

## INTERNAL MEMORANDUM

VIA EMAIL

**DATE:** November 17, 2021

**TO:** B. Butler, Planning and Development Services  
B. Jean, Planning and Development Services  
G. Greidanus, Operational Services  
L. Hausz, Manager, Policy Planning and Economic Development  
J. Van Scheyndel, Corporate Services  
J. McDonald, Central York Fire Services  
B. Manoharan, Heritage Planning, Planning and Development Services  
M. Bat, Engineering and Capital Delivery  
A. Downey, Operational Services  
A. Cutler, Waste and Recycling Coordinator  
M. Zawada, Accessibility Advisor

**CC:** Mayor and Members of Council  
David Waters, Director of Planning and Development Services  
Council Secretariat, Corporate Services

**FROM:** Matthew Peverini, Planning and Development Services

**RE:** **Official Plan and Zoning By-law Amendment Applications**  
**Zameni**  
**14086 Yonge Street**  
**Part of Lot 1, Plan 132**  
**File Numbers: OPA-2021-05 and ZBA-2021-07**

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The above Official Plan and Zoning By-law Amendment Applications have been submitted to the Planning and Development Services for review and consideration. The Applications were deemed Complete on November 15, 2021.

The Applicant is proposing to facilitate the development of five (5) detached residential dwellings along a private road.

A link containing all materials submitted with the applications is provided below:

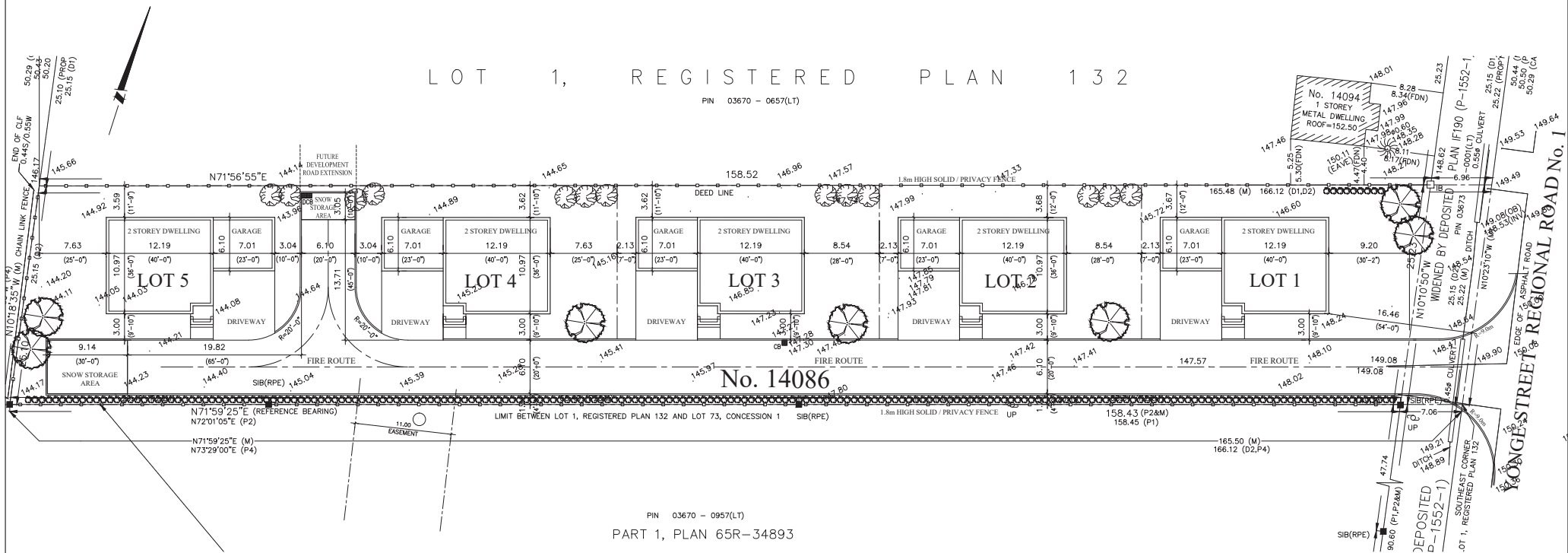
<https://townofaurora.kiteworks.com/w/VMALD10Lvso6qH8Qe659K3lolbsMnWdBBrhRwhcCxkk9X>

I would appreciate receiving your comments by **December 7, 2021**. If we have not received your comments by the specified time frame, we will assume you have no comments or concerns.

Should you have any questions regarding the above noted proposal, please feel free to contact me

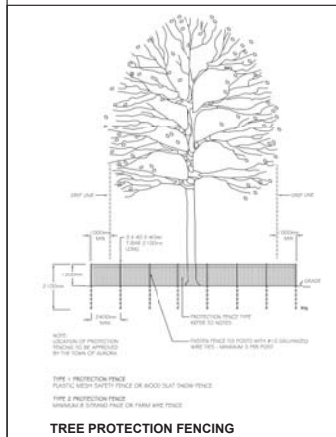
# LOT 1, REGISTERED PLAN 132

PIN 03670 - 0657(LT)



## SITE PLAN

SCALE: 1:200



SUBMISSION No. 1

TOWN OF AURORA  
PLANNING AND DEVELOPMENT SERVICES  
Development Planning Division  
DATE: Oct 28, 2021  
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## SITE STATISTICS

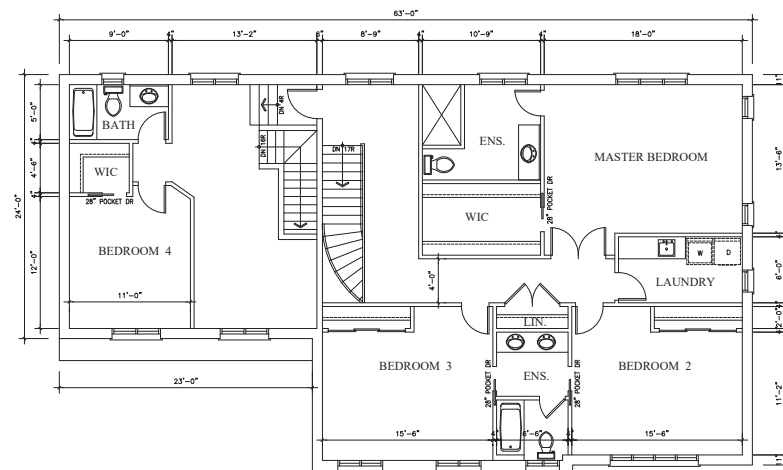
EXISTING ZONING:	OPA-34-UR-ORM
PROPOSED ZONING:	AMEND ABOVE ZONING
OVERALL LOT AREA (NOT INCLUDING ROAD WIDENING AREA)	3,951.45 m <sup>2</sup> 42,534 s.f.
<b>LOT 1</b>	
LOT AREA	560.21 m <sup>2</sup> 6,030 s.f.
COVERAGE	176.50 m <sup>2</sup> 1,900 s.f. (31.51 %)
<b>LOT 2</b>	
LOT AREA	526.83 m <sup>2</sup> 5,671 s.f.
COVERAGE	176.50 m <sup>2</sup> 1,900 s.f. (33.50 %)
<b>LOT 3</b>	
LOT AREA	526.18 m <sup>2</sup> 5,664 s.f.
COVERAGE	176.50 m <sup>2</sup> 1,900 s.f. (33.54 %)
<b>LOT 4</b>	
LOT AREA	517.63 m <sup>2</sup> 5,572 s.f.
COVERAGE	176.50 m <sup>2</sup> 1,900 s.f. (34.10 %)
<b>LOT 5</b>	
LOT AREA	537.70 m <sup>2</sup> 5,788 s.f.
COVERAGE	176.50 m <sup>2</sup> 1,900 s.f. (32.82 %)

SURVEY INFORMATION PREPARED BY  
VLADIMIR DOSEN SURVEYING, OLS.  
DATED OCTOBER 11, 2016  
SURVEYOR'S REAL PROPERTY REPORT  
PART OF  
LOT 1  
REGISTER PLAN 132  
TOWN OF AURORA  
REGIONAL MUNICIPALITY OF YORK

3	MAY 04/21	REVISED
2	MAY 04/21	REVISED
1	MAY 04/21	ISSUED FOR REVIEW
No.	Date	Revised
Contractor must check and verify all dimensions and conditions on the job, and report any discrepancies to the Designer before proceeding with the work. DO NOT SCALE DRAWINGS.		
Frank Rotundo - Architect / Design Consultant 1000 Yonge Street, Suite 1000, Toronto, Ontario M4W 1Y7 Tel: (416) 593-1111 Fax: (416) 593-1112 Email: frank@frankrotundo.com		
Project: <b>DETACHED RESIDENTIAL DWELLINGS</b> 14086 YONGE STREET AURORA, ON.		
Drawing Title <b>SITE PLAN</b>		
Sheet	AS SHOWN	Sheet Number
Date		
Project Number		

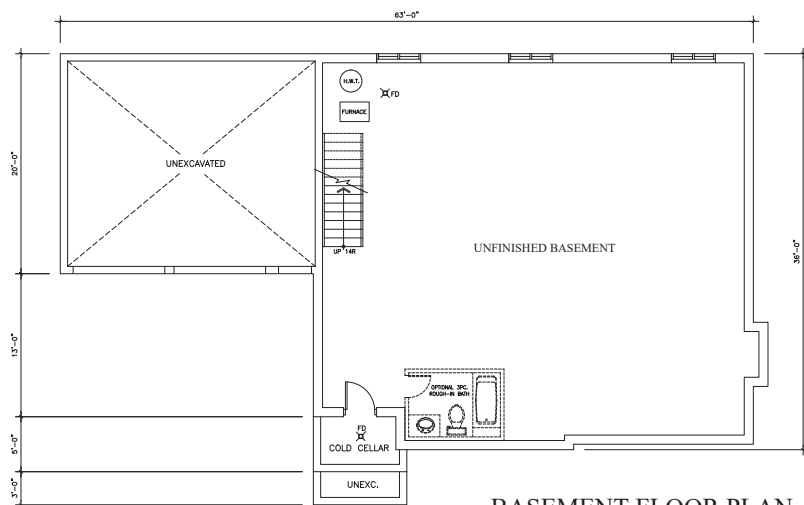
A.1

TOTAL BUILDING AREA	-	180.78 m <sup>2</sup>	1,946 s.f.
GROSS FLOOR AREA:			
GROUND FLOOR AREA	-	130.06 m <sup>2</sup>	1,400 s.f.
SECOND FLOOR AREA	-	176.51 m <sup>2</sup>	1,900 s.f.
TOTAL GFA	-	306.57 m <sup>2</sup>	3,300 s.f.



**SECOND FLOOR PLAN**

SCALE: 3/16" = 1'-0"

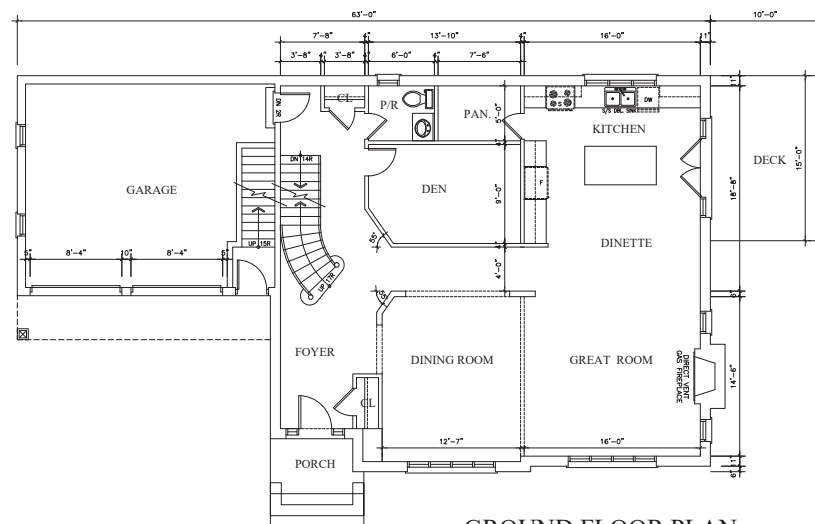


**BASEMENT FLOOR PLAN**

SCALE: 3/16" = 1'-0"

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**GROUND FLOOR PLAN**

SCALE: 3/16" = 1'-0"

3	REV. 06/21	REVISED
2	REV. 07/20	REVISED
1	REV. 09/20	ISSUED FOR REVIEW

Contractor must check and verify all dimensions and conditions on the job, and report any discrepancies to the Designer before proceeding with the work.  
DO NOT SCALE DRAWINGS.

Frank Rotundo - Architect / Design Consultant  
110 Rotunda Court, Richmond Hill, ON L4B 2H6  
(905) 881-1100 • 1000 Rotunda Court, Aurora, ON

Project:  
**DETACHED RESIDENTIAL DWELLINGS**  
14086 YONGE STREET  
AURORA, ON

Drawing Title

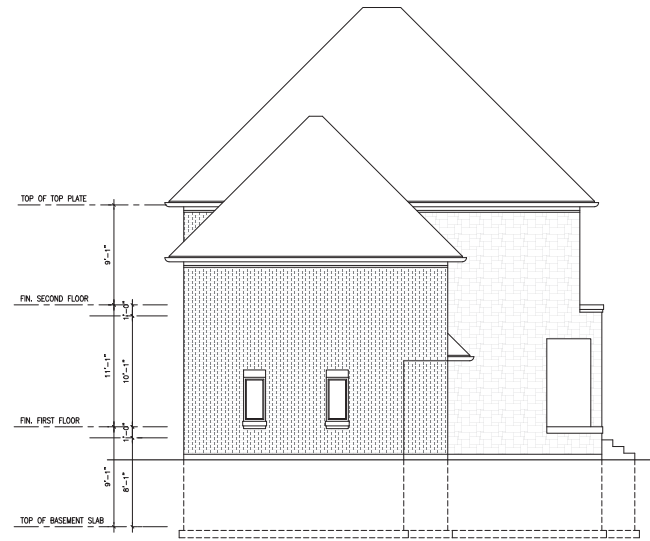
**TYPICAL FLOOR PLANS**

Scale	AS SHOWN	Drawing Number
Date		<b>A.2</b>
Project Number		



FRONT ELEVATION A

SCALE: 3/16" = 1'-0"



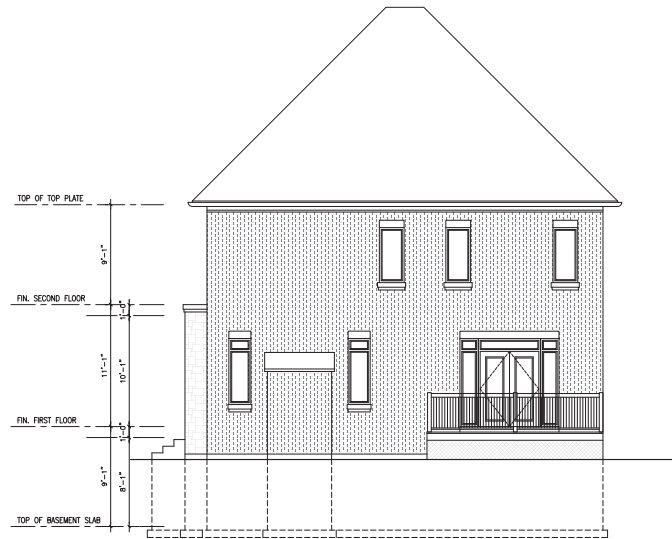
LEFT SIDE ELEVATION

SCALE: 3/16" = 1'-0"



REAR ELEVATION

SCALE: 3/16" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 3/16" = 1'-0"

SUBMISSION No. 1



3	MAY 26/21	REVISED
2	DEC. 07/20	REVISED
1	MAR. 09/20	ISSUED FOR REVIEW
No.	Date	Revision
Contractor must check and verify all dimensions and conditions on the job, and report any discrepancies to the Designer before proceeding with the work. DO NOT SCALE DRAWINGS.		
Frank Rotundo - Architect / Design Consultant 100 Princes Street, Aurora, Ontario L4G 1G4 (416) 709-1000		
<b>Project:</b> <b>DETACHED RESIDENTIAL DWELLINGS</b> 14086 YONGE STREET AURORA, ON.		
<b>Drawing Title</b>		
<b>TYPICAL ELEVATIONS</b>		
Scale	AS SHOWN	Drawing Number
Date		<b>A.3</b>
Project Number		



FRONT ELEVATION B

SCALE: 3/16" = 1'-0"



FRONT ELEVATION C

SCALE: 3/16" = 1'-0"



FRONT ELEVATION C.1

SCALE: 3/16" = 1'-0"

SUBMISSION No. 1



3	MAY 06/21	REVISED
2	DEC. 07/20	REVISED
1	MAR. 09/20	ISSUED FOR REVIEW
No.	Date	Revision
Contractor must check and verify all dimensions and conditions on the job, and report any discrepancies to the Designer before proceeding with the work.		
DO NOT SCALE DRAWINGS.		
Frank Rotundo - Architect / Design Consultant		
1000 Yonge Street, Suite 101, Aurora, ON L4G 1B1		
Project:		
<b>DETACHED RESIDENTIAL DWELLINGS</b>		
14001 YONGE STREET		
AURORA, ON		
Drawing Title		
<b>ALTERNATIVE FRONT ELEVATIONS</b>		
Scale	AS SHOWN	Drawing Number
Date		
Project Number		

A.4



STREETSCAPE  
NOT TO SCALE



COLOUR RENDERING  
NOT TO SCALE

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3	MAY 16/21	REVISED
2	DEC. 07/20	REVISED
1	MAY 06/20	ISSUED FOR REVIEW
No.	Date	Revision
<p>Contractor must check and verify all dimensions and conditions on the job, and report any discrepancies to the Designer before proceeding with the work.</p> <p>DO NOT SCALE DRAWINGS.</p> <p>Frank Rotundo - Architect / Design Consultant 66 Rathfriland Drive - Richmond Hill, Ont. L4B 2T6 (905) 709-1100 frank@frankrotundo.com</p> <p>Project: <b>DETACHED RESIDENTIAL DWELLINGS</b> 14086 YONGE STREET AURORA, ON.</p> <p>Drawing Title <b>COLOUR STREETSCAPE</b></p>		
Scale	AS SHOWN	Drawing Number
Date		A.5
Project Number		