

INTERNAL MEMORANDUM

DATE: October 12, 2021

TO: B. Butler, Planning and Development Services
B. Jean, Building Division
M. Bat, Engineering & Capital Delivery Division
J. Van Scheyndel, Corporate Services
M. Zawada, Accessibility Advisor
B. Jakovina, Operations – Parks
A. Cutler, Waste/Recycling Coordinator
E. Terry, Policy Planning
S. Corr, Planning and Development Services
B. Manoharan, Heritage Planning

CC: Mayor and Members of Council
D. Waters, Director of Planning and Development Services
L. Hausz, Manager, Economic Development and Policy
A. Henriques, Manager of Planning and Development Services

FROM: Sean Lapenna, Planning and Development Services

RE: **Application for Site Plan Approval – Elementary School
York Region District School Board
377 Hartwell Way (SP-2021-12)**

A **1ST submission** has been made to Planning and Development Services for the above noted Site Plan application to facilitate a two-storey JK-8 elementary school (638 students) which will include a bus drop-off lane, parking, an asphalt play yard, fenced play areas and green space throughout. The school will also include a child care program to provide child care services (maximum of 48 children).

Due to file size restrictions, the majority of supporting documents for this application have been uploaded through the following kiteworks link:

<https://townofaurora.kiteworks.com/w/9230iz8eTUoEfr77Bzld1HoiprONxnDkfJBDFWpo7DSZ>

Please review this proposal and provide me with your comments by **November 2, 2021**. Should you have any questions regarding the above, please feel free to contact me.

Regards,



Sean Lapenna, Planner
Planning and Development Services



NORTH WEST VIEW



NORTH EAST AERIAL VIEW



MAIN ENTRANCE - NORTH VIEW



NORTH VIEW



NORTH EAST VIEW



CHILD CARE ENTRANCE - NORTH EAST VIEW



EAST VIEW



SOUTH WEST VIEW

NO	REVISIONS	DATE

ISSUED FOR SITE PLAN APPROVAL: 2/28/20
 NO. ISSUED: _____ DATE: _____

DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MAKE ANY CORRECTIONS TO THE DRAWINGS BEFORE BEGINNING WORK. A CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS BEFORE COMMENCING WORK WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.



AURORA 2C PUBLIC SCHOOL
 CORNER OF
 WILSON DRIVE &
 BAYVIEW WAY, AURORA, ON

LEGAL DESCRIPTION:
 BLOCK 241, REGISTERED PLAN 65M-4433
 TOWN OF AURORA,
 REGIONAL MUNICIPALITY OF YORK



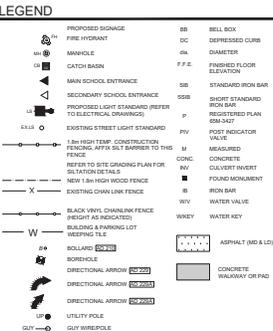
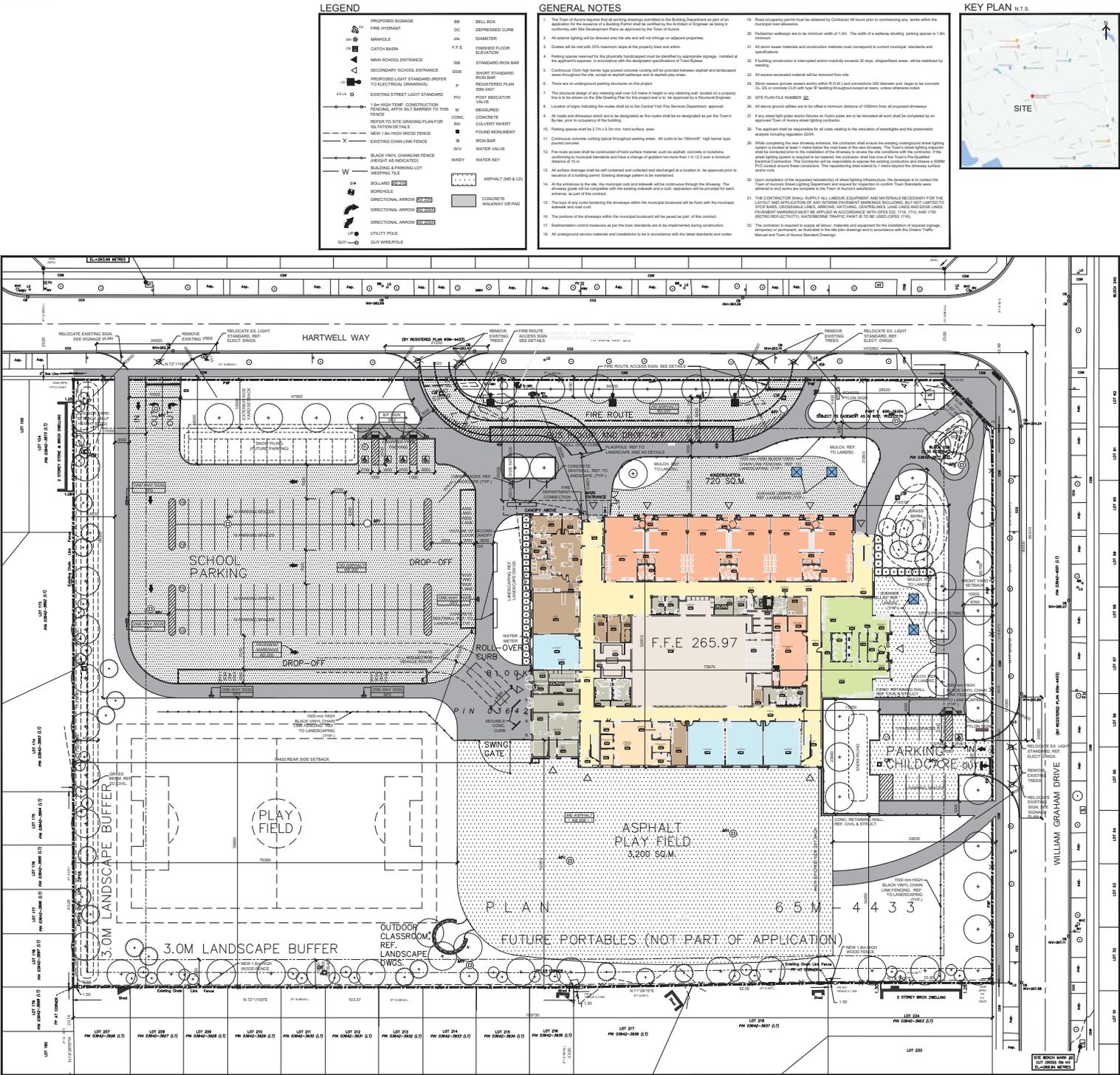
EXTERIOR PERSPECTIVES



SCALE	PROJECT
DATE	21103
DRAWN	DRAWING
CHECKED	A07A
PRINT DATE	2023-08-10 2:41:03 PM
PRINT FILE	2023-08-10 09:00:00

SITE STATISTICS		PROPOSED AURORA 2C	
LEGAL DESCRIPTION:	REGULATED	PROVIDED	
ZONING: U49S - INSTITUTIONAL	-	-	
LOT FRONTAGE:	35.0 m MIN.	175.0 m	
LOT AREA:	450 sq.m. Minimum	25,704 sq.m.	
LOT COVERAGE:	35% Max.	3,270.734 sq.m.	12.7%
FRONT YARD SETBACK:	15m Minimum	25.0m	
REAR YARD SETBACK:	15m Minimum	34.4m	
EXTERIOR SIDE YARD SETBACK:	1.5m High of Side, No less than 4.5m	25.0m	
EXTERIOR SIDE YARD SETBACK:	15m Minimum	44.1m	
BUILDING HEIGHT:	15m Max.	16.7m TO PENTHOUSE	
NUMBER OF STORES:	-	12 STORES	
BUILDING G.F.A:	NOT REGULATED	6,096 m ²	3,201 m ²
GROUND FLOOR:		1,501 m ²	2,545 m ²
SECOND FLOOR:		1,501 m ²	2,545 m ²
LANDSCAPED AREA:	NOT REGULATED	10,942.074 m ²	42.3%
LANDSCAPE BUFFER:			
- BUTTING STREET LINE:	3m NORTH BOUND WITH 1.5m PLANTING STRIP WITH 1.5m PLANTING STRIP WITH 1.5m MIN. OPENING FENCE	3m NORTH BOUND WITH 1.5m PLANTING STRIP WITH 1.5m PLANTING STRIP WITH 1.5m MIN. OPENING FENCE	
- BUTTING RESIDENTIAL:	3.0m N 2.7m MIN. 7.0m MIN.	3.0m N 2.7m MIN. 7.0m	
PARKING:			
- SIDE OF SPACE:	2.3m X 7.2m MIN.	2.3m X 7.2m	
- WIDTH OF ABLE ADJUTING PARKING:	1.5m PER TRADING CLASSROOM	1.5 X 4 PORTABLES + 9	
SCHOOL SPACES:	15 X 4 PORTABLES + 9	15 X 4 PORTABLES + 9	
CHLORAGUE SPACES:	4 X 3.00 X 10.00 M G.P.A. 35.50 M X 8.00 M	91 SPACES	
DESIGNATED SPACES (DISABLE PARKING):	(15-100 % OF TOTAL) = 8 SPACES	5 SPACES	
BICYCLE SPACES:	2.0 SPACES PER CLASSROOM	15 SPACES	

OBC MATRIX		NEW	ALTERATION	EXISTING	EXISTING	EXISTING
1. PROJECT NAME & ADDRESS:	AURORA 2C PUBLIC SCHOOL	NEW	ALTERATION	EXISTING	EXISTING	EXISTING
2. MAJOR OCCUPANCY GROUPS:	SCHOOL	NEW	ALTERATION	EXISTING	EXISTING	EXISTING
3. BUILDING AREA (SQ.M.):	EXIST 265.97 NEW 3,201.00 TOTAL 3,466.97	NEW	ALTERATION	EXISTING	EXISTING	EXISTING
4. GROSS AREA (SQ.M.):	EXIST 265.97 NEW 3,201.00 TOTAL 3,466.97	NEW	ALTERATION	EXISTING	EXISTING	EXISTING
5. NO. OF STOREYS ABOVE GROUND:	BELOW GROUND 2	NEW	ALTERATION	EXISTING	EXISTING	EXISTING
6. NUMBER OF STOREY/ACCESS ROUTES:		NEW	ALTERATION	EXISTING	EXISTING	EXISTING
7. BUILDING CLASSIFICATION:	3,2,2,24 Group A, Division 2, up to 6 storeys, Any Area, Single-Storey	NEW	ALTERATION	EXISTING	EXISTING	EXISTING
8. SPRINKLER SYSTEM PROPOSED:	ENTIRE BUILDING	NEW	ALTERATION	EXISTING	EXISTING	EXISTING
9. STANDSTOPS REQUIRED:	BASEMENT ONLY	NEW	ALTERATION	EXISTING	EXISTING	EXISTING
10. FIRE ALARM REQUIRED:	YES	NEW	ALTERATION	EXISTING	EXISTING	EXISTING
11. WATER SERVICE/SUPPLY IS ADEQUATE:	YES	NEW	ALTERATION	EXISTING	EXISTING	EXISTING
12. HIGH BUILDING:	YES	NEW	ALTERATION	EXISTING	EXISTING	EXISTING
13. PERMITTED CONSTRUCTION:	COMBUSTIBLE	NEW	ALTERATION	EXISTING	EXISTING	EXISTING
14. MEZZANINES (AREA SQ.M.):	N/A	NEW	ALTERATION	EXISTING	EXISTING	EXISTING
15. OCCUPANT LOAD BASED ON:	44 PERSONS	NEW	ALTERATION	EXISTING	EXISTING	EXISTING
16. NO. OF STOREYS ABOVE GROUND:	BELOW GROUND 2	NEW	ALTERATION	EXISTING	EXISTING	EXISTING
17. BARBER/FREE DESIGN:	YES	NEW	ALTERATION	EXISTING	EXISTING	EXISTING
18. HAZARDOUS SUBSTANCES:	YES	NEW	ALTERATION	EXISTING	EXISTING	EXISTING
19. REQUIRED FIRE RESISTANCE RATING (FRR):	2ND FLOOR IS CONCRETE PRECAST CONCRETE SLAB WITH OVER OF CONCRETE TOPPING	NEW	ALTERATION	EXISTING	EXISTING	EXISTING
20. ROOF:	0 HOURS	NEW	ALTERATION	EXISTING	EXISTING	EXISTING
21. MEZZANINE:	N/A HOURS	NEW	ALTERATION	EXISTING	EXISTING	EXISTING
22. FLOOR:	1 HOURS	NEW	ALTERATION	EXISTING	EXISTING	EXISTING
23. ROOF:	0 HOURS	NEW	ALTERATION	EXISTING	EXISTING	EXISTING
24. MEZZANINE:	N/A HOURS	NEW	ALTERATION	EXISTING	EXISTING	EXISTING
25. SPATIAL SEPARATION:	CONSTRUCTION OF EXTERIOR WALLS (NON-COMBUSTIBLE)	NEW	ALTERATION	EXISTING	EXISTING	EXISTING
26. WALL:	1.5 HOURS	NEW	ALTERATION	EXISTING	EXISTING	EXISTING
27. WINDOW:	1.5 HOURS	NEW	ALTERATION	EXISTING	EXISTING	EXISTING
28. DOOR:	1.5 HOURS	NEW	ALTERATION	EXISTING	EXISTING	EXISTING
29. GLASS:	1.5 HOURS	NEW	ALTERATION	EXISTING	EXISTING	EXISTING
30. GLASS:	1.5 HOURS	NEW	ALTERATION	EXISTING	EXISTING	EXISTING



- ### GENERAL NOTES
- The Town of Aurora requires that all drawings submitted to the Building Department as part of an application for the issuance of a Building Permit shall be certified by the Architect or Engineer as being in accordance with the Development Plan as approved by the Town of Aurora.
 - All access lighting will be directed onto the site and will not spill onto adjacent properties.
 - Grades will be met with 3% maximum slope at the property lines and within.
 - Planting spaces reserved for the property landscaper must be identified by appropriate symbols, located at the applicant's expense, in accordance with the designated specifications of Town Bylaws.
 - There are no underground parking structures on this project.
 - Continuous 150m high barrier type precast concrete curbing will be provided between asphalt and landscaped areas throughout the site, except at marked walkways and at marked play areas.
 - The structural design of any retaining wall shall be a height as indicated and located on property lines to be shown on the Site Grading Plan for this project and to be approved by a Structural Engineer.
 - Location of signs indicating the location shall be to the Centre York Fire Services Department approval.
 - Any street grade work shall be completed as indicated in the notes and shall be completed by the Town's By-Laws in accordance with the Building Department approval.
 - Parking spaces shall be 2.7m x 5.3m min. hard surface area.
 - Use of any curbing between the driveway within the municipal boulevard will be paved as per the context.
 - As the entrance to the site, the driveway shall be paved with a continuous through the driveway. The driveway grade will be complete with the existing roadway and a curb depression will be provided for each entrance, as part of the context.
 - The location of any curbing between the driveway within the municipal boulevard will be paved with the municipal driveway and curb.
 - The location of any curbing between the driveway within the municipal boulevard will be paved as per the context.
 - Sanitation collection measures as per the town standards are to be implemented during construction.
 - All underground services available and installations to be in accordance with the latest standards and codes.
 16. Road occupancy permit must be obtained by Contractor 48 hours prior to commencing any work within the municipal road allowance.
 17. National setbacks are to be minimum width of 1.2m. The width of a setback abutting parking space is 1.5m minimum.
 18. All access easement and connection methods must conform to current municipal standards and specifications.
 19. If building construction is interrupted and/or trackwork extends 90 days, retrospective areas will be indicated by survey.
 20. All access easement materials will be removed after.
 21. Stone veneer (split face) shall be used for RCM and connections 200 diameter and larger to be concrete C. 25 or concrete C28 with type 20 bedding (minimum 100mm) at each end, unless otherwise noted.
 22. SITE PLAN FILE NUMBER: 21103
 23. All above ground utilities are to be a minimum distance of 1500mm from all proposed structures.
 24. Any street grade work shall be completed as indicated in the notes and shall be completed by the Town's By-Laws in accordance with the Building Department approval.
 25. The applicant shall be responsible for all costs relating to the relocation of streetlights and the photometric surveying required thereon.
 26. While completing the new driveway entrance, the contractor shall ensure the existing underground street lighting system is located at least 1 metre above the top level of the new driveway. The Town's street lighting system is to be installed in accordance with the Town of Aurora's Street Lighting Standard. The contractor shall be responsible for the installation of the Town's Street Lighting Standard. The contractor shall be responsible for the installation of the Town's Street Lighting Standard. The contractor shall be responsible for the installation of the Town's Street Lighting Standard.
 27. Upon completion of the required relocation of street lighting infrastructure, the developer is to complete the Town of Aurora Street Lighting Department and report for inspection to confirm. Town Standards were adhered to and works are complete to the Town of Aurora's satisfaction.
 28. THE CONTRACTOR SHALL VERIFY ALL LABOUR EQUIPMENT AND MATERIAL NECESSARY FOR THE LAYOUT AND APPLICATION OF ANY ADDRESS PAYMENT MARKINGS INCLUDING, BUT NOT LIMITED TO STOP BARS, OCCUPANCY LINES, ADDRESS MARKINGS, OCCUPANCY LINES AND ADDRESS LINES. PAYMENT MARKINGS SHALL BE APPLIED IN ACCORDANCE WITH OHS 533, 1716, 1718, AND 1720 (BOTH SELECTIVE) INTERSECTION TRAFFIC MARKING TO BE USED (OHS 1719).
 29. The contractor is required to supply all labour, materials and equipment for the installation of required lighting or equipment, as indicated on the site plan drawings and in accordance with the Ontario Traffic Manual and Town of Aurora Standard Drawings.





KEY PLAN N.T.S.

SITE

ISSUED FOR SITE PLAN APPROVAL	21 09 23
NO.	ISSUED
DATE	DATE



ONTARIO ASSOCIATION OF ARCHITECTS

AURORA 2C PUBLIC SCHOOL

CORNER OF WILLIAM GRAHAM DR. & HARTWELL WAY
AURORA, ON

LEGAL DESCRIPTION:
Block 241
Registered Plan 05M-4433
TOWN OF AURORA
REGIONAL MUNICIPALITY OF YORK



YORK REGION
DISTRICT OF YORK

SITE PLAN FILE NO.

SITE PLAN



HOSSACK & ASSOCIATES ARCHITECTS

4422 DUNDAS STREET WEST
TORONTO, ONTARIO M3J 1K6
Tel: (416) 291-3036 Fax: (416) 291-3266

SCALE	1:300	PROJECT	21103
DATE	SEP 20 2023	DRAWN	CHW
CHECKED	BAW	DATE	
DATE		SCALE	

SP1



NORTH WEST VIEW



NORTH EAST AERIAL VIEW



MAIN ENTRANCE - NORTH VIEW



NORTH VIEW



NORTH EAST VIEW



CHILD CARE ENTRANCE - NORTH EAST VIEW



EAST VIEW



SOUTH WEST VIEW

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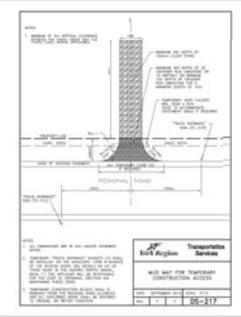
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EXTERIOR PERSPECTIVES



SCALE	PROJECT
DATE	21103
DRAWN	Author
CHECKED	Checker
DATE	2021-08-12 2:41:53 PM
FILE	21103-01-000000.dwg



EROSION AND SEDIMENT SEQUENCING

INSTALL CONSTRUCTION ENTRANCE MAT PER DETAIL DS-217

INSTALL SILT FENCE AROUND THE SITE PERIMETER. SINGLE ROW SILT FENCE DETAIL AS SHOWN ON THE SEDIMENT AND EROSION CONTROL PLAN ATTACHED.

URING CONSTRUCTION, LIMIT OPEN TRENCH LENGTH TO MINIMIZE EROSION. PROTECT EXPOSED SOILS WITH VEGETATION OR EROSION CONTROL MATS.

URING WORK STOPPAGES ON INCIDENT WEATHER, PLUG ENDS OF OPEN TRENCHES TO PREVENT EROSION.

PROVIDE CATCHBASIN SEDIMENT PROTECTION ON ALL CATCHBASIN AND CATCHBASIN MANHOLES FOR THE DURATION OF CONSTRUCTION.

ENSURE SILT LOADS WATER FROM TRUCK WASH AREAS ARE DRAINAGE TO AREA PRIOR TO RAIN AND AT LEAST 10 METERS FROM A WATERCOURSE.

ALL SILT LOADS WATER DURING OPERATIONS OF TRENCHES TO BE DIRECTED TO AN AREA PROTECTED BY A FILTER RING OR TO A SCHEDULED EARTH FILL OPERATION TO BE A MINIMUM OF 10 METERS FROM A WATERCOURSE.

PROVIDE DUST CONTROL DURING DRY PERIODS AS DIRECTED BY THE SITE ENGINEER OF CONSTRUCTION.

SWEEP EXTERNAL STREETS AS DIRECTED BY THE ENGINEER OF CONSTRUCTION.

FOLLOWING BASE COURSE ASPHALT, CATCHBASINS TO BE REGRADING, SALT CLEANING AND CATCHBASIN CLEAROUT TO BE PERFORMED AS REQUIRED.

EROSION AND SEDIMENT CONTROL NOTES

ADOPT A MULTI-BARRIER APPROACH TO PROVIDE EROSION AND SEDIMENT CONTROL THROUGH EROSION CONTROL FIRST.

RETAIN EXISTING VEGETATION AND STABILIZE EXPOSED SOILS WITH VEGETATION OR EROSION CONTROL MATS.

LIMIT THE SIZE OF DISTURBED AREAS BY MINIMIZING NON-ESSENTIAL CLEARING AND GRADING.

MINIMIZE SLOPE LENGTH AND GRADIENT OF DISTURBED AREAS.

MINIMIZE OVERLAND SHEET FLOW AND AVOID CONCENTRATED FLOWS.

STORE EXCESSIVE SOIL AWAY (E.G. GREATER THAN 15 METERS) FROM WATERCOURSES, DRAINAGE FEATURES AND TOP OF STEEP SLOPES.

ENSURE CONTRACTORS AND ALL INVOLVED IN THE ESC PRACTICES ARE TRAINED IN ESC PLAN, IMPLEMENTATION, INSPECTION, MAINTENANCE AND REPAIR.

ADJUST ESC PLAN AT CONSTRUCTION SITE TO ADAPT TO SITE FEATURES, AND

ASSESS ALL ESC PRACTICES BEFORE AND AFTER ALL RAINFALL AND SIGNIFICANT DOWNGRADE EVENTS.

NOTE:

CONTRACTOR TO CONTACT MGM CONSULTING INC. IMMEDIATELY SHOULD THERE BE ANY CONFLICTS BETWEEN EXISTING CONDITIONS AND PROPOSED GRADING AND/OR SEWERING DESIGN, OR CONFLICTS IN CONSTRUCTING THE WORK AS PER THE INTENT OF THE APPROVED DESIGN PRIOR TO CONSTRUCTION.

NOTE:

1. ALL WORK TO CONFORM TO THE LATEST MUNICIPAL STANDARDS AND SPECIFICATIONS AS WELL AS THE LATEST ADOPTED ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS.
2. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER TO SATISFACTION OF THE MUNICIPALITY AND MGM CONSULTING INC.
3. CONTRACTOR TO LOCATE AND PROTECT ALL EXISTING SERVICES AND UTILITIES PRIOR TO AND DURING CONSTRUCTION.
4. CONTRACTOR TO DESIGN AND CONFIRM ALL EXISTING UTILITIES AND SERVICE INFORMATION FROM CONSTRUCTION.
5. CONTRACTOR TO DESIGN ADEQUATE CLEARANCE FROM ALL EXISTING SERVICES AND UTILITIES.
6. CONTRACTOR TO CONFIRM THE PAVEMENT STRUCTURE THICKNESS BASED ON THE GEOTECHNICAL REPORT.
7. CONTRACTOR TO CONFIRM ALL EXISTING INVERTS PRIOR TO INTERNAL SERVICES.

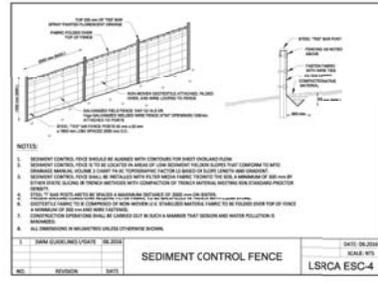
NOTE:

AREA OF THE SITE TO REMAIN UNSTABILIZED FOR LONGER THAN 45 DAYS WILL BE REQUIRED TO BE SEEDED.

SILT CONTROLS ARE TO BE IN PLACE PRIOR TO THE START OF SITE WORKS AND TO BE MAINTAINED FOR THE DURATION OF THE CONSTRUCTION.

ALL SILT CONTROL MEASURES TO BE IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN CONSTRUCTION (DECEMBER 2006), THE GREATER GOLDEN HORSESHOE AREA CONSERVATION AUTHORITIES.

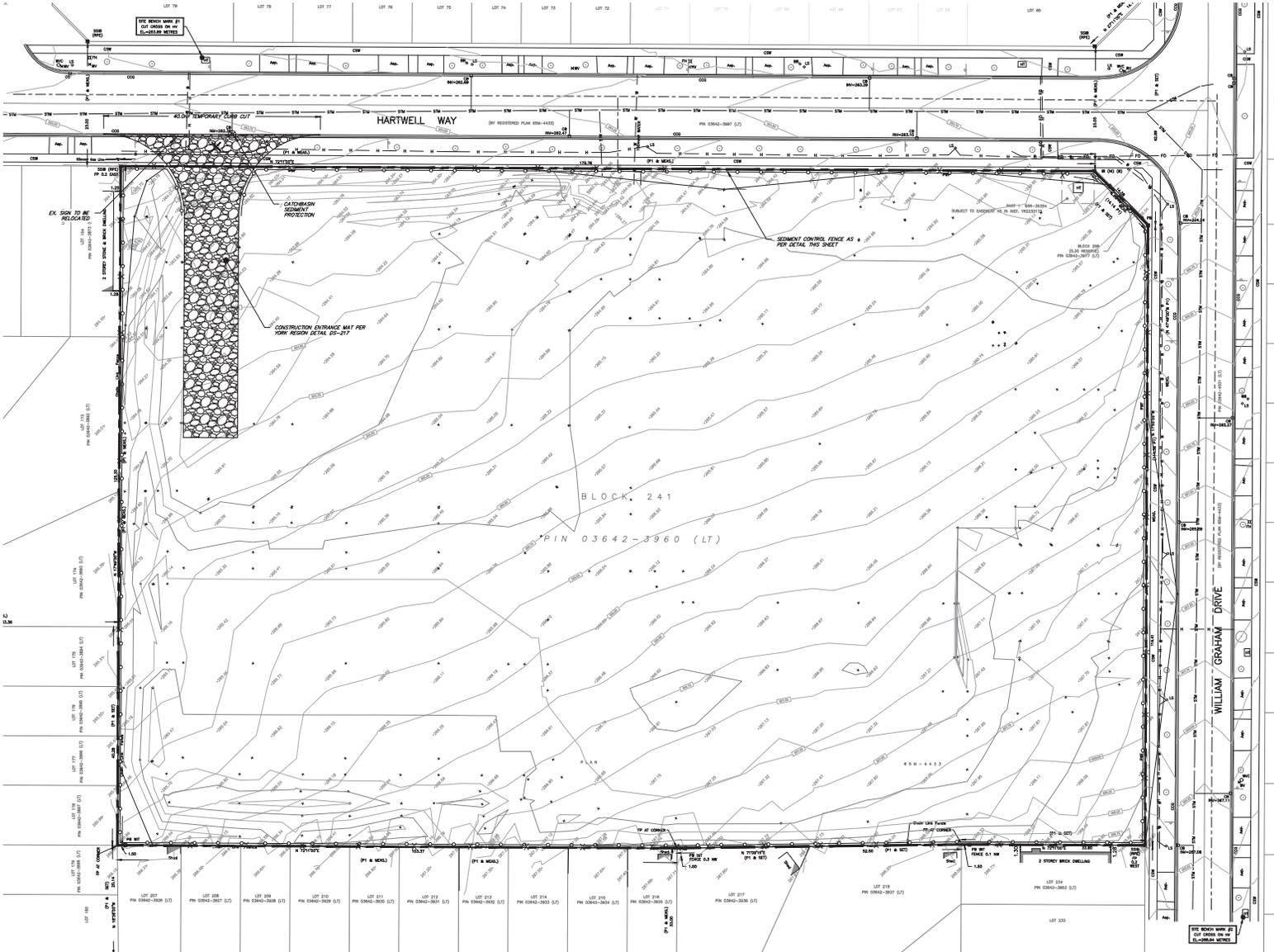
DIRECTIONS ARE TO BE COMPLETED ON A WEEKLY BASIS BEFORE AND AFTER A SIGNIFICANT RAINFALL EVENT (15MM) EVENT.



WHEN GEOTEXTILE

NOTES:

1. TO BE INSTALLED ON ALL CATCHBASINS AND MAINTAINED BETWEEN APRIL AND DECEMBER. REMOVE FOR WINTER SEASON.
2. WHEN GEOTEXTILE IS IN PLACE EQUIPMENT OPENING SIZE BETWEEN 0.15mm AND 0.25mm.
3. WHEN GEOTEXTILE TO BE REPLACED PERIODICALLY WHEN ACCUMULATED SEDIMENTS INTERFERES WITH DRAINAGE.



LEGEND:

- - - EXISTING CONTOURS
- - - EXISTING ELEVATIONS
- ⊙ PROPOSED CATCH BASIN SEDIMENT PROTECTION
- ⊙ PROPOSED SEDIMENT PROTECTOR
- X - - - - - NEW EXISTING AS SHOWN

NO.	ISSUED FOR	DATE
1	ISSUED FOR SPA	AUG 31 2021
2	ISSUED	DATE

DESIGNED AND DRAWN BY: M. L. SIMS
 CHECKED AND REVIEWED BY: M. L. SIMS
 PROJECT NO.: 2021-018
 SHEET NO.: CV-1

York Region
DISTRICT SEWER BOARD

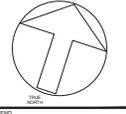
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MGM CONSULTING INC.
CONSULTING ENGINEERS & PROFESSIONAL DESIGNERS
1800 SHEPPARD AVENUE EAST, SUITE 100
AURORA, ONTARIO L4G 1V7
TEL: 905.709.8888 FAX: 905.709.8889

HOSSACK & ASSOCIATES ARCHITECTS
4220 SHEPPARD AVENUE EAST, SUITE 100
AURORA, ONTARIO L4G 1V7
TEL: 905.709.8888 FAX: 905.709.8889

DATE: 1.30.21 PROJECT: 2021-018
 SCALE: 1:500 DRAWING: EROSION AND SEDIMENT CONTROL PLAN
 DRAWN BY: CV-1
 CHECKED BY: M.L.S.



- LEGEND
- 100mm PERFORATED SUB-DRAIN (W/SPACER)
 - 150mm PERFORATED SUB-DRAIN (W/SPACER)
 - 200mm PERFORATED SUB-DRAIN (W/SPACER)
 - 250mm PERFORATED SUB-DRAIN (W/SPACER)
 - 300mm PERFORATED SUB-DRAIN (W/SPACER)
 - 350mm PERFORATED SUB-DRAIN (W/SPACER)
 - 400mm PERFORATED SUB-DRAIN (W/SPACER)
 - 450mm PERFORATED SUB-DRAIN (W/SPACER)
 - 500mm PERFORATED SUB-DRAIN (W/SPACER)
 - 550mm PERFORATED SUB-DRAIN (W/SPACER)
 - 600mm PERFORATED SUB-DRAIN (W/SPACER)
 - 650mm PERFORATED SUB-DRAIN (W/SPACER)
 - 700mm PERFORATED SUB-DRAIN (W/SPACER)
 - 750mm PERFORATED SUB-DRAIN (W/SPACER)
 - 800mm PERFORATED SUB-DRAIN (W/SPACER)
 - 850mm PERFORATED SUB-DRAIN (W/SPACER)
 - 900mm PERFORATED SUB-DRAIN (W/SPACER)
 - 950mm PERFORATED SUB-DRAIN (W/SPACER)
 - 1000mm PERFORATED SUB-DRAIN (W/SPACER)

TOPOGRAPHICAL INFORMATION PROVIDED BY CANNONDAH MCCONNELL LIMITED
 D.L.S. FILE #21-26
 SURVEY COMPLETED ON MAY 12, 2021.

BENCH MARK
 ALL ELEVATIONS SHOWN HERE ON ARE MEANSIC ELEVATIONS. ALL ELEVATIONS HAVE BEEN OBTAINED FROM GPS OBSERVATIONS BASED ON THE TORQUE REAL TIME NETWORK GPS SYSTEM.

NO.	ISSUED FOR	DATE
1	ISSUED FOR SPA	NOV 11 2021
2	ISSUED	DATE
3	ISSUED	DATE
4	ISSUED	DATE
5	ISSUED	DATE
6	ISSUED	DATE
7	ISSUED	DATE
8	ISSUED	DATE
9	ISSUED	DATE
10	ISSUED	DATE

AURORA 2C PUBLIC SCHOOL
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 AURORA, ON

LEGAL DESCRIPTION
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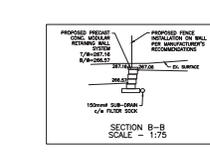
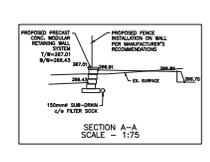
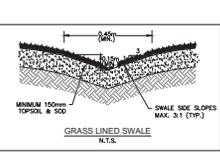
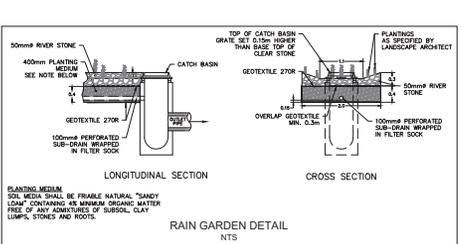
MGM CONSULTING INC
 CONSULTING ENGINEERS AND ARCHITECTS
 2000 SHEPPARD AVENUE EAST, SUITE 200
 AURORA, ONTARIO M1T 3K7
 TEL: 905.709.2000 FAX: 905.709.2001

SITE PLAN FILE NO. GRADING PLAN

HOSSACK & ASSOCIATES ARCHITECTS
 1000 SHEPPARD AVENUE EAST, SUITE 200
 AURORA, ONTARIO M1T 3K7
 TEL: 905.709.2000 FAX: 905.709.2001

SCALE: 1:300 PROJECT: 2021-018
 DATE: MAY 2021 DRAWING: GRADING

DRAWN: BRN CHECKED: BRN DATE: CV-2

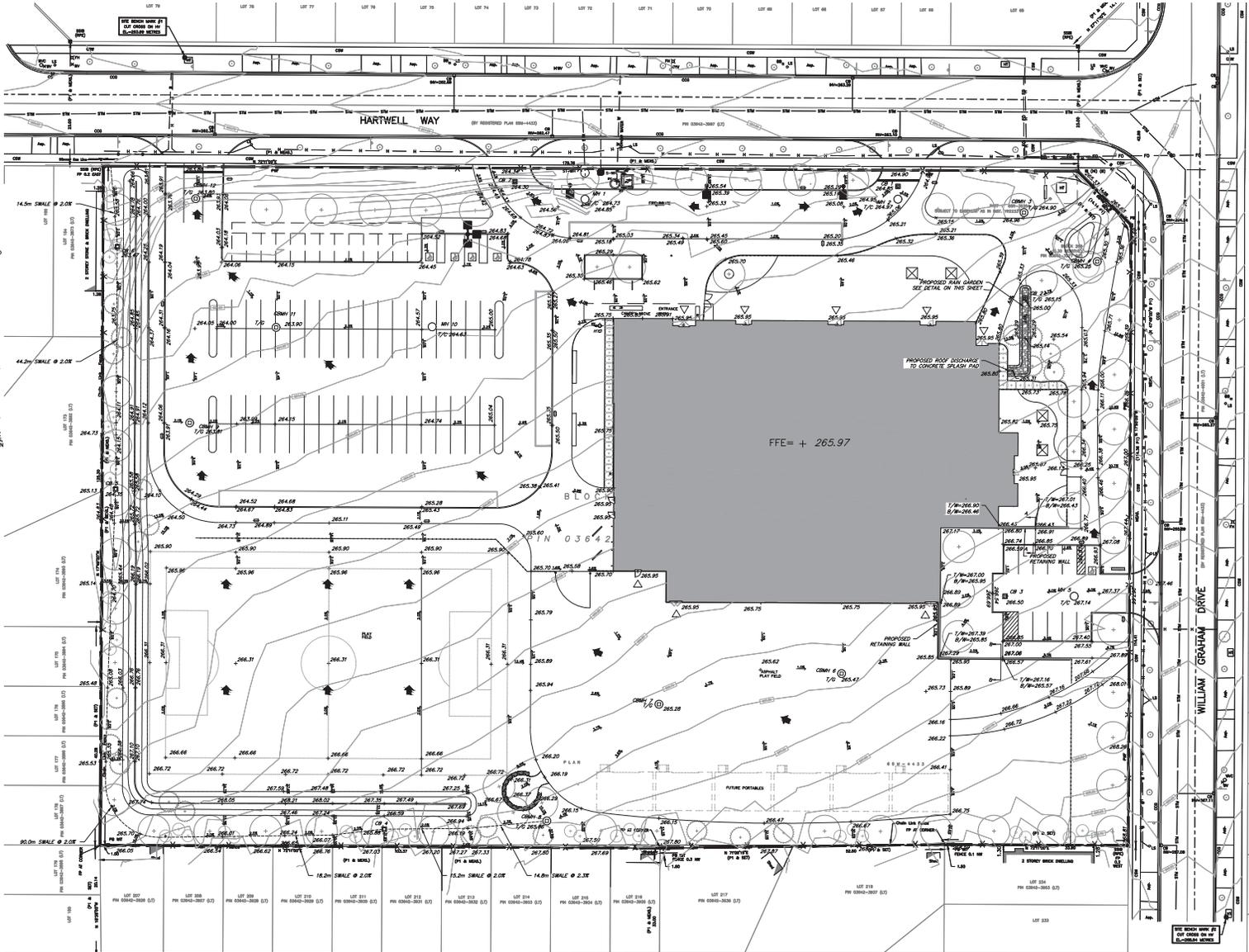


- CONSTRUCTION NOTES:**
1. ALL SITE GRADING SHALL BE CARRIED OUT IN ACCORDANCE WITH OPSS 206.
 2. ALL MATERIALS ENCOUNTERED DURING EXCAVATION THAT ARE NOT SUITABLE FOR USE AS LAYER FILL TO BE REMOVED AND DISPOSED OFF SITE IN ACCORDANCE WITH CURRENT AND RELEVANT.
 3. ALL GRANULAR MATERIALS SHALL CONFORM TO OPSS 1000 AND BE COMPACTED TO 100% STANDARD PROCTOR DENSITY.
 4. ALL ASPHALT MATERIALS SHALL BE IN ACCORDANCE WITH OPSS 1003, 1101, 1150 AND BE PLACED IN ACCORDANCE WITH OPSS 510.
 5. ALL CONCRETE FOR CURBS SHALL BE IN ACCORDANCE WITH OPSS 510.
 6. ALL CONCRETE FOR SIDEWALKS SHALL BE IN ACCORDANCE WITH OPSS 510.
 7. ALL CONCRETE FOR DRIVEWAYS SHALL BE IN ACCORDANCE WITH OPSS 510.
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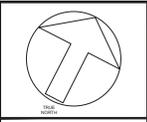
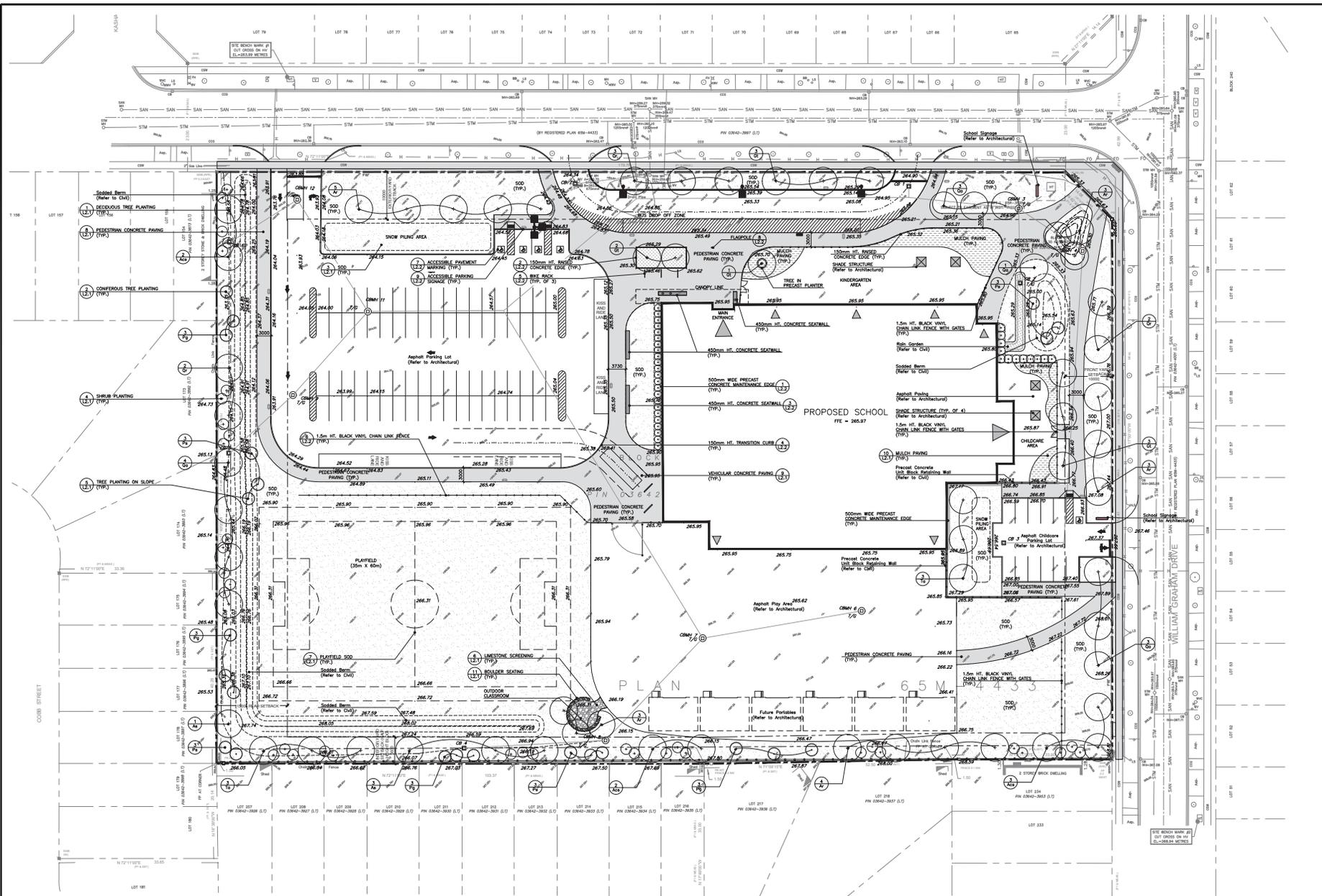
- GENERAL NOTES:**
1. THE CONTRACTOR SHALL RECTIFY ALL DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER AND TO THE SATISFACTION OF THE DIRECTOR OF INFRASTRUCTURE & ENVIRONMENT.
 2. MANHOLES ARE TO BE REINFORCED TO THE COVER.
 3. LANDSCAPING SHALL NOT EXCEED ON BOULEVARD NOR SHALL BOULEVARD GRADES BE LOWERED.
 4. ALL WORKS ARE TO BE COMPLETED IN ACCORDANCE WITH THE STANDARD DRAWINGS AND SPECIFICATIONS OF THE TOWN OF AURORA AND THESE SHALL BE DEEMED TO CONSTITUTE PART OF THIS CONTRACT.
 5. A MINIMUM NOTIFICATION SHALL BE PROVIDED TO THE OWNER'S EXPENSE.
 6. A MINIMUM NOTIFICATION SHALL BE PROVIDED TO THE OWNER'S EXPENSE.
 7. ALL MATERIALS TO BE INSTALLED WITH A MINIMUM 1.0M COVER ON PRIVATE PROPERTY; HEAVY DUTY ASPHALT SHALL BE INSTALLED WITH A MINIMUM 1.0M COVER ON PRIVATE PROPERTY; 50MM COMPACTED DEPTH OF 3/4" ASPHALT TOP COURSE.
 8. 100MM COMPACTED DEPTH OF 3/4" ASPHALT TOP COURSE.
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 20. 100MM COMPACTED DEPTH OF 3/4" ASPHALT TOP COURSE.

- GRADING NOTES:**
1. ALL GRADES AND SWALES SHALL BE A MINIMUM 2% AND MAXIMUM 5% SLOPE.
 2. DRAINAGE SWALES SHALL BE A MINIMUM 2% AND MAXIMUM 5% SLOPE.
 3. SWALES SHALL HAVE A MINIMUM 0.15M ELEVATION DIFFERENCE TO THE ADJACENT SWALE LOW POINT.
 4. WHERE SLOPES EXCEED 3:1 SLOPES SHALL BE USED TO MAKE UP DIFFERENCES.
 5. ALL ROOF GRADING SHALL DISCHARGE ONTO SPLASH PADS ON GRASSED AREAS.
 6. WATER SERVICE VALVE BOXES SHALL NOT BE LOCATED IN DRAINWAYS.
 7. ALL UTILITIES TO BE MAINTAINED AS NOTED.
 8. MINIMUM SEPARATION OF 150MM SHALL BE PROVIDED BETWEEN THE BROOKLINE AND THE FINAL GRADING ELEVATION AND 300MM BETWEEN SEWER AND THE FINAL GROUND ELEVATION.
 9. SIDEWALKS SHALL BE A MINIMUM 1.2M CLEAR DISTANCE FROM ALL STREET LANDSCAPE (TREES, TREES, CATERING, LIGHT FIXTURES, ETC.).
 10. SWALE DEPTH TO BE ACCORDING TO FLOW - MINIMUM 100MM.
 11. MAXIMUM SWALE LENGTH SHALL BE 15M.

- NOTE:**
- CONTRACTOR TO CONTACT MGM CONSULTING INC. IMMEDIATELY SHOULD THERE BE ANY CONFLICTS BETWEEN EXISTING CONDITIONS AND PROPOSED GRADING AND/OR SERVICES DESIGN OR CONDITIONS OF CONTRACTING THE WORK AS PER THE INTENT OF THE ABOVE DESIGN PRIOR TO CONSTRUCTION.
1. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF THE MUNICIPALITY AND MGM CONSULTING INC.
 2. CONTRACTOR TO LOCATE AND PROTECT ALL EXISTING SERVICES AND UTILITIES PRIOR TO CONSTRUCTION.
 3. CONTRACTOR TO LOCATE AND CONFIRM ALL EXISTING SERVICES AND SERVICE INFORMATION PRIOR TO CONSTRUCTION.
 4. CONTRACTOR TO ENSURE ADEQUATE CLEARANCE FROM ALL EXISTING SERVICES AND UTILITIES.
 5. CONTRACTOR TO CONFIRM ALL EXISTING SERVICES FROM TO INTERNAL SERVICES.



DATE: MAY 2021
 DRAWN: BRN
 CHECKED: BRN
 DATE: CV-2



- LEGEND**
- PROPOSED TREES
 - SOO
 - PERENNIAL PLANTING
 - PEDESTRIAN CONCRETE FINISH
 - LIMESTONE SCREENING PAVING
 - PRECAST CONCRETE MAINTENANCE EDGE
 - PROPERTY LINE
 - BIKE RACK
 - FLAGPOLE
 - EXISTING GRADE

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AURORA 2C PUBLIC SCHOOL

CORNER OF WILLIAM GRAHAM DR & HARTWELL WAY
AURORA, ONT.

LEGAL DESCRIPTION

Block 241
Registered Plan 65H-433

TOWN OF AURORA,
RECREATION MUNICIPALITY OF YORK

DRAWING TITLE: **LANDSCAPE PLAN**

SCALE: 1:500 PROJECT: 211492

DATE: 06/09/21 DRAWING: L1.1

CHECKED: DRAWING: L1.1

SCALE DATE:

PLANT LIST

SYMBOL	BOTANICAL NAME	QUANTITY	COMMON NAME	SIZE	CONDITION
TREES					
Acs	Acer spicatum	7	Silver Maple	70 mm	B.B
Ar	Acer rubrum	18	Red Maple	70 mm	B.B
As	Acer saccharum	4	Sugar Maple	70 mm	B.B
Sd	Gleditsia tricanthos 'Shademaster'	7	Shademaster Honey Locust	70 mm	B.B
Pg	Picea glauca	12	White Spruce	1.8 m ht.	W.B.
Ps	Pinus strobus	11	White Pine	1.8 m ht.	W.B.
Qa	Quercus alba	11	White Oak	70 mm	B.B
Qr	Quercus rubra	8	Red Oak	70 mm	B.B
Ta	Tilia americana	6	Basswood	70 mm	B.B

- PLANTING NOTES**
1. ALL PLANT MATERIAL IS TO MEET THE STANDARDS AS OUTLINED IN THE CANADIAN STANDARDS FOR NURSERY STOCK, CURRENT EDITION.
 2. FOR ALL CONTRACTOR PURCHASED MATERIALS PLANT SIZES WILL BE AS MEASURED ON SITE. NURSERY LABELS WILL NOT BE ACCEPTABLE FOR DETERMINATION OF PLANT SIZES.
 3. PROTECTED PLANT MATERIAL FROM FROST, EXCESSIVE HEAT, WIND AND SUN DURING TRANSPORTATION. ALL WILTED OR WIND DAMAGED PLANT MATERIAL WILL BE REJECTED.
 4. CONTRACTOR TO LAYOUT ALL PLANT MATERIAL AS PER PLANTING PLANS PRIOR TO INSTALLATION FOR LANDSCAPE ARCHITECT REVIEW AND APPROVAL.
 5. WARRANTY PERIOD FOR ALL PLANTING IS ONE YEAR FROM SUBSTANTIAL COMPLETION. WARRANTY PERIODS FOR ALL PLANT MATERIAL WILL BE UNDERWRITTEN BY THE CONTRACTOR AS REQUESTED BY THE LANDSCAPE ARCHITECT AT ANY TIME DURING THE WARRANTY PERIOD.
 6. FOR SUBPARRED ROOT BALLS, CUT AWAY TOP ONE THIRD OF WRAPPING AND WIRE BASKET. WITHOUT DAMAGING ROOT BALLS, DO NOT PULL BASKET OR ROOT FROM UNDER ROOT BALL. FOR POTTED PLANTS REMOVE ENTIRE CONTAINER.
 7. ALL PLANTING SHALL BE INSTALLED WITH PROPER SPACING AND DEPTH. TWO THIRDS OF DEPTH OF PLANTING KIT HAS BEEN ENCLOSED. FILL REMAINING SPACE WITH WATER WETTED MIXED PERENNIALIZED SOIL MIXTURE TO FIRM GROUND.
 8. PLANTS SHOWN IN GROUPS ARE TO BE PLANTED IN CONTIGUOUS PLANT BEDS AS SHOWN ON PLANTING DETAIL.
 9. PLANT MATERIAL INSTALLED FOLLOWING LEAF DROP IN THE FALL WILL BE ACCEPTED AFTER THE START OF THE NEXT GROWING SEASON PROVIDED THAT ACCEPTANCE CONDITIONS ARE MET.
 10. ANY PLANTING OR LANDSCAPING WORK THAT IS REJECTED AT THE FINAL INSPECTION WILL BE CORRECTED IN A TIMELY MANNER AT CONTRACTOR'S EXPENSE.
 11. REJECTED PLANT MATERIAL MUST BE REMOVED FROM THE SITE WITHIN ONE WORKING DAY. WATER TREES SHALL BE WAXED FOR FIRST 4 WEEKS AND THEN SUPERVISION THESE AFTER TO MONITOR OPTIMAL GROWING WITHIN THE FIRST 2 YEARS AFTER PLANTING. APPLY SUPERFICIAL WATER FOR APPLICATION TO GREEN HOUSES. PROTECTION OF 15-100mm. DRAINAGE BASKETS TO BE USED IN ALL PLANTING. SOIL TO BE CONSIST OF 45% SAND, 45% PERENNIALIZED SOIL MIXTURE. SOIL TO BE FREE OF ALL TOXIC MATERIALS, STONES, FOREIGN OBJECTS AND WITH AN ACIDITY RANGE (PH) OF 5.5 TO 7.0.
 12. SOIL MIXTURE FOR PLANTING TO BE 50% SANDY TOPSOIL, 25% PERENNIALIZED, 25% WETTED MIXTURE AND 50% SUBPARAL PER CUBIC METRE OF PLANTING. SOIL TO BE FREE OF ALL TOXIC MATERIALS, STONES, FOREIGN OBJECTS AND WITH AN ACIDITY RANGE (PH) OF 5.5 TO 7.0.
 13. CONTRACTOR TO CHECK QUANTITIES AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT IMMEDIATELY. PLANT QUANTITIES INDICATED ON THE PLAN SUPERSEDES THE TOTALS IN THE PLANT LIST.

- GENERAL NOTES**
1. ALL CONSTRUCTION HOARDING AND TREE PROTECTION TO BE INSTALLED PRIOR TO START OF OPERATIONS.
 2. CONTRACTOR TO VERIFY ALL SITE CONDITIONS AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT IMMEDIATELY.
 3. LAYOUT ALL WORK FOR INSPECTION AND APPROVAL BY CONSULTANT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 4. CONTRACTOR RESPONSIBLE FOR ANY AND ALL UNDERGROUND UTILITIES.
 5. CONTRACTOR TO LAY OUT ALL SITE DIMENSIONS FOR LANDSCAPE ARCHITECT / OWNER REVIEW AND FINAL FIELD ADJUSTMENT PRIOR TO CONTRACTOR STARTING SITE FUNDING AND CONSTRUCTION TO THE SATISFACTION AND ACCEPTANCE OF THE CONSULTANT.

PROPOSED SCHOOL
FE = 265.97

PLAYFIELD (15m x 60m)

PLAYFIELD SOO

SHADE STRUCTURE (TYP. OF 4)

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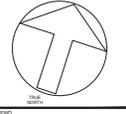
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SHADE STRUCTURE (TYP. OF 100)



SYMBOL	DESCRIPTION
○	PROPOSED 15" MANHOLE
○	PROPOSED 30" MANHOLE
○	PROPOSED CATCH BASIN
○	PROPOSED SANITARY MANHOLE
○	PROPOSED SERVICE ELEVATION
○	EXISTING SANITARY SERVICE
○	PROPOSED 15" CURB
○	PROPOSED 30" CURB
○	PROPOSED 15" OVERLAP FLOWLINE

TOWN OF AURORA
PLANNING AND DEVELOPMENT SERVICES
Development Planning Division
DATE: 04.1.2021
RECEIVED
SUBMISSION No. 1

TOPOGRAPHICAL INFORMATION PROVIDED BY CANNONDAH MCCONNELL LIMITED
D.T.S. FILE #21-26
SURVEY COMPLETED ON MAY 12, 2021.

BENCH MARK
ALL ELEVATIONS SHOWN HERE ON ARE METRIC. ELEVATION ADJUSTMENTS HAVE BEEN DERIVED FROM GPS OBSERVATIONS BASED ON THE TORQUE REAL TIME NETWORK GPS SYSTEM.

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York Region
DISTRICT SCHOOLS BOARD

AURORA 2C PUBLIC SCHOOL
CORNER OF WILLOW DRIVE AND HARTWELL WAY
AURORA, ON

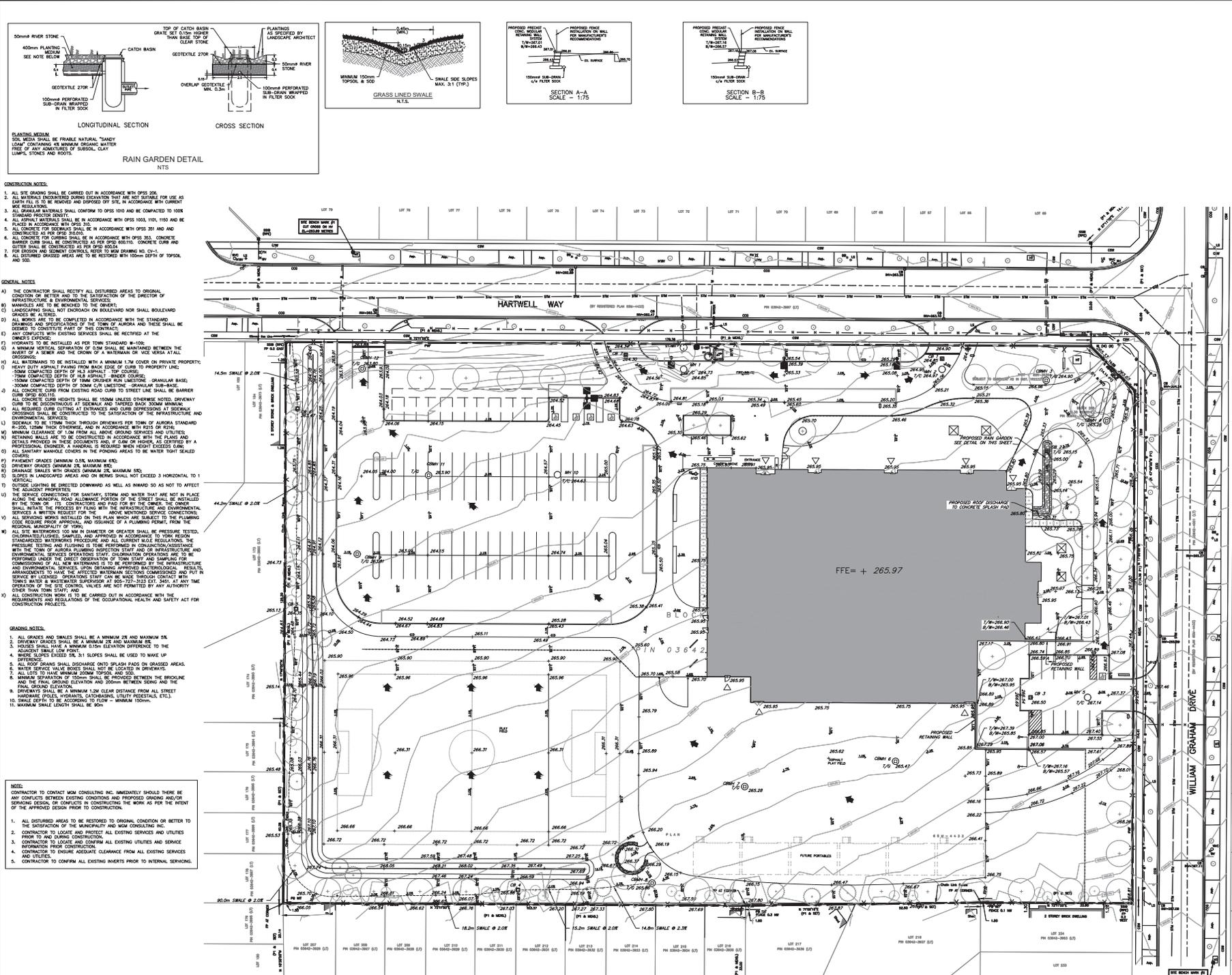
LEGAL DESCRIPTION
Block 241
Registered Plan 65M-4433

MGM CONSULTING INC.
CORPORATE OFFICE: 1000 SHEPPARD AVENUE EAST, SUITE 200, AURORA, ONTARIO L4B 3N2
TEL: 905.709.2200
WWW.MGMCONSULTING.COM

SITE PLAN FILE No.
GRADING PLAN

HOSSACK & ASSOCIATES ARCHITECTS
1000 SHEPPARD AVENUE EAST, SUITE 200, AURORA, ONTARIO L4B 3N2
TEL: 905.709.2200
WWW.HOSSACKANDASSOCIATES.COM

SCALE	1:300	PROJECT	2021-018
DATE	MAY 2021	DRAWING	
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DATE			
			CV-2



CONSTRUCTION NOTES:

1. ALL SITE GRADING SHALL BE CARRIED OUT IN ACCORDANCE WITH OPSS 206.
2. ALL MATERIALS ENCOUNTERED DURING EXCAVATION THAT ARE NOT SUITABLE FOR USE AS LAYER FILL TO BE REMOVED AND DISPOSED OFF SITE IN ACCORDANCE WITH CURRENT AND REGULATIONS.
3. ALL GRANULAR MATERIALS SHALL CONFORM TO OPSS 1000 AND BE COMPACTED TO 100% STANDARD PROCTOR DENSITY.
4. ALL ASPHALT MATERIALS SHALL BE IN ACCORDANCE WITH OPSS 1003, 1101, 1150 AND BE PLACED IN ACCORDANCE WITH OPSS 510.
5. ALL CONCRETE FOR CURBS SHALL BE IN ACCORDANCE WITH OPSS 510 AND BE CONSTRUCTED AS PER OPSS 5010.5.
6. ALL CONCRETE FOR SIDEWALKS SHALL BE IN ACCORDANCE WITH OPSS 510.5. CONCRETE BARRIER CURB SHALL BE CONSTRUCTED AS PER OPSS 60510.1. CONCRETE CURB AND OUTER SHALL BE CONSTRUCTED AS PER OPSS 60510.2.
7. FOR EROSION AND SEDIMENT CONTROL, REFER TO MWD DRAWING NO. 01-1. ALL ALLIUM GRASSES SHALL BE PLANTED WITHIN 30 DAYS OF TOPSOIL AND SID.

GENERAL NOTES:

- A) THE CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER AND TO THE SATISFACTION OF THE DIRECTOR OF INFRASTRUCTURE & ENVIRONMENT.
- B) MANHOLES ARE TO BE REINFORCED TO THE COVER.
- C) LANDSCAPING SHALL NOT EXCEED ON BULKHEADS NOR SHALL BOULEVARD GRASSES BE PLANTED.
- D) ALL WORKS ARE TO BE COMPLETED IN ACCORDANCE WITH THE STANDARD DRAWINGS AND SPECIFICATIONS OF THE TOWN OF AURORA AND THESE SHALL BE DEEMED TO CONSTITUTE PART OF THIS CONTRACT.
- E) A MINIMUM 10% OVERLAP SHALL BE MAINTAINED BETWEEN THE TOP OF INVERT OF A SEWER AND THE CROWN OF A WATERMAIN OR VICE VERSA AT ALL CROSSINGS.
- F) ALL MATERIALS TO BE INSTALLED AS PER TOWN STANDARD W-100.
- G) ALL MATERIALS TO BE INSTALLED WITH A MINIMUM 1.0M COVER ON PRIVATE PROPERTY; HEAVY DUTY ASPHALT SHALL BE INSTALLED ON ROAD SIDE OF CURB TO PROPERTY LINE. 150MM COMPACTED DEPTH OF 1/2" ASPHALT TOP COURSE.
- H) 150MM COMPACTED DEPTH OF 1/2" ASPHALT UNDER COURSE.
- I) 150MM COMPACTED DEPTH OF 1/2" ASPHALT UNDER COURSE.
- J) 150MM COMPACTED DEPTH OF 1/2" ASPHALT UNDER COURSE.
- K) ALL CONCRETE CURB HEIGHTS SHALL BE 150MM UNLESS OTHERWISE NOTED. DRAINAGE CURB TO BE DISCONTINUED AT SIDEWALK AND MARKED BACK 300MM MINIMUM. ALL REQUIRED CURB CUTTING AT ENTRANCES AND CURB EXPANSIONS AT SIDEWALK CROSSINGS SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE INFRASTRUCTURE AND ENVIRONMENTAL SERVICES.
- L) SIDEWALKS SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE INFRASTRUCTURE AND ENVIRONMENTAL SERVICES.
- M) MINIMUM CLEARANCE OF 10M FROM ALL ABOVE GROUND SERVICES AND UTILITIES. RETAINING WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND DETAILS PROVIDED IN THESE DOCUMENTS PROVIDED THAT THE DESIGN IS CERTIFIED BY A PROFESSIONAL ENGINEER. A MANUAL IS REQUIRED WITH HEIGHT EXCEEDS 0.9M.
- N) ALL SANITARY MANHOLES COVERED IN THE PROPOSED AREAS TO BE WATER TIGHT SEALED.
- O) PAVEMENT GRADES (MINIMUM 0.5% MINIMUM 5% SLOPES IN LANDSCAPED AREAS AND IN AREAS SHALL NOT EXCEED 3% HORIZONTAL TO 1 VERTICAL).
- P) ALL CURB LIGHTING BE DIRECTED DOWNWARD AS WELL AS INWARD SO AS NOT TO AFFECT CURB LIGHTING PRESENT.
- Q) THE SERVICE CONNECTIONS FOR SANITARY, STORM AND WATER THAT ARE NOT IN PLACE SHALL BE INSTALLED BY THE CONTRACTOR AND PAID FOR BY THE OWNER. THE OWNER SHALL RETAIN THE PROVISION BY PLANS WITH THE INFRASTRUCTURE AND ENVIRONMENTAL SERVICES A WRITTEN REQUEST FOR THE ABOVE MENTIONED SERVICE CONNECTIONS.
- R) ALL SERVICE MANSHOLES INSTALLED ON THIS PLAN MUST BE SUBJECT TO FILING AND RECORDATION FROM APPROVAL AND ISSUANCE OF A PLUMBING PERMIT, FROM THE REGIONAL MUNICIPALITY OF YORK.
- S) ALL SITE MATERIALS TO BE IN QUANTITIES OR GREATER THAN BE PRECISELY TESTED, CHEMICALLY ANALYZED, SAMPLED, AND APPROVED IN ACCORDANCE TO YORK REGION STANDARDIZED MATERIALS PROCEDURES AND ALL CURRENT CODE REGULATIONS. THE PRELIMINARY TESTING AND FILING IS TO BE PERFORMED IN CONJUNCTION/ASSISTANCE WITH THE TOWN OF AURORA PLUMBING INSPECTOR AND/OR INFRASTRUCTURE AND ENVIRONMENTAL SERVICES DIVISIONS STAFF. CONSTRUCTION OPERATIONS ARE TO BE PERFORMED UNDER THE DIRECT SUPERVISION OF TOWN STAFF AND SAMPLED FOR CONFORMANCE OF ALL NEW MATERIALS TO BE PERFORMED BY THE INFRASTRUCTURE AND ENVIRONMENTAL SERVICES DIVISION OBTAINING APPROVED MICROANALYTICAL RESULTS. ARRANGEMENTS TO HAVE THE APPLICABLE MATERIALS SAMPLED AND TESTED BY TOWN STAFF SHALL BE MADE WITHIN 14 DAYS OF THE DATE OF THE SITE CONSTRUCTION. THE TOWN OF AURORA PLUMBING INSPECTOR SHALL BE CONTACTED BY THE CONTRACTOR AT LEAST 14 DAYS PRIOR TO THE START OF CONSTRUCTION. THE TOWN OF AURORA PLUMBING INSPECTOR SHALL BE CONTACTED BY THE CONTRACTOR AT LEAST 14 DAYS PRIOR TO THE START OF CONSTRUCTION. THE TOWN OF AURORA PLUMBING INSPECTOR SHALL BE CONTACTED BY THE CONTRACTOR AT LEAST 14 DAYS PRIOR TO THE START OF CONSTRUCTION.
- T) ALL CONSTRUCTION WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS AND REGULATIONS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT FOR CONSTRUCTION PROJECTS.

GRADING NOTES:

1. ALL GRADES AND SWALES SHALL BE A MINIMUM 2% AND MAXIMUM 5% SLOPES.
2. DRAINAGE SWALES SHALL BE A MINIMUM 2% AND MAXIMUM 5% SLOPES.
3. SWALES SHALL HAVE A MINIMUM 0.15M ELEVATION DIFFERENCE TO THE ADJACENT SWALE LOW POINT.
4. WHERE SLOPES EXCEED 5% 3:1 SLOPES SHALL BE USED TO MAKE UP DIFFERENCES.
5. ALL ROOF GRADING SHALL DISCHARGE ONTO SPLASH PADS ON GRASSED AREAS.
6. WATER SERVICE MANHOLES SHALL NOT BE LOCATED IN DRAINAGE SWALES.
7. ALL SLOPES TO BE MINIMUM 5% SLOPES.
8. MINIMUM SEPARATION OF 150MM SHALL BE PROVIDED BETWEEN THE BROUQUINE AND THE FINAL GRADING ELEVATION AND 300MM BETWEEN SIDING AND THE FINAL GROUND ELEVATION.
9. SIDEWALKS SHALL BE A MINIMUM 1.2M CLEAR DISTANCE FROM ALL STREET LANDSCAPING (TREES, TREES, CATERING, LIGHT FIXTURES, ETC.).
10. SWALE DEPTH TO BE ACCORDING TO FLOW - 150MM (TYPICAL).
11. MAXIMUM SWALE LENGTH SHALL BE 15M.

NOTE:

CONTRACTOR TO CONTACT MGM CONSULTING INC. IMMEDIATELY SHOULD THERE BE ANY CONFLICTS BETWEEN EXISTING CONDITIONS AND PROPOSED GRADING AND/OR SERVICES DESIGN OR CONDITIONS OF CONTRACTING THE WORK AS PER THE INTENT OF THE APPROVED DESIGN PRIOR TO CONSTRUCTION.

1. ALL DISTURBED AREAS ARE TO BE RESTORED TO ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF THE MUNICIPALITY AND MGM CONSULTING INC.
2. CONTRACTOR TO LOCATE AND PROTECT ALL EXISTING SERVICES AND UTILITIES PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO LOCATE AND CONFIRM ALL EXISTING SERVICES AND SERVICE INFORMATION PRIOR TO CONSTRUCTION.
4. CONTRACTOR TO ENSURE ADEQUATE CLEARANCE FROM ALL EXISTING SERVICES AND UTILITIES.
5. CONTRACTOR TO CONFIRM ALL EXISTING SERVICES FROM TO INTERNAL SERVICES.

