



SITE STATS
 LOT AREA: 399.22m²
 BUILDING AREA: 92.53m² (23.2%)
 PARKING PROVIDED: 7 (INCLUDES 1 B.F.)

LEGEND

- STORM CONNECTION
- SANITARY CONNECTION
- WATER CONNECTION
- HYDRO CONNECTION
- HYDRO CONNECTION
- DOUBLE CATCH BASIN
- CATCH BASIN
- STREET LIGHT
- ◆ HYDRANT
- TRANSFORMER
- CABLE TV PEDESTAL
- BELL PEDESTAL
- ▲ ENTRANCE DOOR LOCATION
- × GARAGE DOOR LOCATION
- COMMUNITY MAILBOX
- ENGINEERED FILL LOT
- VALVE AND CHAMBER
- SANITARY MANHOLE
- STORM MANHOLE
- AIR-CONDITIONING UNIT
- PROPOSED GRADE
- EXISTING GRADE
- PROPOSED SWALE GRADE
- DOWNSPOUT LOCATION
- TELECOM. JUNCTION BOX
- PROPOSED BERM
- SWALE DIRECTION
- ◆ HYDRO METER
- ◆ GAS METER
- FFL FINISHED FLOOR ELEVATION
- TFW TOP OF FOUNDATION WALL
- FBS FIN. BASEMENT FLOOR SLAB
- USF UNDERSIDE FOOTING ELEVATION
- BOREHOLE LOCATION
- ▲ SLOPE SECTION
- G GARBAGE BIN
- R RECYCLING BIN

METRIC
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

COMPLIANCE PACKAGE "A"

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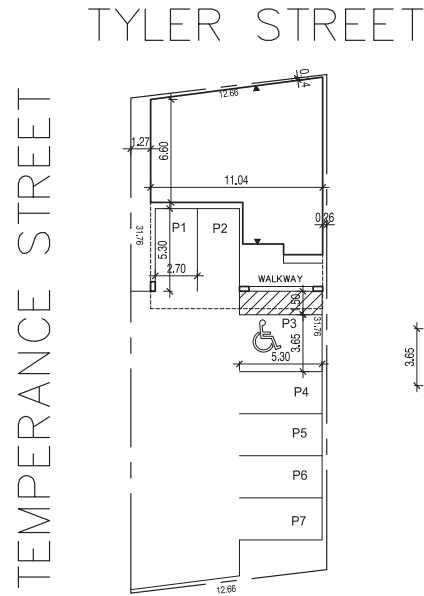
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This drawing is not to be scaled.

This drawing is not to be used for construction unless signed by the Architectural Technologist.

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3.	OCT. 1/24 REDUCED FRONT YOARD SETBACK
2.	SEPT. 18/24 REV. BARRIER-FREE PARKING
1.	DEC. 9/23 ISSUED FOR REVIEW
NO.	DATE: REVISION



ITEM	ONTARIO BUILDING CODE DATA MATRIX	IBC REFERENCE
1	PROJECT DESCRIPTION: <input type="checkbox"/> NEW <input type="checkbox"/> ALTERATION <input type="checkbox"/> PART 1/1	<input type="checkbox"/> PART 3 <input type="checkbox"/> PART 3
2	MAJOR OCCUPANCY(S): GROUP C	A1.1.2.
3	BUILDING AREA (m ²): 110.82m ²	3.1.2.1.(1)
4	GROSS AREA (m ²): 494.84m ²	A1.4.1.2.
5	NUMBER OF STOREYS ABOVE GRADE: 5 BELOW GRADE: 1	A1.4.1.2./3.2.1.1.
6	HEIGHT OF BUILDING (m): 20.17m	A1.4.1.2./3.2.1.1.
7	NUMBER OF STREETS/ACCESS ROUTES: 2	3.2.2.10./3.2.5.
8	BUILDING CLASSIFICATION: PART 3	3.1.2.1.(1)
9	SPRINKLER SYSTEM PROPOSED: <input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> RISE/EL OF ROOF FATHING <input type="checkbox"/> NOT REQUIRED	3.2.2.53
10	STANDPIPE REQUIRED: <input type="checkbox"/> YES <input type="checkbox"/> NO	
11	FIRE ALARM REQUIRED: <input type="checkbox"/> YES <input type="checkbox"/> NO	
12	WATER SERVICE SUPPLY ADEQUATE: <input type="checkbox"/> YES <input type="checkbox"/> NO	
13	HIGH BUILDING: <input type="checkbox"/> YES <input type="checkbox"/> NO	
14	PERMITTED CONSTRUCTION: <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH	3.2.2.53
15	ACTUAL CONSTRUCTION: <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH	
16	MEZZANINES AREA (m ²): N/A	A1.4.1.2.
17	OCCUPANT LOAD BASED ON: <input type="checkbox"/> PERSON LOAD <input type="checkbox"/> DESIGN OF BUILDING	3.1.17.
18	BASEMENT: OCCUPANCY LOAD PERSONS	
19	1st FLOOR: OCCUPANCY C LOAD 4 PERSONS	
20	2nd/3rd FLOOR: OCCUPANCY C LOAD 4 PERSONS	
21	4th FLOOR: OCCUPANCY C LOAD 4 PERSONS	
22	SMOKE-FREE DESIGN: <input type="checkbox"/> YES <input type="checkbox"/> NO	11.3.3.2.(2)
23	HAZARDOUS SUBSTANCES: <input type="checkbox"/> YES <input type="checkbox"/> NO	3.1.17.
24	REQUIRED FIRE RESISTANCE RATING (FRR)	3.2.2.53.
25	HORIZONTAL ASSEMBLIES: <input type="checkbox"/> YES <input type="checkbox"/> NO	
26	FLOORS: 45 HOURS	
27	ROOFS: 45 HOURS	
28	MEZZANINE: 0 HOURS	
29	FRR OF SUPPORTING MEMBERS	
30	FLOORS: 45 HOURS	
31	ROOFS: 45 HOURS	
32	MEZZANINE: 0 HOURS	
33	SPRINKLER SEPARATION CONSTRUCTION OF EXTERIOR WALLS	9.10.14
34	WALL AREA (m ²):	
35	LD (m):	
36	LN (m):	
37	LN OR DR (%)	
38	PERMITTED MAX. OF OPENINGS (%)	
39	PROPOSED % OF OPENINGS	
40	FRR (HOURS)	
41	LISTED DESIGN NO. OR DESCRIPTION (IS92)	
42	COMB. CONST.	
43	NON-COMB. CONSTR.	
44	EAST	
45	WEST	

SITE PLAN

4370 Steeles Avenue West,
 Suite 203
 Woodbridge, Ontario L4L 4Y4
 T: 416 453 9985
 e-mail: peterd@pdeldesign.ca
 www.pdeldesign.ca

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code

PETER DEL GROSSO 20567

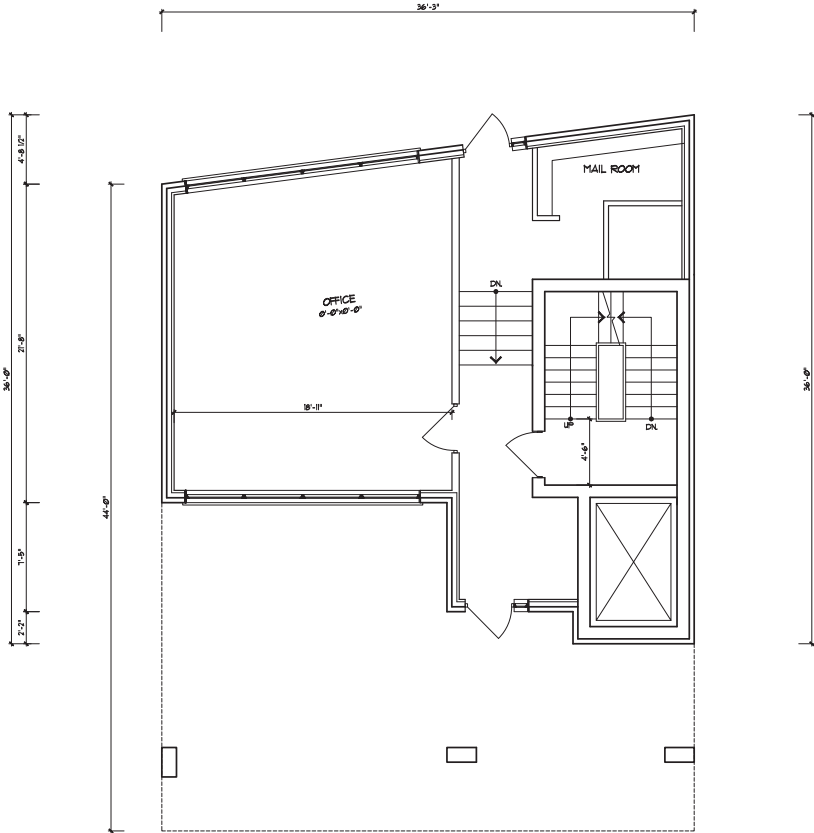
REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code

PETER DEL GROSSO 27288

PROJECT:
PROPOSED 5 STOREY BUILDING

15 TYLER STREET
 AURORA, ONTARIO

AREA: DATE: JULY 24/24
 SCALE: 1:200 DRAWN BY: PDG
 DRAWING No.: **SP-01**
 PROJECT No.: 00-00



GROUND FLOOR PLAN

TYPICAL BASEMENT FLOOR PLAN NOTES:
 ALL CONCRETE FOOTINGS SHALL REST ON UNDISTURBED SOIL WITH A MIN. ALLOWABLE BEARING CAPACITY OF 50 Kpa (5000 PSF) AND BE FOUND ON A MIN. OF 4'-0" BELOW FINISHED GRADE.
 CONCRETE STRENGTH FOR CONCRETE FOOTINGS SHALL BE MIN. OF 28MPa. FOR FOUND. WALLS SHALL BE 28MPa, UN AND REFER TO TYP. DETAIL.
 CONCRETE STRENGTH FOR GARAGE SLAB, CONCRETE FLOORS AND STEPS SHALL BE 4 MIN. 30MPa, WITH 5 - #6 AIR ENTRAINMENT, UNLESS NOTED OTHERWISE.
 CONCRETE STRIP FOOTING SIZE FOR 10" P. CONC. WALLS SHALL BE MIN. OF 8"x22" UNREINFORCED FOR LIP TO 16'-0" JOIST SPAN.
 THE ABOVE FOOTING SIZE WILL BE USED FOR FOUNDATION WALLS WHICH SUPPORT 2 STOREYS OF BRICK VENEER WALL CONSTRUCTION 2 FLOORS AND ROOF OF LIGHT WOOD TRUSS CONSTRUCTION WITH SPAN OF SUPPORTED JOIST THAT DO NOT EXCEED 45m (147') AT A SPECIFIED LIVE LOAD OF NOT GREATER THAN 24 Kpa (50 PSF).
 REFER TO BASEMENT PLAN FOR FOOTING SIZES IN AREAS EXCEEDING THE ABOVE CONDITIONS.
 3/4" SUB-FLOOR TO BE GLUED & NAILED (TYP.).
 REFER JOIST MANUFACTURER'S SPECIFICATIONS FOR ALL TECHNICAL DETAILS & LAYOUT.
 ALL JOISTS UNDER CERAMIC TILES TO BE INSTALLED AS PER JOIST MANUF. SHOP DIGG'S.
 ALL LVLS SHALL BE 1/2" GRADE MICROROLL LVL OR BETTER U.S.C.
 F1: 36"x36"x16"
 F3: 20"x20"x12"
 ALL RETURN AIR PARTITIONS TO BE 6" - REFER TO HVAC DRAWINGS

BRICK VENEER LINTELS

UL1	= 3 1/2" x 3 1/2" x 1/4"	(30-09-06)	+ 2-2" x 8" SFR
UL2	= 4" x 3 1/2" x 5/8"	(30-09-08)	+ 2-2" x 8" SFR
UL3	= 5" x 3 1/2" x 5/8"	(30-09-09)	+ 2-2" x 10" SFR
UL4	= 6" x 3 1/2" x 3/8"	(30-09-04)	+ 2-2" x 12" SFR
UL5	= 6" x 4" x 3/8"	(30-09-05)	+ 2-2" x 12" SFR
UL6	= 5" x 3 1/2" x 5/8"	(30-09-08)	+ 2-2" x 12" SFR
UL7	= 5" x 3 1/2" x 5/8"	(30-09-08)	+ 3-2" x 10" SFR
UL8	= 5" x 3 1/2" x 5/8"	(30-09-08)	+ 3-2" x 12" SFR
UL9	= 6" x 4" x 5/8"	(30-09-06)	+ 3-2" x 12" SFR

WOOD LINTELS AND BEAMS

WB1	= 2-2" x 8" SFR/CE BEAM
WB2	= 3-2" x 8" SFR/CE BEAM
WB3	= 2-2" x 10" SFR/CE BEAM
WB4	= 3-2" x 10" SFR/CE BEAM
WB5	= 2-2" x 12" SFR/CE BEAM
WB6	= 3-2" x 12" SFR/CE BEAM
WB7	= 3-2" x 12" SFR/CE BEAM
WB8	= 4-2" x 8" SFR/CE BEAM
WB9	= 4-2" x 12" SFR/CE BEAM

STEEL LINTELS

L1	= 3 1/2" x 3 1/2" x 1/4"	(89-09-04)
L2	= 4" x 3 1/2" x 5/8"	(89-09-05)
L3	= 5" x 3 1/2" x 5/8"	(73-09-05)
L4	= 6" x 3 1/2" x 3/8"	(30-09-05)
L5	= 6" x 4" x 3/8"	(30-09-05)
L6	= 7" x 4" x 3/8"	(78-09-05)
L7	= 7" x 4" x 1/2"	(78-09-05)

(LVL) BEAMS

LVL1A	= 1-3/4" x 1-1/4"	(1-0-084)
LVL1	= 2-1/4" x 1-1/4"	(2-0-084)
LVL2	= 3-1/4" x 1-1/4"	(3-0-084)
LVL3	= 4-1/4" x 1-1/4"	(4-0-084)
LVL4A	= 1-3/4" x 9 1/2"	(1-0-029)
LVL4	= 2-3/4" x 9 1/2"	(2-0-029)
LVL5A	= 3-3/4" x 9 1/2"	(3-0-029)
LVL5	= 4-3/4" x 9 1/2"	(4-0-029)
LVL6A	= 1-3/4" x 11 7/8"	(1-0-000)
LVL6	= 2-3/4" x 11 7/8"	(2-0-000)
LVL7	= 3-3/4" x 11 7/8"	(3-0-000)
LVL7A	= 4-3/4" x 11 7/8"	(4-0-000)

COMPLIANCE PACKAGE "A1"

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 This drawing is not to be used for construction unless signed by the Architectural Technologist.

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2.	OCT. 12/4	REV. TILE BLOCK TO 5 STOREY BUILDING
1.	AUG. 26/24	ISSUED FOR REVIEW
NO.	DATE	REVISION



DRAWING TITLE:
EXISTING GROUND FLOOR PLAN

P DEL DESIGN
 4370 Steeles Avenue West,
 Suite 203
 Woodbridge, Ontario L4L 4Y4
 T: 416 453 9985
 e-mail: peterd@pdeldesign.ca
 www.pdeldesign.ca

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code:
 PETER DEL GROSSO 20567

REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code:
 PETER DEL GROSSO 27288

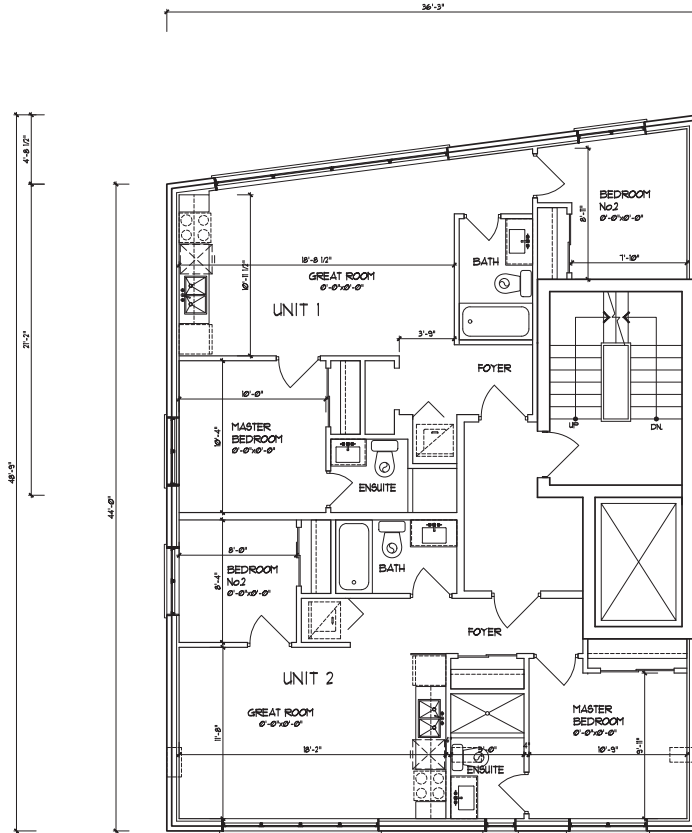
PROJECT:
PROPOSED 5 STOREY BUILDING

15 TYLER STREET
 AURORA, ONTARIO

AREA: DATE: JULY 26/24
 SCALE: 3/16"=1'-0" DRAWN BY: PDG

DRAWING No.:
A-01

PROJECT No.: 00-00



SECOND/THIRD FLOOR PLAN

- TYPICAL GROUND FLOOR NOTES**
- REFER JOIST MANUFACTURER'S SPECIFICATIONS FOR ALL TECHNICAL DETAILS & LAYOUT
 - 5/4" SUB-FLOOR TO BE GLEUED & NAILED FOR GROUND FLOOR
 - 5/8" SUB-FLOOR FOR SECOND FLOOR (TYP)
 - ALL JOISTS UNDER CERAMIC TILES TO BE INSTALLED AS PER JOIST MANUF. SHOP DRGS.
 - NO VOLUTE ON STAIRS RAILING
 - ALL LVLS SHALL BE TO GRADE MOROCCAN O.V. OR BETTER L.S. & C.
- REFER TRUSS SHOP DATA FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS
- 8'-2" DENOTES CEILING HEIGHT
- ALL RETURN AIR PARTITIONS TO BE 6" - REFER TO HVAC DRAWINGS

AREA CALCULATION

UNIT 1	711	SQ. FT.
UNIT 2	671	SQ. FT.
SUBTOTAL	1388	SQ. FT.
	28.05	M²
DEDUCT ALL OPEN AREAS		
	0	SQ. FT.
TOTAL NET AREA	1388	SQ. FT.
	28.05	M²
COMMERCIAL AREA		
	465	SQ. FT.
COVERAGE GROUND FLOOR	1074	SQ. FT.
	9420	M ²
COVERAGE RESIDENTIAL UNITS	1680	SQ. FT.
	15608	M ²

COMPLIANCE PACKAGE "A1"

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2.	OCT. 12/24	REV. TILE BLOCK TO 5 STOREY BUILDING
1.	AUG. 28/24	ISSUED FOR REVIEW
NO.	DATE	REVISION



DRAWING TITLE:
PROPOSED SECOND/THIRD FLOOR



P DEL DESIGN
4370 Steeles Avenue West,
Suite 203
Woodbridge, Ontario L4L 4Y4
T: 416 453 9985
e-mail: peterd@pdeldesign.ca
www.pdeldesign.ca

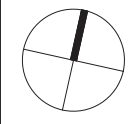
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PETER DEL GROSSO 20567

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code

PETER DEL GROSSO 27288



PROJECT:
PROPOSED 5 STOREY BUILDING

15 TYLER STREET
AURORA, ONTARIO

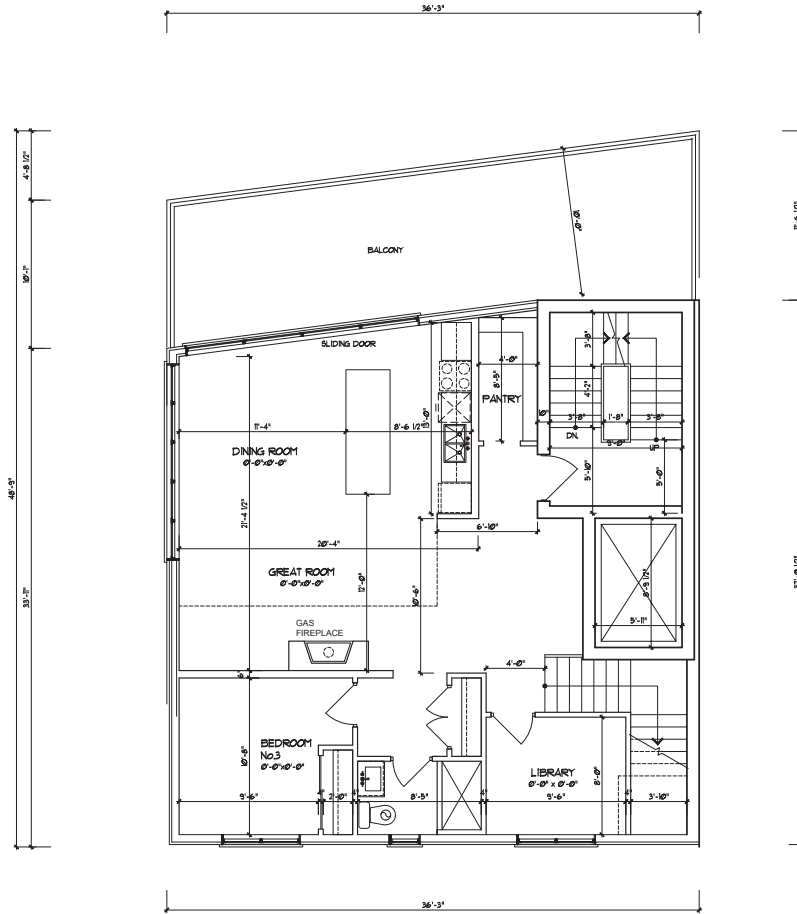
AREA: DATE: JULY 26/24

SCALE: 3/16" = 1'-0" DRAWN BY: PDG

DRAWING No.:

A-02

PROJECT No.: 00-00



FORTH FLOOR
GROUND FLOOR PLAN

AREA CALCULATION	
GROUND FLOOR AREA	1096 SQ. FT.
MEZZANINE AREA	200 SQ. FT.
SUBTOTAL	1296 SQ. FT.
	176.14 M ²
DEDUCT ALL OPEN AREAS	0 SQ. FT.
TOTAL NET AREA	1296 SQ. FT.
	176.14 M ²
COMMERCIAL AREA	465 SQ. FT.
COVERAGE GROUND FLOOR	1074 SQ. FT.
	94.20 M ²
COVERAGE RESIDENTIAL UNITS	1620 SQ. FT.
	156.08 M ²

SECOND FLOOR PLAN

COMPLIANCE PACKAGE "A1"

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2.	OCT. 12/24	REV. TILE BLOCK TO 5 STOREY BUILDING
1.	AUG. 28/24	ISSUED FOR REVIEW
NO.	DATE	REVISION



DRAWING TITLE:
PROPOSED FORTH GROUND FLOOR

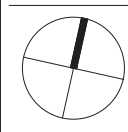


P DEL DESIGN
4370 Steeles Avenue West,
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Woodbridge, Ontario L4L 4Y4
T: 416 453 9985
e-mail: peterd@pdeldesign.ca
www.pdeldesign.ca

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QUALIFICATION INFORMATION
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PETER DEL GROSSO 20567

REGISTRATION INFORMATION
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PETER DEL GROSSO 27288

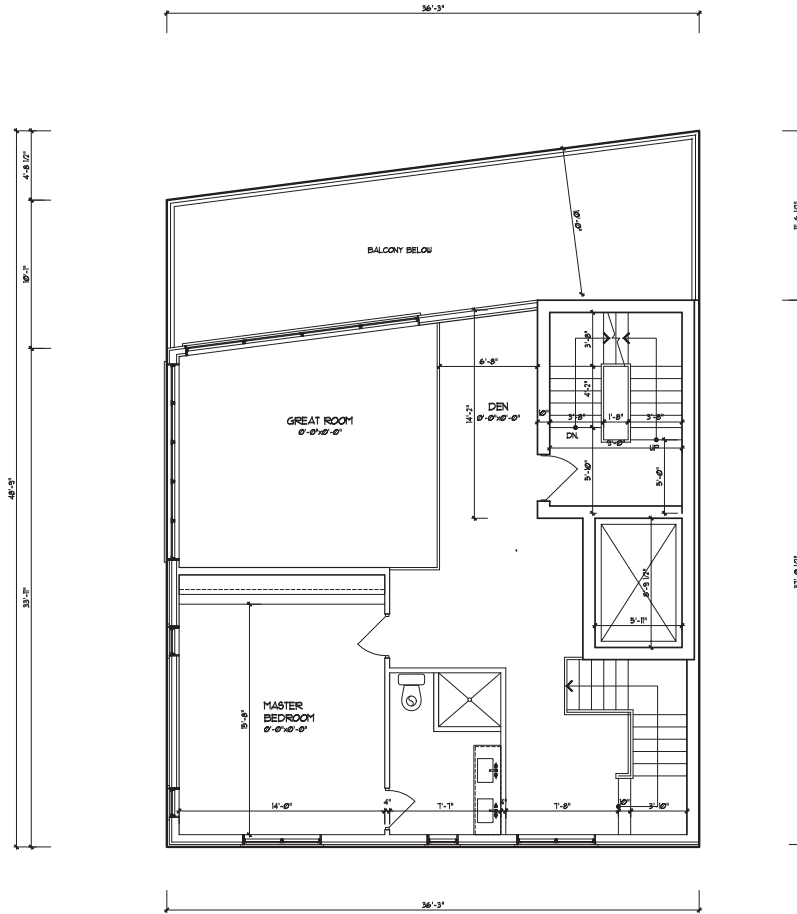


PROJECT:
PROPOSED 5 STOREY BUILDING

15 TYLER STREET
AURORA, ONTARIO

AREA:	DATE:	JULY 26/24
SCALE:	3/16" = 1'-0"	DRAWN BY: PDG
DRAWING No.:	A-03	

PROJECT No.: 00-00



FORTH FLOOR
MEZZANINE FLOOR PLAN

SECOND FLOOR PLAN

REFER TRUSS SHOP DALLA FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS						
<table border="1"> <tr> <td>====</td> <td>(T)</td> <td>DENOTES STUD WALL REINFORCED FOR FUTURE GRAB BARS. REFER TO DETAIL 6/D-3</td> </tr> <tr> <td>CEILING</td> <td></td> <td>DENOTES CEILING HEIGHT</td> </tr> </table>	====	(T)	DENOTES STUD WALL REINFORCED FOR FUTURE GRAB BARS. REFER TO DETAIL 6/D-3	CEILING		DENOTES CEILING HEIGHT
====	(T)	DENOTES STUD WALL REINFORCED FOR FUTURE GRAB BARS. REFER TO DETAIL 6/D-3				
CEILING		DENOTES CEILING HEIGHT				
ALL RETURN AIR PARTITIONS TO BE 6" - REFER TO HVAC DRAWINGS						

COMPLIANCE PACKAGE "A1"

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1.	AUG. 28/24	ISSUED FOR REVIEW
NO.	DATE	REVISION



DRAWING TITLE:
PROPOSED MEZZANINE FLOOR



P DEL DESIGN
4370 Steeles Avenue West,
Suite 203
Woodbridge, Ontario L4L 4Y4
T: 416 453 9985
e-mail: peterd@pdeldesign.ca
www.pdeldesign.ca

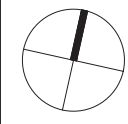
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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of The Building Code

PETER DEL GROSSO 20567

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of The Building Code

PETER DEL GROSSO 27288



PROJECT:
PROPOSED 5 STOREY BUILDING

15 TYLER STREET
AURORA, ONTARIO

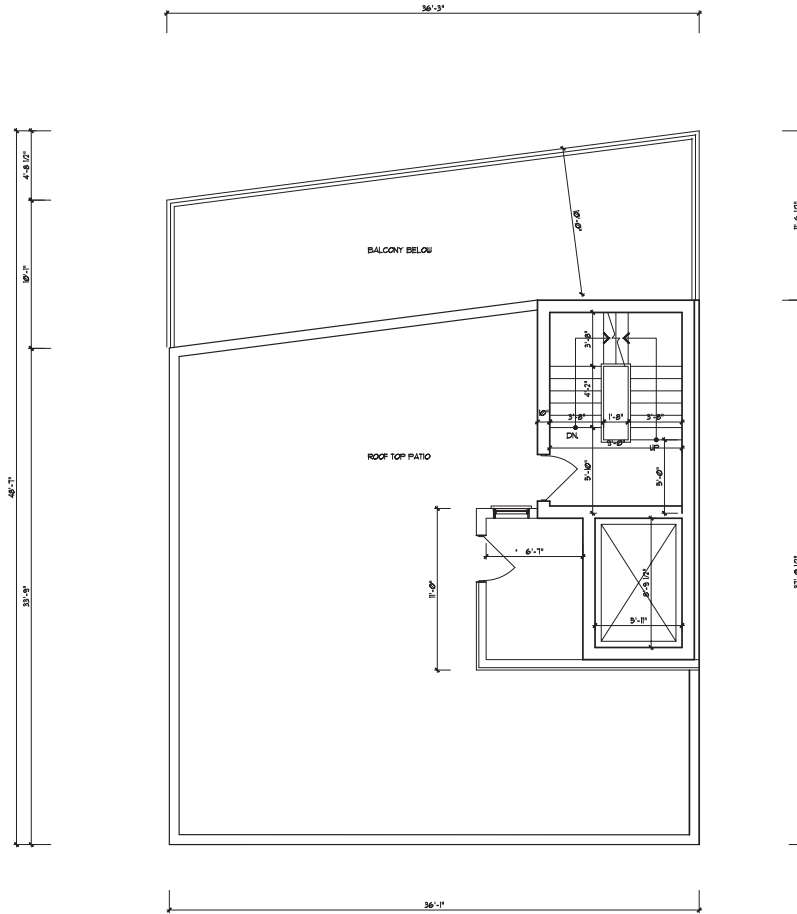
AREA: DATE: JULY 26/24

SCALE: 3/16" = 1'-0" DRAWN BY: PDG

DRAWING No.:

A-04

PROJECT No.: 00-00



ROOF TOP FLOOR PLAN

SECOND FLOOR PLAN

COMPLIANCE PACKAGE "A1"

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REFER TRUSS SHOP DALLS FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS						
<table border="1"> <tr> <td>====</td> <td>(T)</td> <td>DENOTES STUD WALL REINFORCED FOR FUTURE GRAB BARS. REFER TO DETAIL 6/D-3</td> </tr> <tr> <td>CEILING</td> <td></td> <td>DENOTES CEILING HEIGHT</td> </tr> </table>	====	(T)	DENOTES STUD WALL REINFORCED FOR FUTURE GRAB BARS. REFER TO DETAIL 6/D-3	CEILING		DENOTES CEILING HEIGHT
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CEILING		DENOTES CEILING HEIGHT				
ALL RETURN AIR PARTITIONS TO BE 6" - REFER TO HVAC DRAWINGS						

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2.	OCT. 12/24	REV. TILE BLOCK TO 5 STOREY BUILDING
1.	AUG. 28/24	ISSUED FOR REVIEW
NO.	DATE	REVISION



DRAWING TITLE:
PROPOSED ROOF TOP PATIO

P DEL DESIGN
4370 Steeles Avenue West,
Suite 203
Woodbridge, Ontario L4L 4Y4
T: 416 453 9985
e-mail: peterd@pdeldesign.ca
www.pdeldesign.ca

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached document.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of The Building Code:

PETER DEL GROSSO 20567

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of The Building Code:

PETER DEL GROSSO 27288

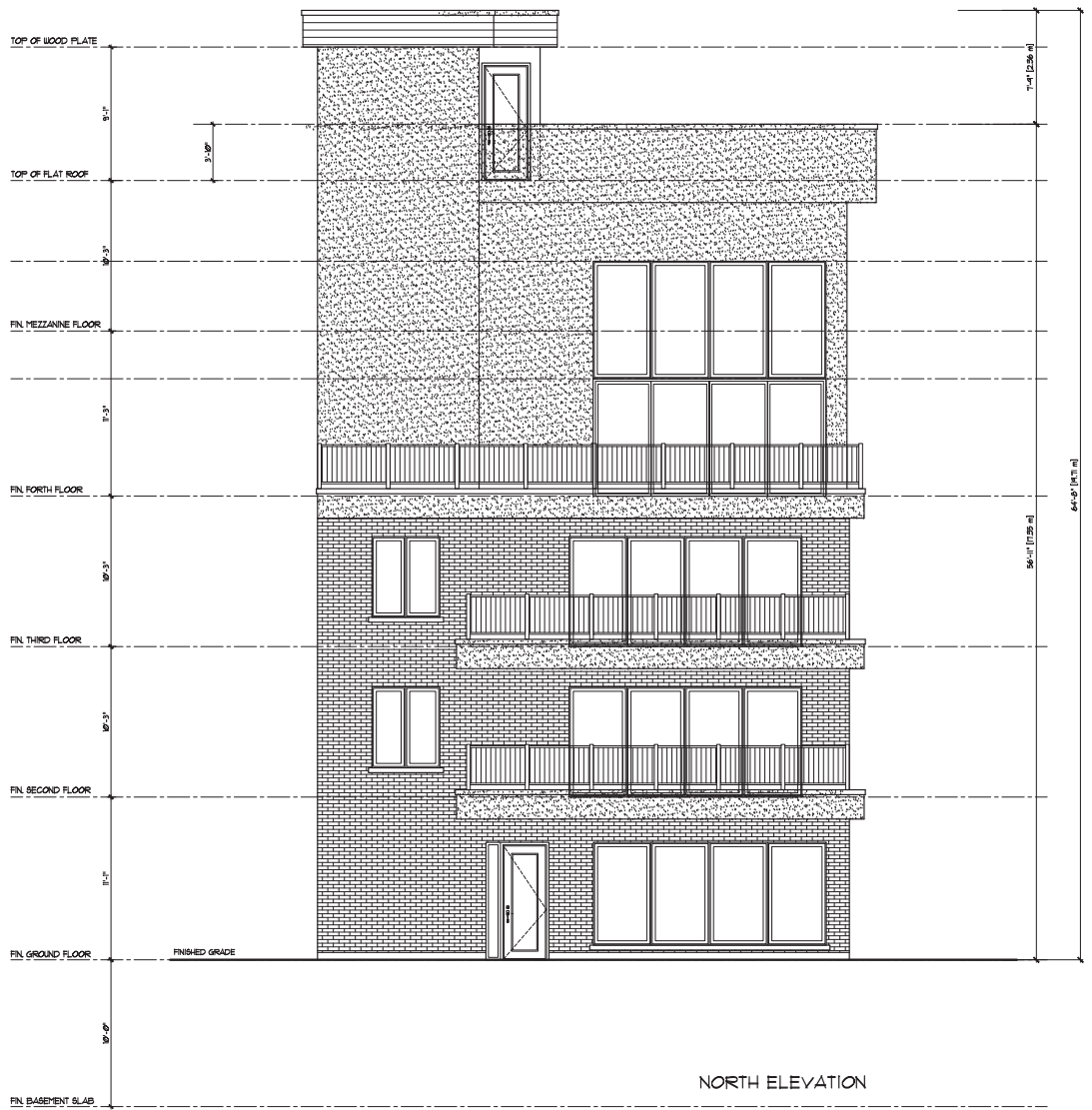


PROJECT:
PROPOSED 5 STOREY BUILDING

15 TYLER STREET
AURORA, ONTARIO

AREA:	DATE:	JULY 26/24
SCALE:	3/16" = 1'-0"	DRAWN BY: PDG

DRAWING No.:
A-05
PROJECT No.: 00-00



NORTH ELEVATION

REFER TO TRUSS SHOP DINGS FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS

REFER TO JOIST MANUFACTURERS SPECIFICATIONS FOR ALL TECHNICAL DETAILS & INFO

ACTUAL FINISH GRADES MAY VARY DEPENDING ON LOT CONDITIONS. (REFER TO GRADING PLANS)

RAILING REQUIRED WHEN GRADE IS MORE THAN 2'-0"

COMPLIANCE PACKAGE "A1"

The Architectural Technologist is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. engineering information shown on the drawing. Refer to the appropriate engineering drawings before proceeding with work.

Contractor shall check all dimensions on the work and report any discrepancy to the Architectural Technologist before proceeding. Construction must conform to all applicable Codes and Requirement of Authorities having jurisdiction.

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This drawing is not to be scaled.
This drawing is not to be used for construction unless signed by the Architectural Technologist.

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2.	OCT. 1/24 REV. TILE BLOCK TO 5 STOREY BUILDING	
1.	AUG. 28/24 ISSUED FOR REVIEW	
NO.	DATE	REVISION



DRAWING TITLE:
NORTH (FRONT) ELEVATION

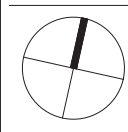


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PROJECT:
PROPOSED 5 STOREY BUILDING

15 TYLER STREET
AURORA, ONTARIO

AREA: DATE: JULY 26/24
SCALE: 3/16" = 1'-0" DRAWN BY: PDG

DRAWING No.:
A-06

PROJECT No.: 00-00



REFER TO TRUSS SHOP DESIGNS FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS

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2.	OCT. 12/4 REV. TILE BLOCK TO 5 STOREY BUILDING	
1.	AUG. 26/24 ISSUED FOR REVIEW	
NO.	DATE	REVISION



DRAWING TITLE:
WEST (SIDE) ELEVATION



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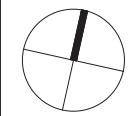
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PETER DEL GROSSO 20567

REGISTRATION INFORMATION
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PETER DEL GROSSO 27288



PROJECT:
PROPOSED 5 STOREY BUILDING

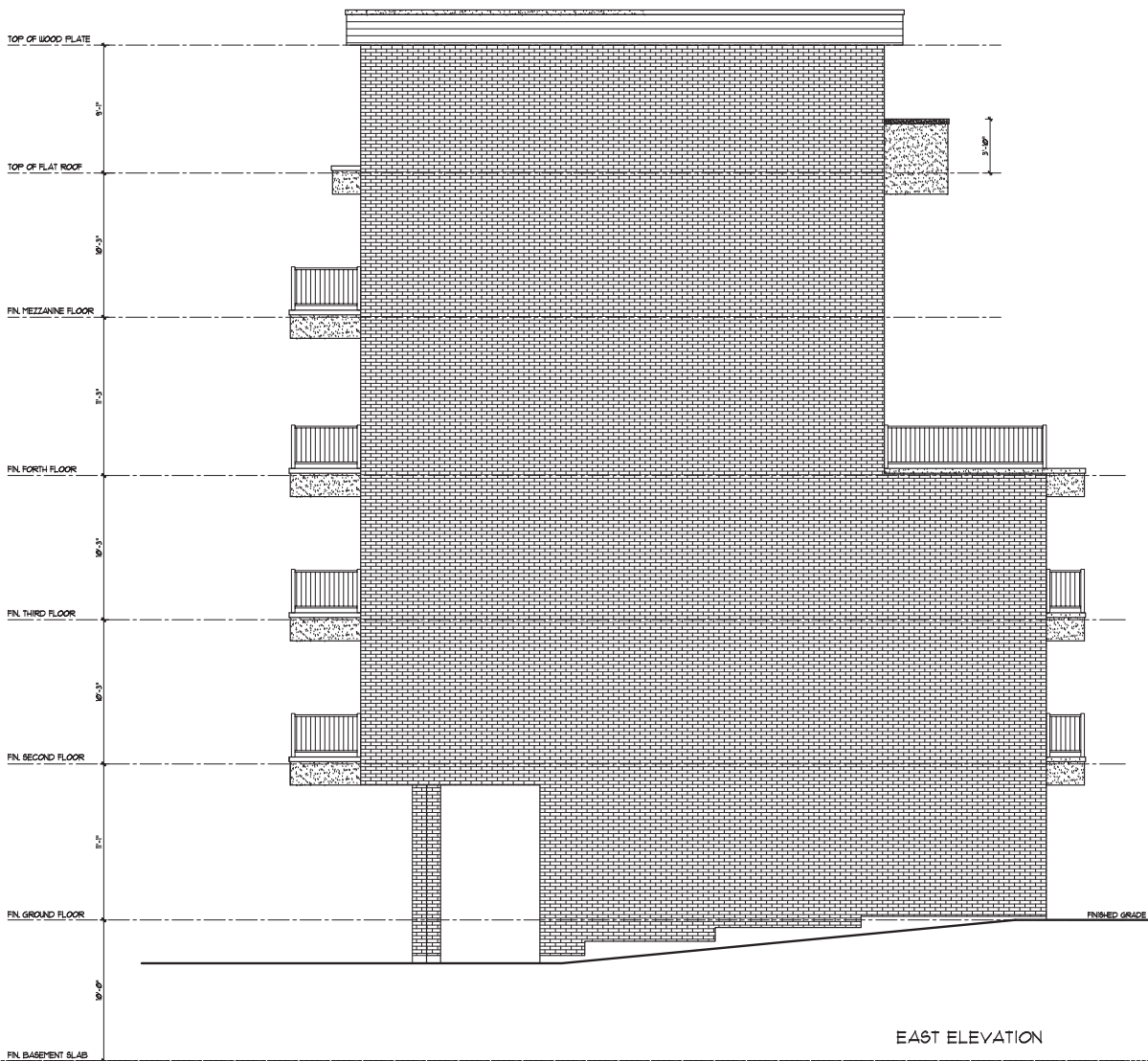
15 TYLER STREET
AURORA, ONTARIO

AREA: DATE: JULY 26/24

SCALE: 3/16" = 1'-0" DRAWN BY: PDG

DRAWING No.: **A-07**

PROJECT No.: 00-00



REFER TO TRUSS SHOP DRAWINGS FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS

REFER TO JOIST MANUFACTURERS SPECIFICATIONS FOR ALL TECHNICAL DETAILS & INFO.

ACTUAL FINISH GRADES MAY VARY DEPENDING ON LOT CONDITIONS. REFER TO GRADING PLANS

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1.	AUG. 26/24 ISSUED FOR REVIEW	
NO.	DATE	REVISION



DRAWING TITLE:
EAST (SIDE) ELEVATION

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PROJECT:
PROPOSED 5 STOREY BUILDING

15 TYLER STREET
AURORA, ONTARIO

AREA: DATE: JULY 26/24
SCALE: 3/16" = 1'-0" DRAWN BY: PDG

DRAWING No.:
A-08

PROJECT No.: 00-00



REFER TO TRUSS 84-0P DESIG. FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS.

REFER TO JOIST MANUFACTURERS SPECIFICATIONS FOR ALL TECHNICAL DETAILS & INFO.

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1.	AUG. 26/24	ISSUED FOR REVIEW
NO.	DATE	REVISION



DRAWING TITLE:
SOUTH (REAR) ELEVATION

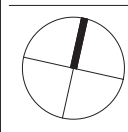


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PROJECT:
PROPOSED 5 STOREY BUILDING

15 TYLER STREET
AURORA, ONTARIO

AREA: DATE: JULY 26/24
SCALE: 3/16" = 1'-0" DRAWN BY: PDG

DRAWING No.:

A-09

PROJECT No.: 00-00

NORTH ELEVATION