



VISUALIZATION FROM DESIGN CONTROL DOCUMENTS (DCD)
AERIAL VIEW FROM GOOGLE

HYUNDAI GENESIS AURORA

WZMH Architects
Architect

Quinn Design
Landscape

Aquila Group
Mechanical / Electrical

GEMTEC
Geotechnical

Husson
Civil

MSH
Planner

LEA Consulting
Traffic



DRAWING LIST:

ARCHITECTURAL:

- S-000 - SURVEY
- SP-1 - PROPOSED SITE PLAN
- SP-2 - PROPOSED SITE PLAN LOWER LEVEL
- SP-3 - PROPOSED MAIN +SECOND LEVEL
- SP-4 - PROPOSED ELEVATIONS
- SP-5 - SIGNAGE DRAWINGS

LANDSCAPE:

- L-100 - LANDSCAPE PLAN
- L-101 - PLANTING PLAN
- L-200 - DETAILS
- L-201 - DETAILS ROOFTOP GARDEN

CIVIL:

- SW-1 - GRADING PLAN
- SW-2 - SERVICING PLAN
- SW-3 - CROSS SECTION
- SW-4 - EROSION SEDIMENT CONTROL PLAN

ELEC:

- E-100 - SITE LIGHTING PLAN
- E-101 - LIGHTING CUT SHEETS

TRAFFIC:

- T-000 - ACCESS REVIEW
- T-001 - FIRE ROUTE
- T-002 - GROUND FLOOR LOADING, PRIVATE GARBAGE TRUCK ENTRY AND EXIT PATHS
- T-003 - PARKING OF PASSENGER VEHICLE
- T-004 - PM&S

MOTOR VEHICLE SALES ESTABLISHMENT

28 SUNDAY DRIVE, AURORA, ON

ISSUE B - ISSUED FOR SITE PLAN APPROVAL APPLICATION

05 DECEMBER 2024

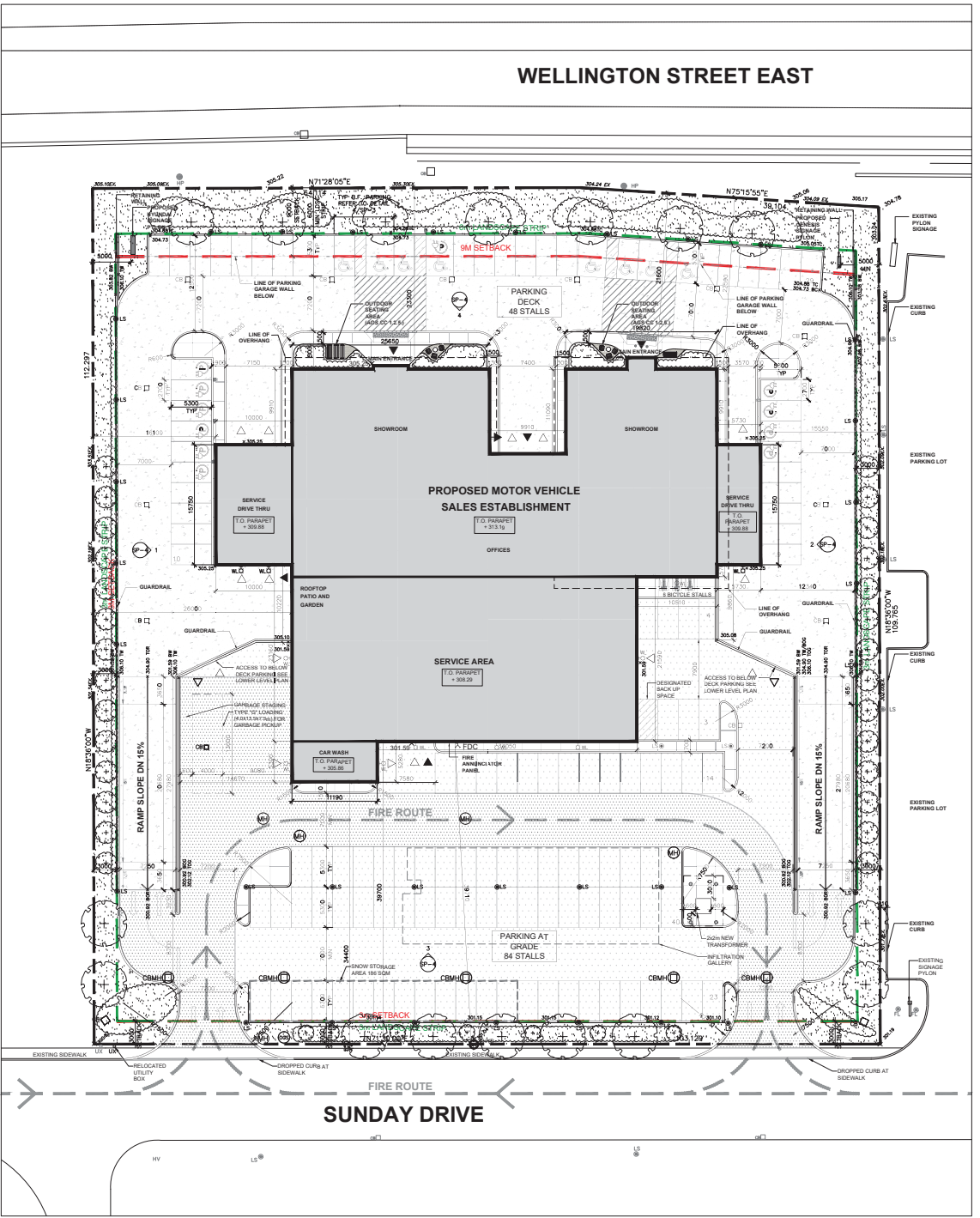
PART 3 - FIRE PROTECTOR, OCCUPANT SAFETY AND ACCESSIBILITY		QC#	REVISION
Name of Project: 42841 Aurora			
Address 1: 28 S. Cnr Aurora West, 100, Mt. St.			
Address 2:			
Contact: 416-801-4111			
Name of Project: DENISE HYUNDAI AURORA			
Location/Address: 28 SUNDRY DRIVE, AURORA, ONTARIO, CANADA			
Date: 28-10-2024			
Drawn & Signature:			
3.0 BUILDING CODE SERVICE	Code	2015	LAST AMENDMENT 08-19-14
3.1 PROJECT TYPE	Code	Commercial	
3.2 OCCUPANCY CLASSIFICATION	Code	Office	3.1.2.1.0
3.3 SUPERSEDED WORK	Code	None	3.2.1.7
3.4 BUILDING AREA (m ²)	DESCRIPTION	EXISTING	NEW
TOTAL			
3.5 GROSS AREA (m ²)	DESCRIPTION	EXISTING	NEW
TOTAL			
3.6 MEZZANINE AREA (m ²)	DESCRIPTION	EXISTING	NEW
TOTAL			
3.7 BUILDING HEIGHT	STORY'S ABOVE GRADE	12	INVASIVE GRADE
3.8 HIGH BUILDING	STORY'S BELOW GRADE	0	
3.9 AMBULANCE ACCESS	STORY'S		
3.10 BUILDING CLASSIFICATION	Group 1, Division 2, Any Height, All Area, Sprinkler	3.2.2.47	3.2.2.28.6
3.11 SPRINKLER SYSTEM	Required	PROVIDED	3.2.2.8
3.12 SMOKE EXHAUST SYSTEM	Required	PROVIDED	3.2.1
3.13 FIRE ALARM SYSTEM	Required	PROVIDED	3.2.1
3.14 ELEVATOR	Required	PROVIDED	3.2.1
3.15 CONSTRUCTION TYPE	RESTRICTIONS	Non-combustible	3.2.2.23.9
3.16 IMPORTED CATEGORY	Code		
3.17 FLOOR CONSTRUCTION	Code		
3.18 OCCUPANT LOAD	FLOOR	OCCUPANCY TYPE	BASED ON
3.19 ACCESSIBLE ROUTE	Code		
3.20 ACCESSIBLE ENTRANCE	Code		
3.21 RECURRING RESTRICTIONS	Code		
3.22 SPINAL SEPARATION	Code		
3.23 SLABBING FUTURE REQUIREMENTS	Code		
3.24 ENERGY EFFICIENCY	Code		
3.0 NOTES			

Project Statistics	
Building Area (m ²)	2,985
Gross Area (m ²)	2,985
Mezzanine Area (m ²)	0
Building Height (Stories)	12
High Building (Stories)	0
Accessibility (Compliant)	Yes
Fire Alarm (Compliant)	Yes
Sprinkler (Compliant)	Yes
Smoke Exhaust (Compliant)	Yes
Elevator (Compliant)	Yes
Construction Type (Compliant)	Yes
Imported Category (Compliant)	Yes
Floor Construction (Compliant)	Yes
Occupant Load (Compliant)	Yes
Accessible Route (Compliant)	Yes
Accessible Entrance (Compliant)	Yes
Recurring Restrictions (Compliant)	Yes
Spinal Separation (Compliant)	Yes
Slabbing Future (Compliant)	Yes
Energy Efficiency (Compliant)	Yes

- ### GENERAL NOTES
- THE CONTRACTOR SHALL RECTIFY ALL DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER AND TO THE SATISFACTION OF THE DIRECTOR OF ENGINEERING AND CAPITAL DELIVERY DIVISION.
 - ALL WORKS ARE TO BE COMPLETED IN ACCORDANCE WITH THE STANDARD DRAWINGS AND SPECIFICATIONS OF THE TOWN OF AURORA AND THESE SHALL BE DEEMED TO CONSTITUTE PART OF THIS CONTRACT.
 - ALL CONCRETE CURBS FROM EXISTING ROAD CURB TO STREET LINE SHALL BE BARRIER CURB (SP5500). ALL CONCRETE CURB HEIGHTS SHALL BE 100MM UNLESS OTHERWISE NOTED. (E.G. ADA STANDARD) DRIVEWAY CURB TO BE DISCONTINUOUS AT SIDEWALK AND TAPERED BACK 300MM MINIMUM.
 - ALL REQUIRED CURB CUTTING AT ENTRANCES AND CURB DEPRESSIONS AT SIDEWALK CROSSINGS SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE ENGINEERING AND CAPITAL DELIVERY DIVISION.
 - SIDEWALK TO BE 175MM THICK THROUGH DRIVEWAYS PER TOWN OF AURORA STANDARD R.200. 125MM THICK OTHERWISE, AND IN ACCORDANCE WITH R215 OR R216.
 - ALL CONSTRUCTION WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS AND REGULATIONS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT FOR CONSTRUCTION PROJECTS.
 - FIRE ROUTE SHALL BE DESIGNED IN ACCORDANCE WITH OBC 3.2.3.6.
 - DRIVEWAYS SHALL BE DESIGNED IN ACCORDANCE WITH CPSD 350.010.
 - CURB DEPRESSION (CUT) WILL BE PROVIDED AT ALL MAIN ENTRANCES AS PER AURORA ACCESSIBILITY STANDARDS (AODA GUIDELINES).
 - SIGNAGE SHOWN ON THE SITE DEVELOPMENT PLANS IS FOR INFORMATION PURPOSES ONLY. ALL SIGNS WILL BE SUBJECT TO THE PROVISIONS OF SIGN BY LAW 580-16.
 - ACCESSIBILITY AS PER AODA GUIDELINES (AOS CC 1.1.3).
 - INVENTORY PARKING BELOW DECK REFER TO LOWER LEVEL PLAN.

PLANNING AND BUILDING DEPARTMENT NOTES

LEGEND:	
	PROPERTY LINE
	SETBACK
	LANDSCAPING STRIP
	PROPOSED FIRE ROUTE
	PEDESTRIAN ENTRANCE
	VEHICULAR ENTRANCE
	EXISTING FIRE HYDRANT
	NEW FIRE DEPARTMENT CONNECTION
	PAINTED LINES (REFER TO TRAFFIC)
	PAINTED PEDESTRIAN CROSSWALK
	CURB CUT
	STANDARD (RAISED) CURB
	DEPRESSED CURB WITH TACTILE WALKING SURFACE INDICATOR (SR1-29)
	RAISED ISLAND IN CONCRETE CURBS AND LANDSCAPING
	BICYCLE PARKING STALL
	BOLLARD
	NEW LIGHT BOLLARD
	EXISTING CATCH BASIN
	NEW CATCH BASIN
	EXISTING MANHOLE
	NEW MANHOLE
	NEW CATCH-BASIN MANHOLE
	NEW OIL AND GRIT SEPARATOR
	EXISTING HYDRO POLE
	PROPOSED LIGHT STANDARD
	PROPOSED WALL MOUNTED LIGHT
	EXISTING LIGHT STANDARD
	EXISTING UTILITY BOX
	RELOCATED UTILITY BOX
	EXISTING FLAGPOLE
	SOFTSCAPE
	CONCRETE SIDEWALK
	LIGHT DUTY ASPHALT
	HEAVY DUTY ASPHALT
	CONCRETE DECK
	PAVERS
	EV CHARGING STATIONS
	EV PARKING SPACE
	BARRIER FREE PARKING SPACE
	TREES (REFER TO LANDSCAPE)
	SHRUBS (REFER TO LANDSCAPE)
	WARNING SIGN AND FLASHING LIGHT TO INDICATE WHEN TRUCK ENTERS/EXITS SITE
	PROPOSED AREA DRAIN



ISSUES/REVISIONS		
NO.	DATE	DESCRIPTION
1	2024-10-28	ISSUE FOR PERMITS
2	2024-10-28	ISSUE FOR PERMITS

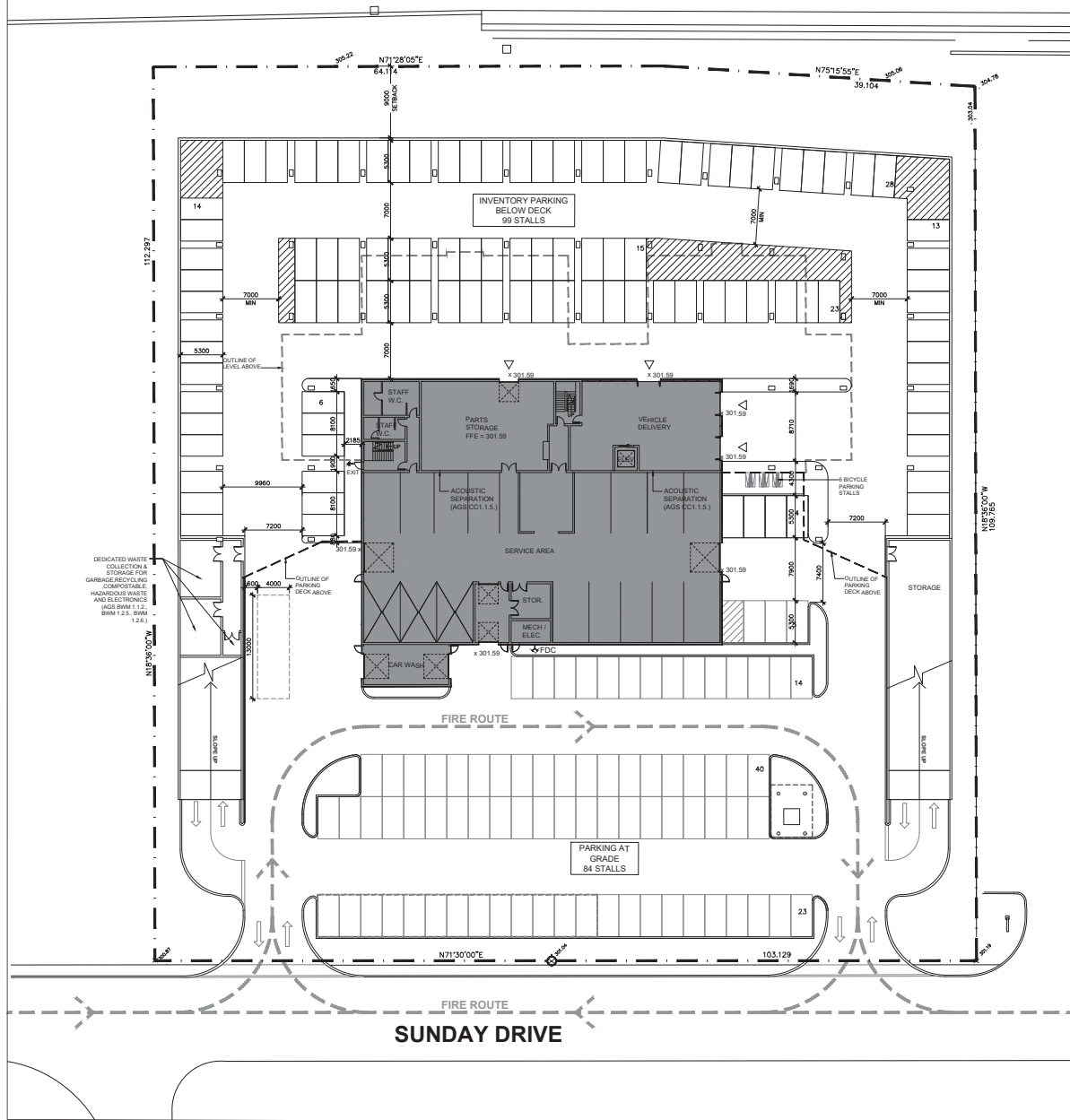
WZMH
 1000 Victoria Park Avenue
 Markham, Ontario, Canada L3R 2G2
 Tel: 416-801-4111
 www.wzmmh.com

WEINS AUTO GROUP
 1623 WELLINGTON ST DEVELOPMENT LTD
 AUTOMOTIVE DEALERSHIP
 28 SUNDAY DRIVE, AURORA, ON

Drawing Title: Proposed Site Plan
 Date: 24/10/24
 Scale: 1:200
 Author: MA/SR
 Checker: RS/SB
 Designer: SBB

SP-1

WELLINGTON STREET EAST



DEDICATED WASTE COLLECTION & STORAGE FOR GARAGE/RECYCLING COMPATIBLE HAZARDOUS WASTE AND ELECTRONICS (AGS BW 1.1.2, BW 1.2.3, BW 1.2.6)

ISSUE	REVISIONS	DATE
1	ISSUE FOR PERMIT	2024-10-24
2	ISSUE FOR PERMIT	2024-10-24



WZMH
Architects

1200 Victoria Park Avenue
Markham, Ontario, Canada L3R 2G5
Tel: 416-942-4111
www.wzmh.com

WEINS
AUTO GROUP

1623 WELLINGTON ST
DEVELOPMENT LTD

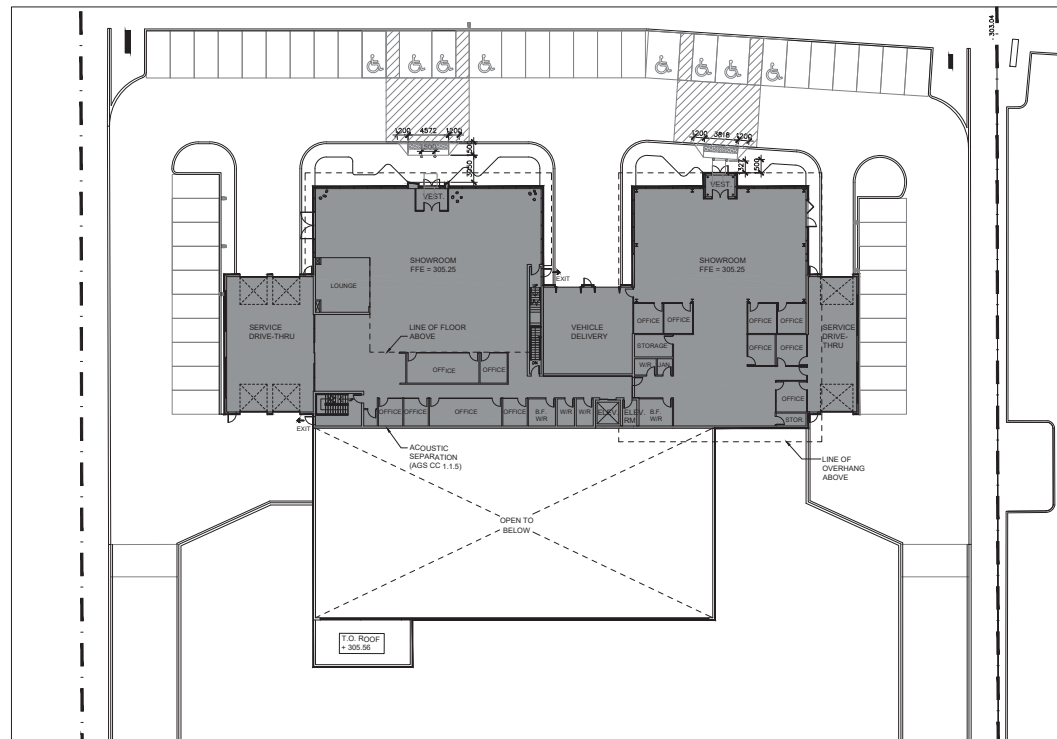
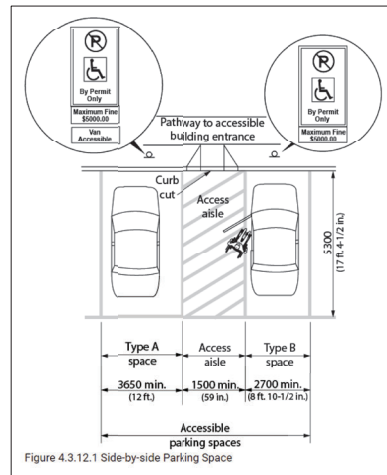
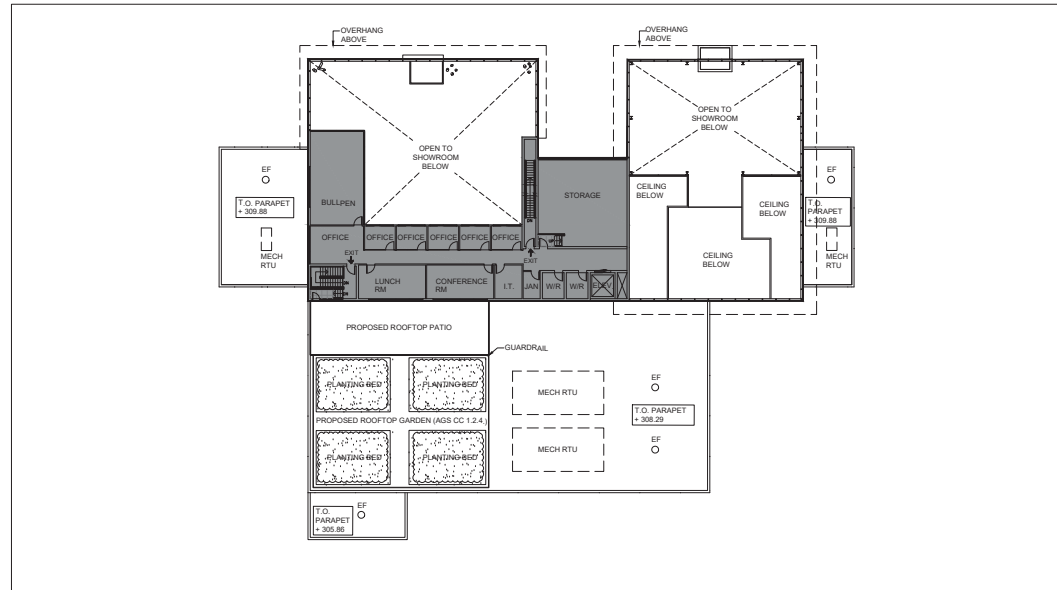
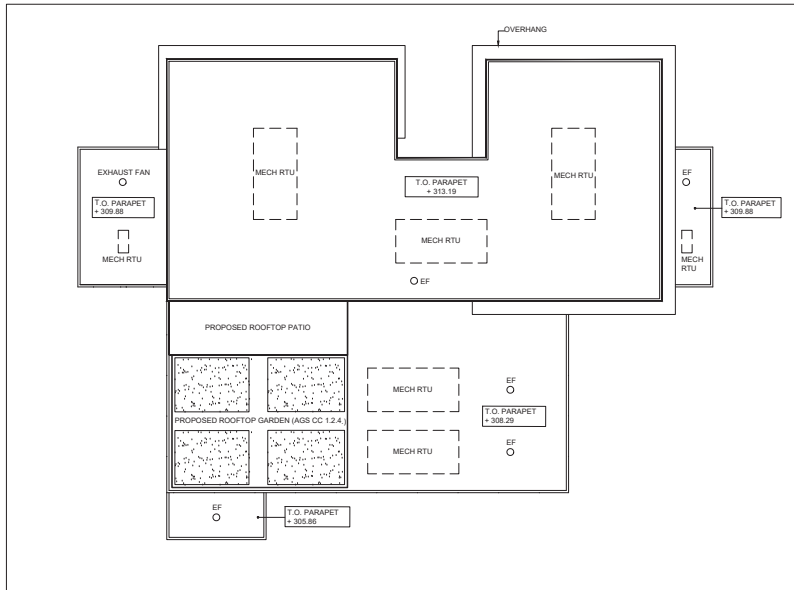
AUTOMOTIVE
DEALERSHIP
28 SUNDAY DRIVE, AURORA, ON

Drawing Title
Proposed Site Plan
Lower Level

Date:	24/10/24	Scale:	1:200
Drawn by:	MA/SR	Checked by:	
Reviewed by:	RS / SBA	Project No.:	8809



SP-2



NO.	DATE	ISSUE/REVISIONS	BY	CHECKED
1	2024.04.04	ISSUED FOR PERMIT	WZM	WZM
2	2024.04.04	ISSUED FOR PERMIT	WZM	WZM



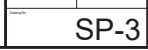
WZM
ARCHITECTS
7000 Victoria Park Avenue
Markham, Ontario L3R 9A5
www.wzm.ca

WEINS
AUTO GROUP
7000 Victoria Park Avenue
Markham, Ontario L3R 9A5

1623 WELLINGTON ST
DEVELOPMENT LTD
AUTOMOTIVE DEALERSHIP
28 SUNDAY DRIVE, AURORA, ON

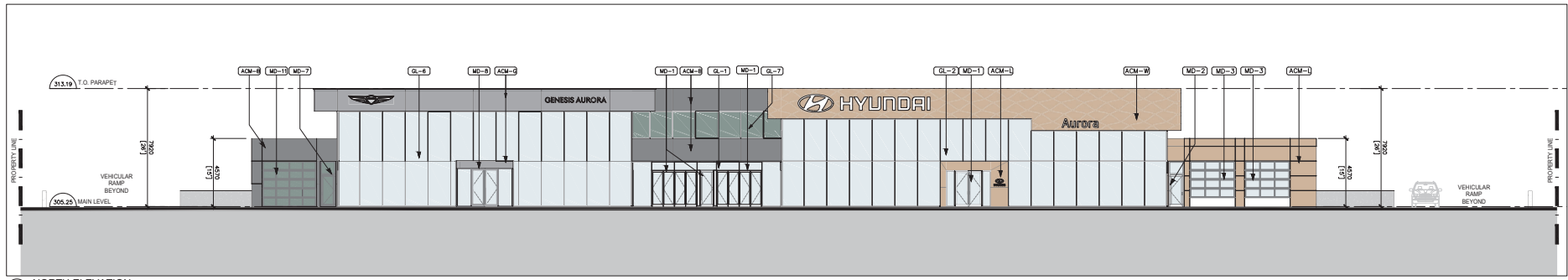
Proposed Floor Plans
Main, Second, Roof

DATE: 24/10/24
SCALE: 1:200
PROJECT: M/RSR
DRAWING: RS / SBls
REVISION: 8803

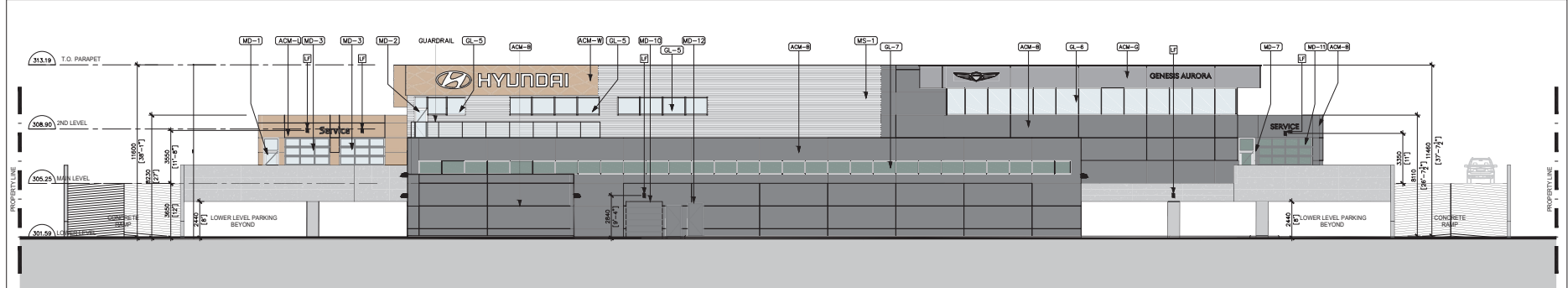


SP-3

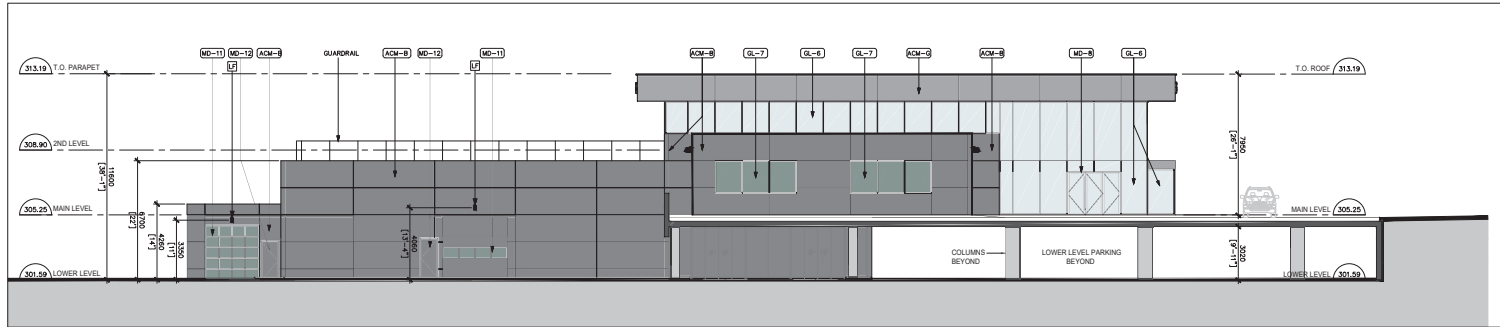
Plot Title: Date: 04, 2024 - 4:03pm
 Drawing Name: \\server\projects\8803\8803_2\ drawings\10_2\ drawings\10_2\ drawings\10_2\ 1623 Wellington St Development SP-3 Main Second Floor Plans.dwg



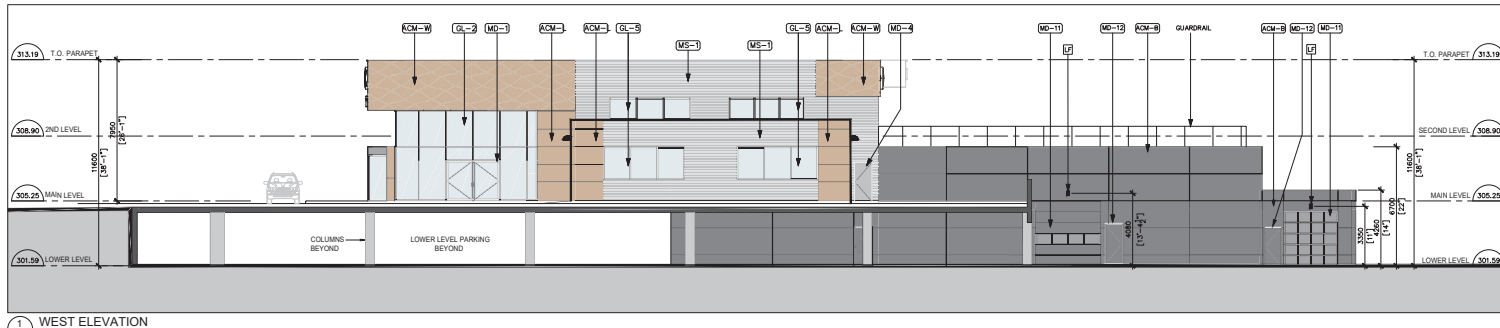
4 NORTH ELEVATION
SCALE 1:100



3 SOUTH ELEVATION
SCALE 1:100



2 EAST ELEVATION
SCALE 1:100



1 WEST ELEVATION
SCALE 1:100

LEGEND

- ACM-B BLACK MATTE ACM
- ACM-G DARK GREY MATTE ACM
- ACM-W BRONZE 3-WAVE PATTERN ACM
- ACM-L BRONZE NON-WAVE PATTERN (LINEAR) ACM
- GL-1 FRAMELESS GLAZING SYSTEM
- GL-2 CAPLESS VERTICAL MULLIONS WITH CAPPED HORIZONTAL (BRONZE FINISH) CURTAIN WALL FRAMING (CLEAR ANODIZED INTERIOR MULLIONS) GLAZING C/W BIRD FRIT PATTERN
- GL-3 CAPLESS VERTICAL MULLIONS WITH CAPPED HORIZONTAL (CLEAR ANODIZED FINISH) CURTAIN WALL FRAMING (CLEAR ANODIZED INTERIOR MILLIONS)
- GL-4 FULLY CAPPED (CLEAR ANODIZED FINISH) CURTAIN WALL FRAMING
- GL-5 CLEAR ANODIZED WINDOW FRAMES ON SECONDARY ELEVATIONS
- GL-6 LOW E-GLAZING C/W BIRD FRIT PATTERN WITH CLEAR ANODIZED CAPPED PERIMETER MULLION AND CAPLESS VERTICAL & HORIZONTAL FRAMING JOINTS C/W BIRD FRIT PATTERN
- GL-7 LOW E GLAZING WITH BLACK CAPS
- MD-1 GLAZED DOOR(S) AND TRANSOM (BRONZE FINISH)
- MD-2 GLAZED DOOR(S) AND TRANSOM (CLEAR ANODIZED FINISH)
- MD-3 FULLY GLAZED OVERHEAD DOORS (CLEAR ANODIZED FINISH)
- MD-4 GDS STANDARD DARK GREY PAINTED DOORS
- MD-5 SOLID OVERHEAD DOORS (WHITE FINISH)
- MD-6 DARK GREY PAINTED STEEL DOOR AND FRAME TO MATCH DARK GREY MATTE ACM
- MD-7 FULLY GLAZED DOOR AND TRANSOM/BLACK ANODIZED ALUMINUM FRAMING WITH DARK GREY TINTED GLAZING
- MD-8 CLEAR ANODIZED ALUMINUM DOOR & FRAME WITH LOW IRON GLAZING
- MD-9 BLACK FLAT PANEL OVERHEAD DOOR WITH DARK TINTED VISION GLASS SECTION
- MD-10 FULL GLAZED HIGH SPEED ROLL UP DOOR
- MD-11 FULLY GLAZED OVERHEAD DOOR (BLACK PAINTED WITH DARK GREY TINTED GLAZING)
- MD-12 BLACK PAINTED STEEL DOOR AND FRAME TO MATCH BLACK MATTE ACM
- MS-1 7/8" CORRUGATED CHARCOAL METAL SIDING
- PT-E GDS STANDARD DARK GREY PAINTED
- LF WALL MOUNTED LIGHT FIXTURE REFER TO ELEC

ISSUES/REVISIONS

NO.	DATE	DESCRIPTION
1	2024-10-24	ISSUE FOR PERMIT
2	2024-10-24	ISSUE FOR PERMIT



WZMH
WZMH Architecture
2500 Victoria Park Avenue
Markham, Ontario, Canada L3R 2K5
Tel: 416-962-4111
www.wzmvh.com

WEINIS
AUTO GROUP
1623 WELLINGTON ST
DEVELOPMENT LTD
AUTOMOTIVE
DEALERSHIP
28 SUNDAY DRIVE, AURORA, ON

Proposed Elevations

Date: 24/10/24 Scale: 1:100
Author: MA/SR
Reviewer: RS / SB
Project: 8809



Signage Schedule Based on Sign By Law 5840-16

Site and Zoning	
Address	28 Sunday Drive
Zoning	Employment Zone - Business Park (E-BP (S31)(S32))
Use	Motor Vehicle Sales Establishment
Applicable requirements as per Sign By Law 5840-16	
6.2 Commercial Zones	

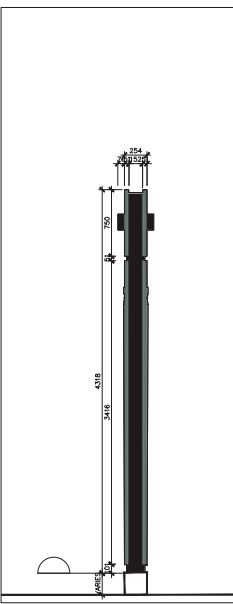
Ground Signs								
Name	Tag	Description	Width Provided (m)	Height Provided (m)	Height maximum (m)	Area Provided (sqm)	Area maximum (sqm)	Comments
Hyundai Pylon	HY 14	Double Faced illuminated pylon	2.5	4.3	7.5	10.9	10	Variance required for area
Genesis Pylon	GPM-14	Double Faced illuminated pylon	1.2	4.3	7.5	5.1	10	

Wall Signs								
North Elevation								
Name	Tag	Description	Width Provided (m)	Height Provided (m)	Height maximum (m)	Area Provided (sqm)	Area maximum (sqm)	Comments
Hyundai Logo	HY B94 36	Illuminated 3D logo and letters with moulded chrome fascia	8.9	1.1	N/A	10.9		
Aurora (Dealer's name)	HY DNL 22	Illuminated flat chrome panels	2.4	0.6	N/A	1.4		
Hyundai Logo Vestibule	-	Vacuum formed acrylic w/ chrome finish logo and letters	0.8	0.4	N/A	0.3		
Genesis Logo	Genesis Logo 3000	Fascia	3.0	0.6	N/A	1.6		
Genesis Aurora (Dealer's name)	GND-12	Trim-less illuminated channel letters	4.1	0.3	N/A	1.2		
Total Aggregate Area of all signs along this elevation						15.3	35	

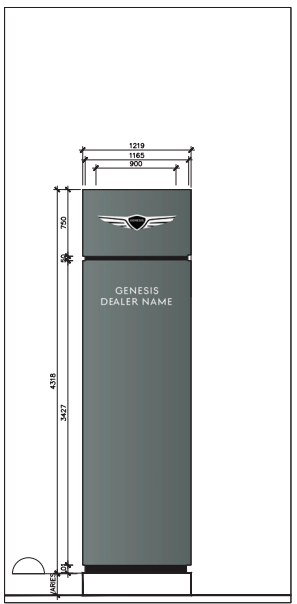
South Elevation								
Name	Tag	Description	Width Provided (m)	Height Provided (m)	Height maximum (m)	Area Provided (sqm)	Area maximum (sqm)	Comments
Hyundai Logo	HY B94 36	Illuminated 3D logo and letters with moulded chrome fascia	8.9	1.1	N/A	10.9		
Service (at Hyundai)	HY DNL 16	Trim-less illuminated channel letters	2.0	0.3	N/A	0.6		
Service (at Genesis)	SRP-12	Trim-less illuminated channel letters	1.9	0.4	N/A	0.8		
Genesis Logo	Genesis Logo 3000	Fascia	3.0	0.6	N/A	1.6		
Genesis Aurora (Dealer's name)	GND-12	Trim-less illuminated channel letters	0.3	4.1	N/A	1.2		
Total Aggregate Area of all signs along this elevation						15.3	35	

Summary									
Sign Type	Quantity Provided	Maximum Quantity	Height Proposed (Hyundai)	Height Proposed (Genesis)	Area(s) Provided (sqm)	Area maximum (sqm)	Illumination Provided	Illumination Required	
Ground Signs (Pylons)	2	2 per lot with street line greater than 75m	4.3	4.3	10.9	5.1	10.9	Internally	Internally or Externally
Wall Signs	10	N/A	See above	See above	15.3	35	35 aggregate	Internally	Internally or Externally
Total Signs	12	Quantity compliant		Height compliant	All Areas compliant except Hyundai Pylon requires a variance			Illumination compliant	

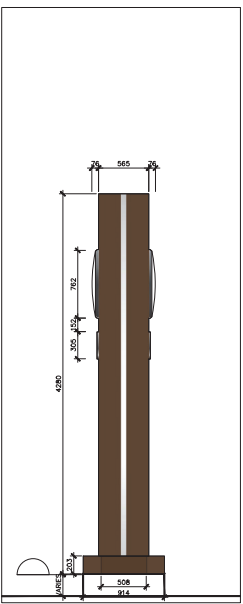
15 SIGNAGE SCHEDULE
SCALE 1:20



6 GENESIS PYLON SIDE ELEVATION
SCALE 1:20



5 GENESIS PYLON FRONT/BACK ELEVATION
SCALE 1:20



4 HYUNDAI PYLON SIDE ELEVATION
SCALE 1:20



3 HYUNDAI PYLON FRONT/BACK ELEVATION
SCALE 1:20

14 GENESIS DEALER NAME
SCALE 1:20

13 GENESIS LOGO - TYP
SCALE 1:20

11 SERVICE GENESIS - TYP
SCALE 1:20

10 SERVICE HYUNDAI - TYP
SCALE 1:20

9 HYUNDAI DEALER'S NAME - TYP
SCALE 1:20

8 HYUNDAI 3D LOGO - TYPICAL
SCALE 1:20

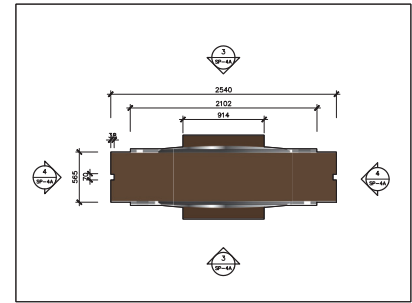
7 HYUNDAI LOGO @ VESTIBULE
SCALE 1:20

PYLON MATERIAL LEGEND

- ALUMINUM COMPOSITE PANEL (BRONZE)
- ALUMINUM COMPOSITE PANEL (BLACK MATTE)
- ALUMINUM COMPOSITE PANEL (DARK GREY)
- MOLDED CHROME FASCIA

NOTE: FOR MATERIALS AT WALL SIGNS REFER TO ELEVATIONS

2 GENESIS PYLON PLAN DETAIL
SCALE 1:20



1 HYUNDAI PYLON PLAN DETAIL
SCALE 1:20

KEY PLAN

REFER TO ELEVATIONS FOR LOCATION AND QUANTITY OF WALL SIGNS

ISSUES/REVISIONS

NO.	DATE	DESCRIPTION
1	2024-10-24	ISSUE FOR PERMIT

WZMH
WZMH Architecture
2500 Victoria Park Avenue
Markham, Ontario, Canada L3R 2K2
Tel: 416-941-4111
www.wzmmh.com

WEINS AUTO GROUP
1623 WELLINGTON ST DEVELOPMENT LTD
AUTOMOTIVE DEALERSHIP
28 SUNDAY DRIVE, AURORA, ON
Drawing Title: Signage Drawings

24/10/24
MA/SR
RS / SBA
8800

SP-4A