER STREET  
AURORA, ONTARIO

AREA: DATE: JULY 26/24  
SCALE: 3/16"=1'-0" DRAWN BY: PDG

DRAWING No.:  
**A-09**

PROJECT No.: 00-00



**NORTH ELEVATION**