

INTERNAL MEMORANDUM

DATE: October 12, 2021

TO: B. Butler, Planning and Development Services
B. Jean, Building Division
M. Bat, Engineering & Capital Delivery Division
J. Van Scheyndel, Corporate Services
M. Zawada, Accessibility Advisor
B. Jakovina, Operations – Parks
A. Cutler, Waste/Recycling Coordinator
E. Terry, Policy Planning
S. Corr, Planning and Development Services
B. Manoharan, Heritage Planning

CC: Mayor and Members of Council
D. Waters, Director of Planning and Development Services
L. Hausz, Manager, Economic Development and Policy
A. Henriques, Manager of Planning and Development Services

FROM: Sean Lapenna, Planning and Development Services

RE: **Application for Site Plan Approval – Elementary School**
York Region District School Board
377 Hartwell Way (SP-2021-12)

A **1ST submission** has been made to Planning and Development Services for the above noted Site Plan application to facilitate a two-storey JK-8 elementary school (638 students) which will include a bus drop-off lane, parking, an asphalt play yard, fenced play areas and green space throughout. The school will also include a child care program to provide child care services (maximum of 48 children).

Due to file size restrictions, the majority of supporting documents for this application have been uploaded through the following kiteworks link:

<https://townofaurora.kiteworks.com/w/9230iz8eTUoEfr77Bzld1HoiprONxnDkfJBDFWpo7DSZ>

Please review this proposal and provide me with your comments by **November 2, 2021**. Should you have any questions regarding the above, please feel free to contact me.

Regards,



Sean Lapenna, Planner
Planning and Development Services



NO	REVISIONS	DATE
1	ISSUED FOR SITE PLAN APPROVAL	2/18/01
NO	ISSUED	DATE

DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE PROJECT, AND MUST REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK. THE USE OF THIS DRAWING OR PART THEREOF FOR OTHERS WITHOUT THE WRITTEN APPROVAL OF THE CONSULTANT IS PROHIBITED.

AURORA 2C PUBLIC
SCHOOL

CORNER OF
WILLIAM GRAHAM DR. &
HARTWELL WAY, AURORA, ON

LEGAL DESCRIPTION
BLOCK 241, REGISTERED PLAN 65M-44
TOWN OF AURORA,
REGIONAL MUNICIPALITY OF YORK



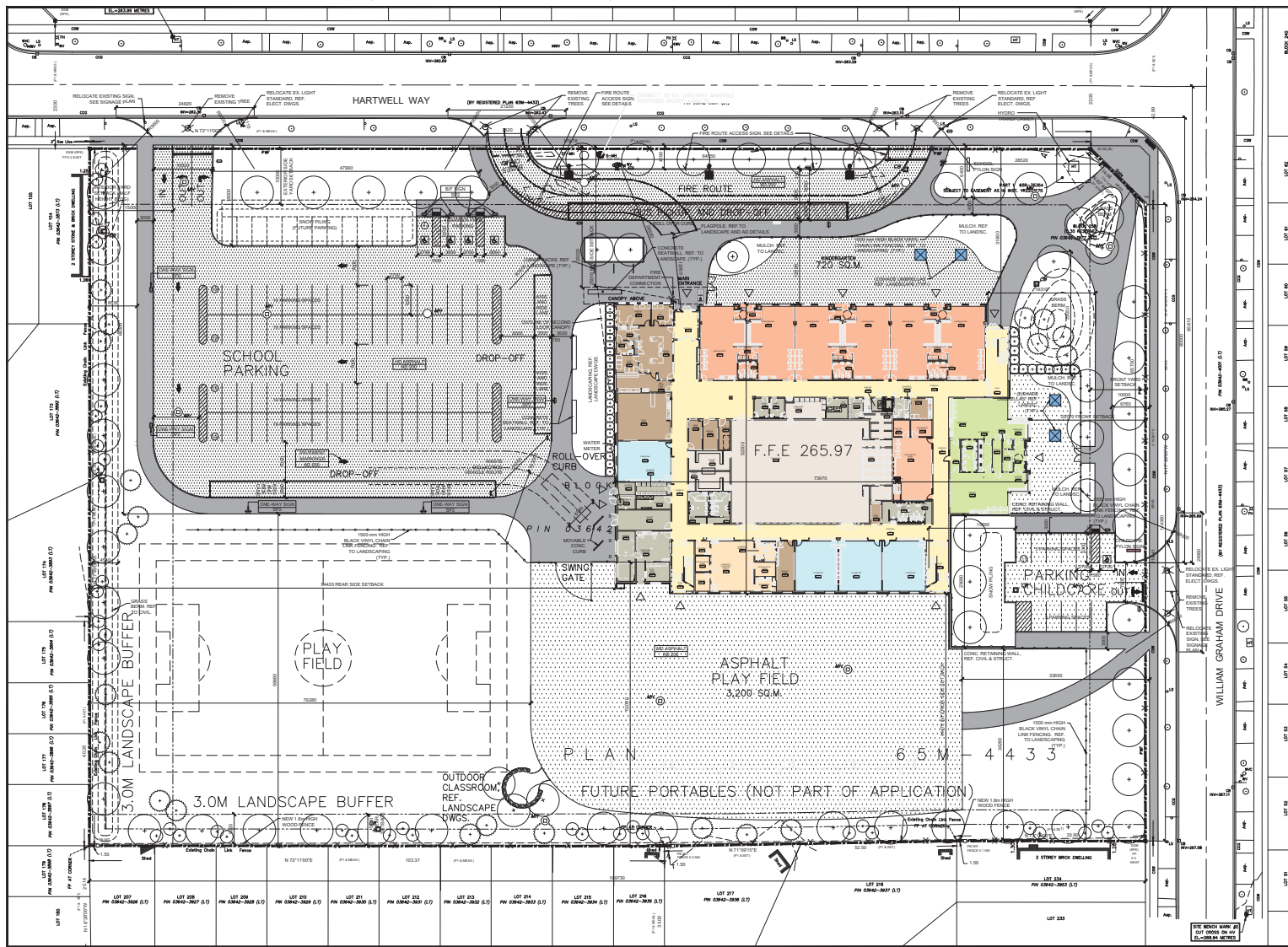
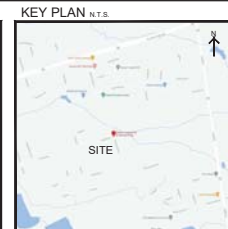
EXTERIOR PERSPECTIVES



SCALE	PROJECT
DATE JULY 2021	21103
DRAWN Author	DRAWING
CHECKED Checker	A07A
PRINT DATE	2021-08-12 2:41:53 PM

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LEGEND			
	PROPOSED SIGNAGE	80	RELL BOX
	FIRE HYDRANT	85	DEPRESSED CURB
	MANHOLE	90	DAMPER
	CURB RAMP	95	E.T.F.
	MAIN SCHOOL ENTRANCE	100	ELEVATION
	PROPOSED LIGHT STANDARD	105	SHORT STANDARD RAIL
	PROPOSED LIGHT STANDARD (REFER TO ELECTRICAL SCHEDULE)	110	SHORT STANDARD RAIL
	PROPOSED STREET LIGHT STANDARD	115	REGISTERED PLAN
	HIGH SPEED TIME STRUCTURE PARKING	120	300-247
	HIGH SPEED TIME STRUCTURE PARKING FOR DELAYED TRIPS	125	300-247
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[illegible][illegible]

**AURORA 2C
PUBLIC SCHOOL**

CORNER OF WILLIAM GRAHAM DR. &
HARTWELL WAY
AURORA, ON

LEGAL DESCRIPTION
Block 241
Registered Plan 65M-4433


TOWN OF AURORA,
REGIONAL MUNICIPALITY OF YORK



SITE PLAN FILE No.

SITE PLAN

**HOSSACK
& ASSOCIATES
ARCHITECTS**

	
4-2150 DUMMICK DRIVE MISSISSAUGA, ONTARIO L5L 5M8 Tel (905) 607-8288 Fax (905) 607-8300	
SCALE	PROJECT
1:300	21103 SP1
DATE	
SEPTEMBER 2021	
DRAWN	
BY: BMB	
CHECKED	
BY: BML	
PRINT DATE	
REVISED BY	



NO.	REVISIONS	DATE

NO.	ISSUED	DATE

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AURORA 2C PUBLIC SCHOOL

CORNER OF
MILLIKEN DRIVE & E
BAYVIEW AVE. AURORA, ON
LEGAL DESCRIPTION:
BLOCK 241, REGISTERED PLAN 65M-4433
TOWN OF AURORA,
REGIONAL MUNICIPALITY OF YORK

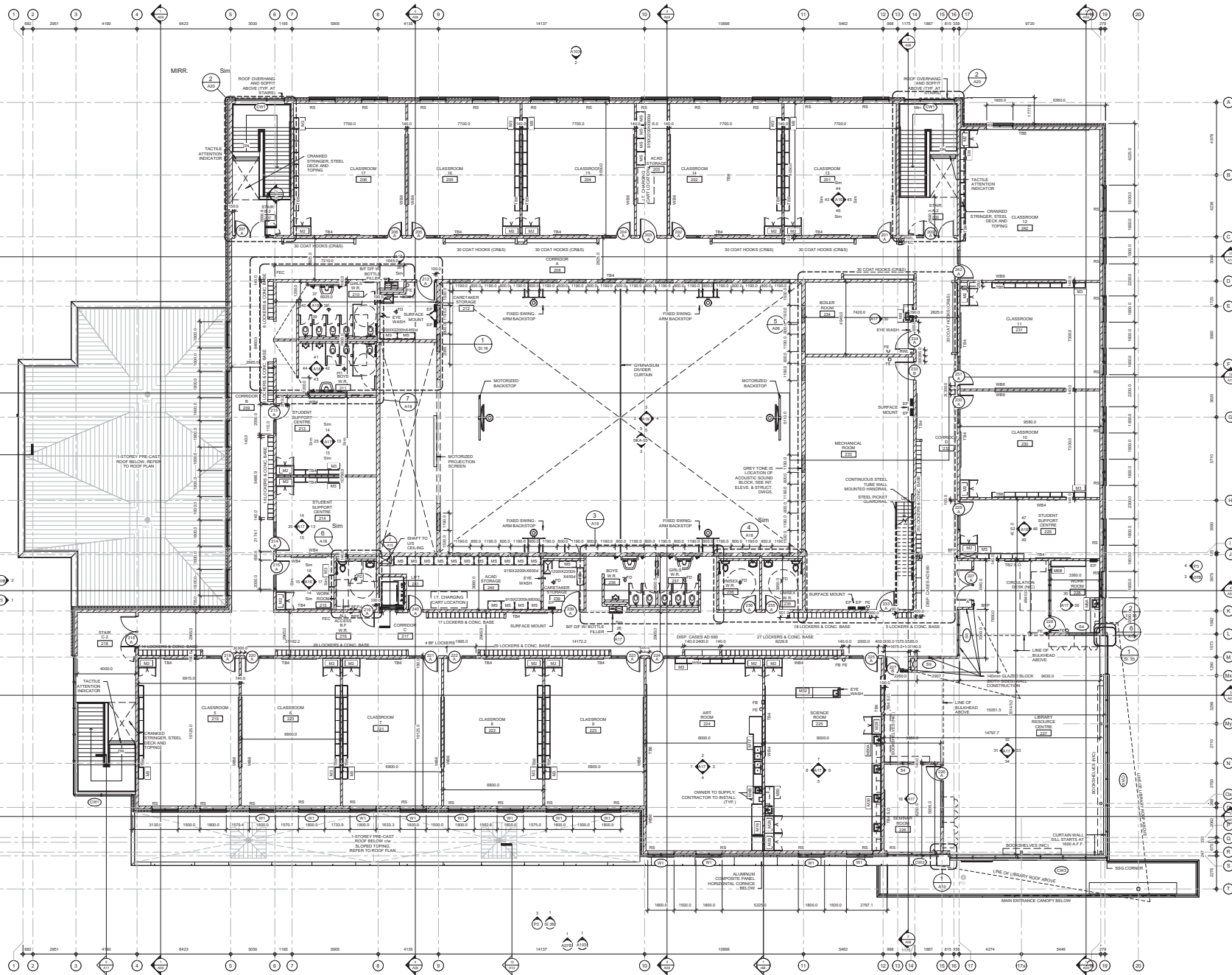


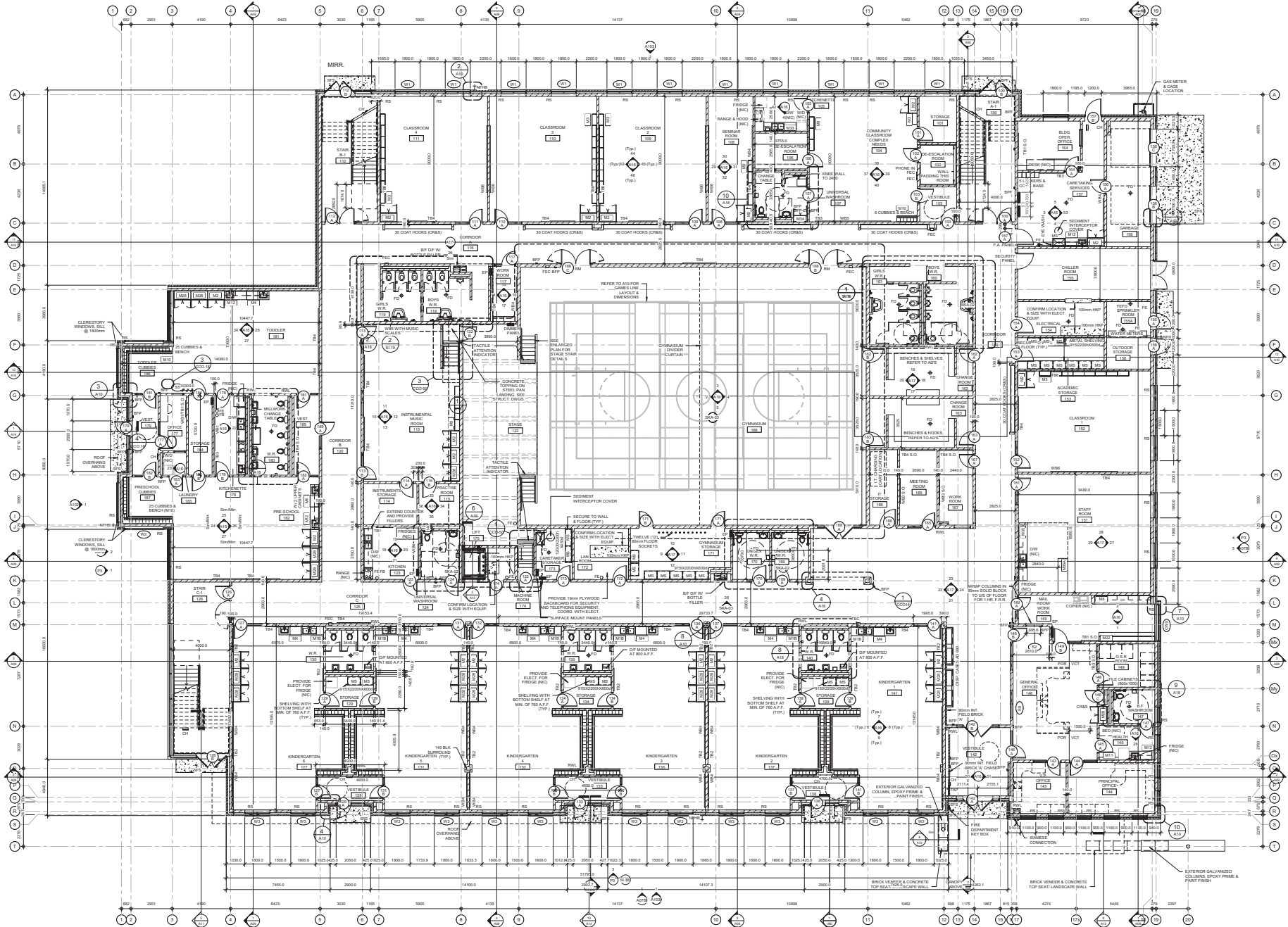
SECOND FLOOR
PLAN

HOSSACK & ASSOCIATES
ARCHITECTS

SCALE	1:100	PROJECT	21103
DATE	JULY 2007	DRAWING	
DRAWN	BM	CHECKED	
DATE		DATE	

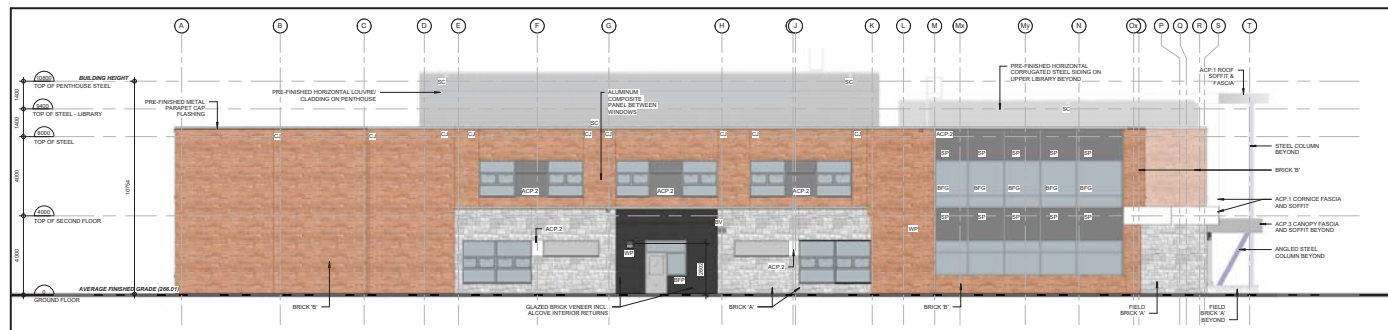
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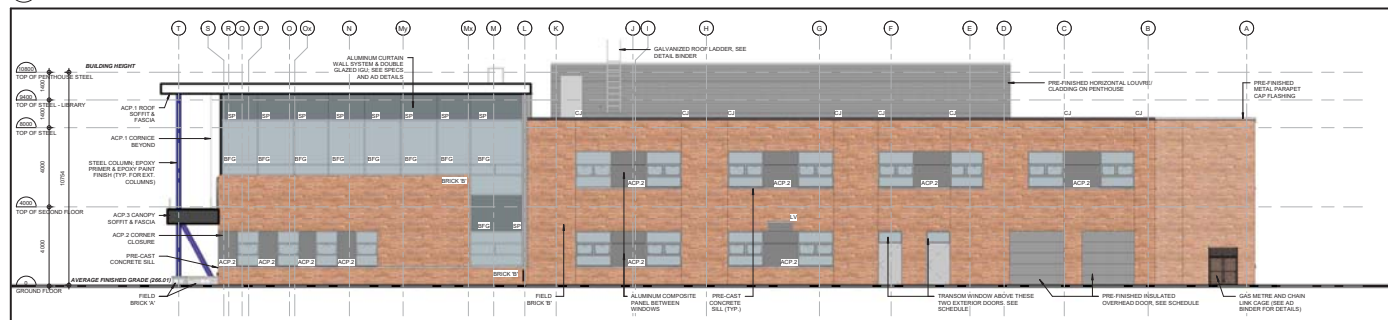




2 NORTH ELEVATION
SCALE: 1:100



4 EAST ELEVATION
SCALE: 1:100



3 WEST ELEVATION
SCALE: 1:100



1 SOUTH ELEVATION
SCALE: 1:100

ABBREVIATIONS

ACP ALUMINUM COMPOSITE PANEL
BFG BRID FRENCH GLAZING, SEE
DETAIL BINDER
CSP COLOURED SPANDREL PANEL
EXT EXTERIOR
ISI INSULATED GLAZED UNIT
SP SPANDREL PANEL
TYP TYPICAL
VERT VERTICAL

ELEVATION LEGEND

MASONRY BRICK 'A'
(100/30 RED)

MASONRY BRICK 'B'
(100/30 LIGHT GREY)

HORIZONTAL
CORRUGATED STEEL
SHEATHING PENTHOUSE
LOUVER

ALUMINUM COMPOSITE
PANEL 1 (WHITE)

ALUMINUM COMPOSITE
PANEL 2 (GREY)

ALUMINUM COMPOSITE
PANEL 3 (CHARCOAL)

GLAZED BRICK
(CORROCAL)

SPANDREL PANEL (GREY)

BFG - BRID FRENCH
GLAZING (BFG)

NO REVISIONS DATE

NO REVISIONS DATE

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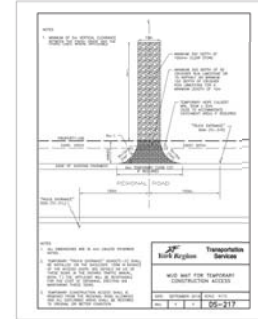
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EROSION AND SEDIMENT SEQUENCING

- INSTALL CONSTRUCTION ENTRANCE MAT MAT
- INSTALL Silt Fence Around the Site Perimeter. Single Row Silt Fence Detail as shown on the Erosion and Sediment Control Plan Attached.
- During the sequencing construction, limit open trench length to 10 meters. Erosion Protection: During construction, provide catchment basins for all catchment basins and catchment basins for the duration of construction.
- Ensure silt loads water from truck wash areas are limited to 15 meters from the site and at least 15 meters from a watercourse.
- All silt loads water during construction of trenches to be directed to an area protected by a filter ring or to a sedimentation basin. Filtration to be a minimum of 15 meters from a watercourse.
- Provide dust control during dry periods as directed by the site engineer or conservation.
- Ensure external streets as directed by the engineer or conservation.
- Following base course, asphalt, catchments to be removed, with geotextile.
- Periodic street cleaning and catchment cleanup to be performed as required.

EROSION AND SEDIMENT CONTROL NOTES

- ADOPT A MULTIBARRIER APPROACH TO PROVIDE EROSION AND SEDIMENT CONTROL THROUGH EROSION CONTROL FIRST.
- RETAIN EXISTING VEGETATION AND STABILIZE EXPOSED SOILS WITH VEGETATION, MULCH, OR OTHER MEANS.
- LIMIT THE USE OF DISTURBED AREAS BY MINIMIZING NONRESIDENTIAL CLEARING AND GRADING.
- MINIMIZE SLOPE LENGTH AND GRADIENT OF DISTURBED AREAS.
- MINIMIZE OVERLAND SHEET FLOW AND AVOID CONCENTRATED FLOWS.
- STORE STOCKPILE SOIL AWAY (E.G. GREATER THAN 15 METERS) FROM WATERCOURSES, DRAINAGE FEATURES AND TOP OF STEEP SLOPES.
- Ensure contractors and all involved in the EDC practices are trained in EDC plan, implementation, inspection, maintenance and repair.
- Adapt EDC plan at construction site to adapt to site features, and assess all EDC practices before and after all rainfall and significant runoff events.

NOTE:

CONTRACTOR TO CONTACT MGM CONSULTING INC. IMMEDIATELY SHOULD THERE BE ANY CONFLICTS BETWEEN EXISTING CONDITIONS AND PROPOSED GRADING AND/OR SEWERING DESIGN, OR COMPLETE IN CONSTRUCTING THE WORK AS PER THE INTENT OF THE APPROVED DESIGN PRIOR TO CONSTRUCTION.

NOTE:

1. ALL WORK TO CONFORM TO THE LATEST MUNICIPAL STANDARDS AND SPECIFICATIONS AS WELL AS THE LATEST ADOPTED ONTARIO PROVINCIAL STANDARDS.
2. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER TO SATISFACTION OF THE MUNICIPALITY AND MGM CONSULTING INC.
3. CONTRACTOR TO LOCATE AND PROTECT ALL EXISTING SERVICES AND UTILITIES PRIOR TO AND DURING CONSTRUCTION.
4. CONTRACTOR TO LOCATE AND CONFIRM ALL EXISTING UTILITIES AND SERVICE INFORMATION PRIOR TO CONSTRUCTION.
5. CONTRACTOR TO ENSURE ADEQUATE CLEARANCE FROM ALL EXISTING SERVICES AND UTILITIES.
6. CONTRACTOR TO CONFIRM THE PAVEMENT STRUCTURE THICKNESS BASED ON THE GEOTECHNICAL REPORT.
7. CONTRACTOR TO CONFIRM ALL EXISTING INVERTS PRIOR TO INTERNAL SERVICES.

NOTE:

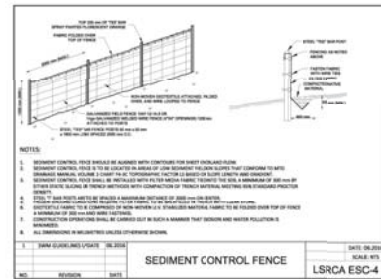
AREA OF THE SITE TO REMAIN UNSTABILIZED FOR LONGER THAN 45 DAYS WILL BE REQUIRED TO BE SEED.

NOTE:

SILT CONTROL MEASURES TO BE IN PLACE PRIOR TO THE START OF SITE WORKS AND TO BE MAINTAINED FOR THE DURATION OF THE CONSTRUCTION.

ALL SILT CONTROL MEASURES TO BE IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN CONSTRUCTION (DECEMBER 2006), THE GREATER GOLDEN HORSESHOE AREA CONSERVATION AUTHORITIES.

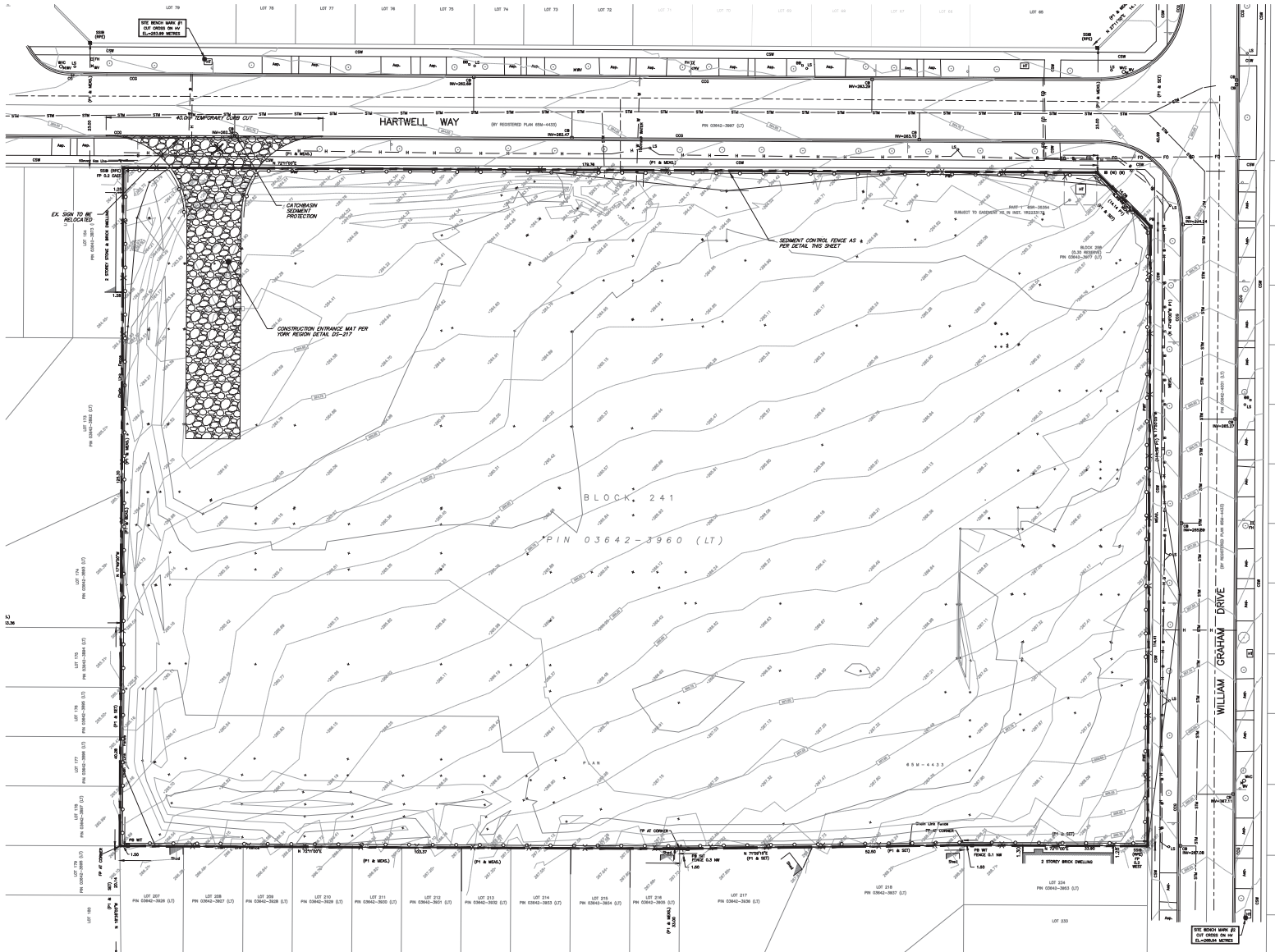
REVISIONS ARE TO BE COMPLETED ON A WEEKLY BASIS BEFORE AND AFTER A SIGNIFICANT RAINFALL EVENT (15mm) EVENT.



WHEN GEOTEXTILE

NOTES:

1. TO BE INSTALLED ON ALL CATCHBASINS AND MAINTAINED BETWEEN APRIL AND DECEMBER. REMOVE FOR WINTER SEASON.
2. WHEN GEOTEXTILE TO HAVE EXISTING OPENING SIZE BETWEEN 0.15mm AND 0.3mm.
3. WHEN GEOTEXTILE TO BE REPLACED PERIODICALLY WHEN ACCUMULATED SEDIMENTS INTERFERE WITH DRAINAGE.



LEGEND

- EXISTING CONTOURS
- EXISTING ELEVATIONS
- PROPOSED CATCH BASIN
- PROPOSED SEDIMENT PROTECTION
- NEW GEOTEXTILE AS REQUIRED

NO.	ISSUED FOR	DATE
1	ISSUED FOR GFA	AUG 1, 2021
2	ISSUED	DATE

AURORA 2C PUBLIC SCHOOL

CORNER OF WILLIAM GRAHAM DR. & HARTWELL WAY
AURORA, ON

LEGAL DESCRIPTION

Block 241
Registered Plan 65M-4433

TOWN OF AURORA,
REGIONAL MUNICIPALITY OF YORK

MGM CONSULTING INC.

Consulting Engineers & Environmental Scientists
1000 Highway 7 East, Suite 200
Richmond Hill, Ontario L4B 1N2
Tel: (905) 882-1111 Fax: (905) 882-1112

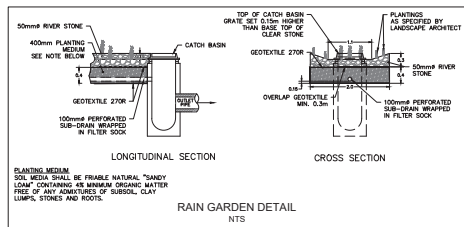
SITE PLAN FILE NO.

EROSION AND SEDIMENT CONTROL PLAN

HOSSACK & ASSOCIATES ARCHITECTS

1000 Highway 7 East, Suite 200
Richmond Hill, Ontario L4B 1N2
Tel: (905) 882-1111 Fax: (905) 882-1112

SCALE	PROJECT
1:300	2021-018
DATE	MAY 2021
DRAWN	BR
CHECKED	BR
DATE	

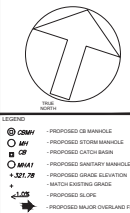
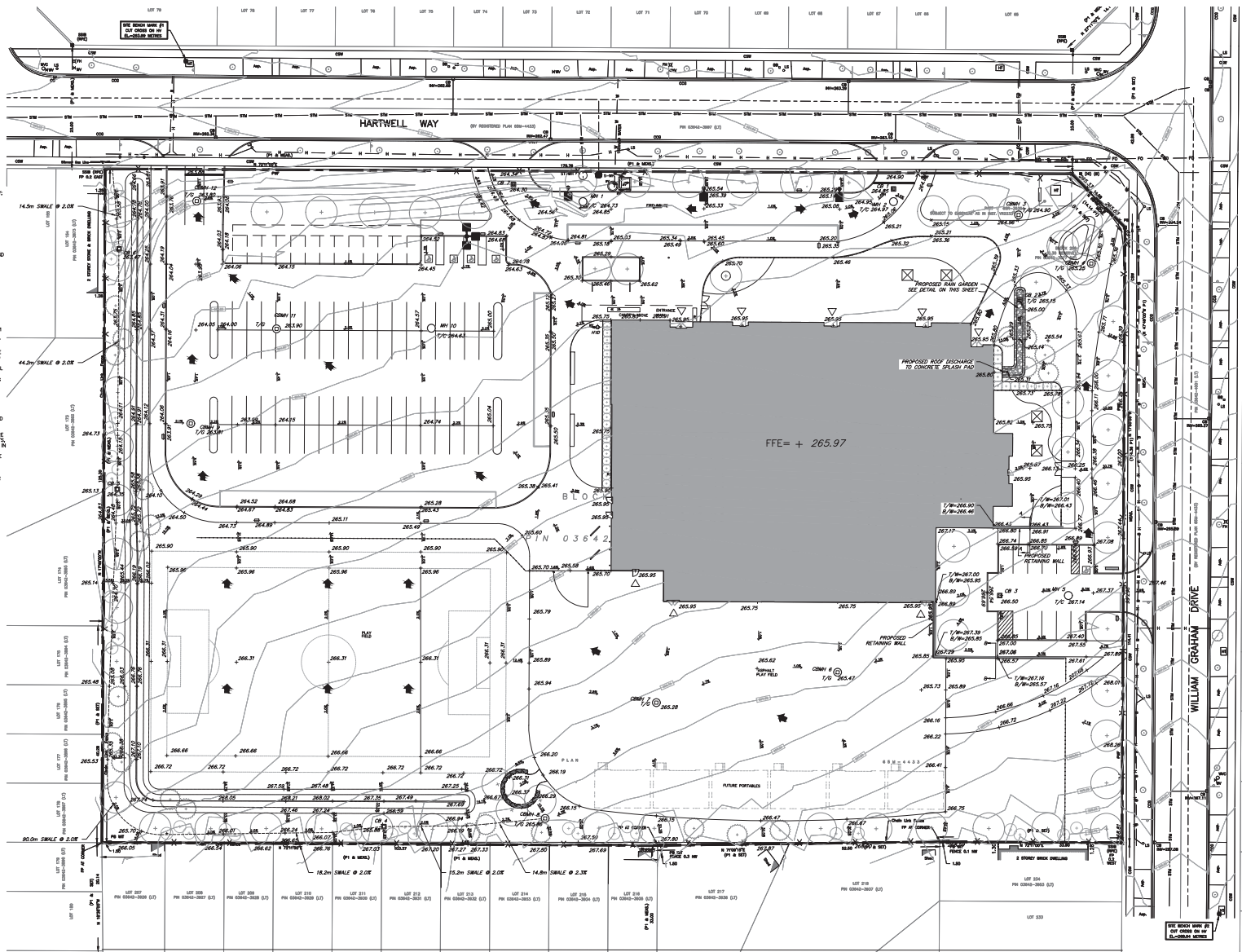


- CONSTRUCTION NOTES:**
1. ALL SITE GRADING SHALL BE CARRIED OUT IN ACCORDANCE WITH OPSS 206.
 2. ALL MATERIALS ENCOUNTERED DURING EXCAVATION THAT ARE NOT SUITABLE FOR USE AS LAYER FILL IS TO BE REMOVED AND EXPOSED OFF SITE IN ACCORDANCE WITH CURRENT AND RELEVANT REGULATIONS.
 3. ALL GRAVELLY MATERIALS SHALL CONFORM TO OPSS 1000 AND BE COMPACTED TO 100% STANDARD PROCTOR DENSITY.
 4. ALL ASPHALT MATERIALS SHALL BE IN ACCORDANCE WITH OPSS 1000, 1101, 1150 AND BE PLACED IN ACCORDANCE WITH OPSS 100.
 5. ALL CONCRETE FOR CURBS SHALL BE IN ACCORDANCE WITH OPSS 204 AND CONSTRUCTED AS PER OPSS 204.01.
 6. ALL CONCRETE FOR CURBS SHALL BE IN ACCORDANCE WITH OPSS 204.01.
 7. FOR EROSION AND SEDIMENT CONTROL, REFER TO MDM DRAWING NO. C-1.
 8. ALL EXISTING GRADED AREAS ARE TO BE REMOVED TO MINIMUM TOPSOIL DEPTH OF 100MM AND FILL.

- GENERAL NOTES:**
- A) THE CONTRACTOR SHALL RECTIFY ALL DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER AND TO THE SATISFACTION OF THE DIRECTOR OF INFRASTRUCTURE & ENVIRONMENTAL SERVICES.
 - B) MANHOLES ARE TO BE REMOVED TO THE GROUND.
 - C) LANDSCAPING SHALL NOT ENCOMPASS OR BULKHEAD NOR SHALL BULKHEAD BE CONSIDERED TO CONSTITUTE PART OF THIS CONTRACT.
 - D) ALL WORKS ARE TO BE COMPLETED IN ACCORDANCE WITH THE STANDARD DRAWINGS AND SPECIFICATIONS OF THE TOWN OF AURORA AND THESE SHALL BE DEEMED TO CONSTITUTE PART OF THIS CONTRACT.
 - E) ANY CONFLICTS WITH EXISTING SERVICES SHALL BE RECTIFIED AT THE OWNER'S EXPENSE.
 - F) A MINIMUM NOTION SHALL BE MAINTAINED BETWEEN THE INVERT OF A SEWER AND THE CROWN OF A WATERMAIN OR VICE VERSA AT ALL INTERSECTIONS.
 - G) ALL WATERMANS TO BE INSTALLED WITH A MINIMUM 1.7M COVER ON PRIVATE PROPERTY. HEAVY DUTY ASPHALT PAVING FROM BACK EDGE OF CURB TO PROPERTY LINE.
 - H) 100MM COMPACTED DEPTH OF 1/2" ASPHALT TOP COURSE.
 - I) 100MM COMPACTED DEPTH OF 1/2" ASPHALT BASE COURSE.
 - J) 100MM COMPACTED DEPTH OF 100MM C/R LIMESTONE GRANULAR SUB-BASE.
 - K) 100MM COMPACTED DEPTH OF 100MM C/R LIMESTONE GRANULAR SUB-BASE.
 - L) 100MM COMPACTED DEPTH OF 100MM C/R LIMESTONE GRANULAR SUB-BASE.
 - M) 100MM COMPACTED DEPTH OF 100MM C/R LIMESTONE GRANULAR SUB-BASE.
 - N) 100MM COMPACTED DEPTH OF 100MM C/R LIMESTONE GRANULAR SUB-BASE.
 - O) 100MM COMPACTED DEPTH OF 100MM C/R LIMESTONE GRANULAR SUB-BASE.
 - P) 100MM COMPACTED DEPTH OF 100MM C/R LIMESTONE GRANULAR SUB-BASE.
 - Q) 100MM COMPACTED DEPTH OF 100MM C/R LIMESTONE GRANULAR SUB-BASE.
 - R) 100MM COMPACTED DEPTH OF 100MM C/R LIMESTONE GRANULAR SUB-BASE.
 - S) 100MM COMPACTED DEPTH OF 100MM C/R LIMESTONE GRANULAR SUB-BASE.
 - T) 100MM COMPACTED DEPTH OF 100MM C/R LIMESTONE GRANULAR SUB-BASE.
 - U) 100MM COMPACTED DEPTH OF 100MM C/R LIMESTONE GRANULAR SUB-BASE.
 - V) 100MM COMPACTED DEPTH OF 100MM C/R LIMESTONE GRANULAR SUB-BASE.
 - W) 100MM COMPACTED DEPTH OF 100MM C/R LIMESTONE GRANULAR SUB-BASE.
 - X) 100MM COMPACTED DEPTH OF 100MM C/R LIMESTONE GRANULAR SUB-BASE.
 - Y) 100MM COMPACTED DEPTH OF 100MM C/R LIMESTONE GRANULAR SUB-BASE.
 - Z) 100MM COMPACTED DEPTH OF 100MM C/R LIMESTONE GRANULAR SUB-BASE.

- GRADING NOTES:**
1. ALL GRADES AND SLOPES SHALL BE A MINIMUM 2% AND MAXIMUM 5%.
 2. EXISTING GRADES SHALL BE A MINIMUM 2% AND MAXIMUM 5%.
 3. EXISTING GRADES SHALL BE A MINIMUM 2% AND MAXIMUM 5%.
 4. WHERE SLOPES EXCEED 5% SLOPES SHALL BE USED TO MAKE UP DIFFERENCES.
 5. ALL ROOF DRAINAGE SHALL DISCHARGE INTO SPASH PADS ON GRADED AREAS.
 6. WATER SERVICE VALVE BOXES SHALL NOT BE LOCATED IN DRAINAGE.
 7. MINIMUM SEPARATION OF 150MM SHALL BE PROVIDED BETWEEN THE BROUQUE AND THE FINAL GROUND ELEVATION AND 200MM BETWEEN SINKING AND THE FINAL GROUND ELEVATION.
 8. DRAINAGE SHALL BE A MINIMUM 1.2M CLEAR DISTANCE FROM ALL STREET LANDSCAPE, TREES, PLANTS, CATERPILLARS, UTILITY PROTECTORS, ETC.
 9. SINKING SHALL BE A MINIMUM 1.2M CLEAR DISTANCE FROM ALL STREET LANDSCAPE, TREES, PLANTS, CATERPILLARS, UTILITY PROTECTORS, ETC.
 10. SINKING SHALL BE A MINIMUM 1.2M CLEAR DISTANCE FROM ALL STREET LANDSCAPE, TREES, PLANTS, CATERPILLARS, UTILITY PROTECTORS, ETC.
 11. MAXIMUM SINKING LENGTH SHALL BE 10M.

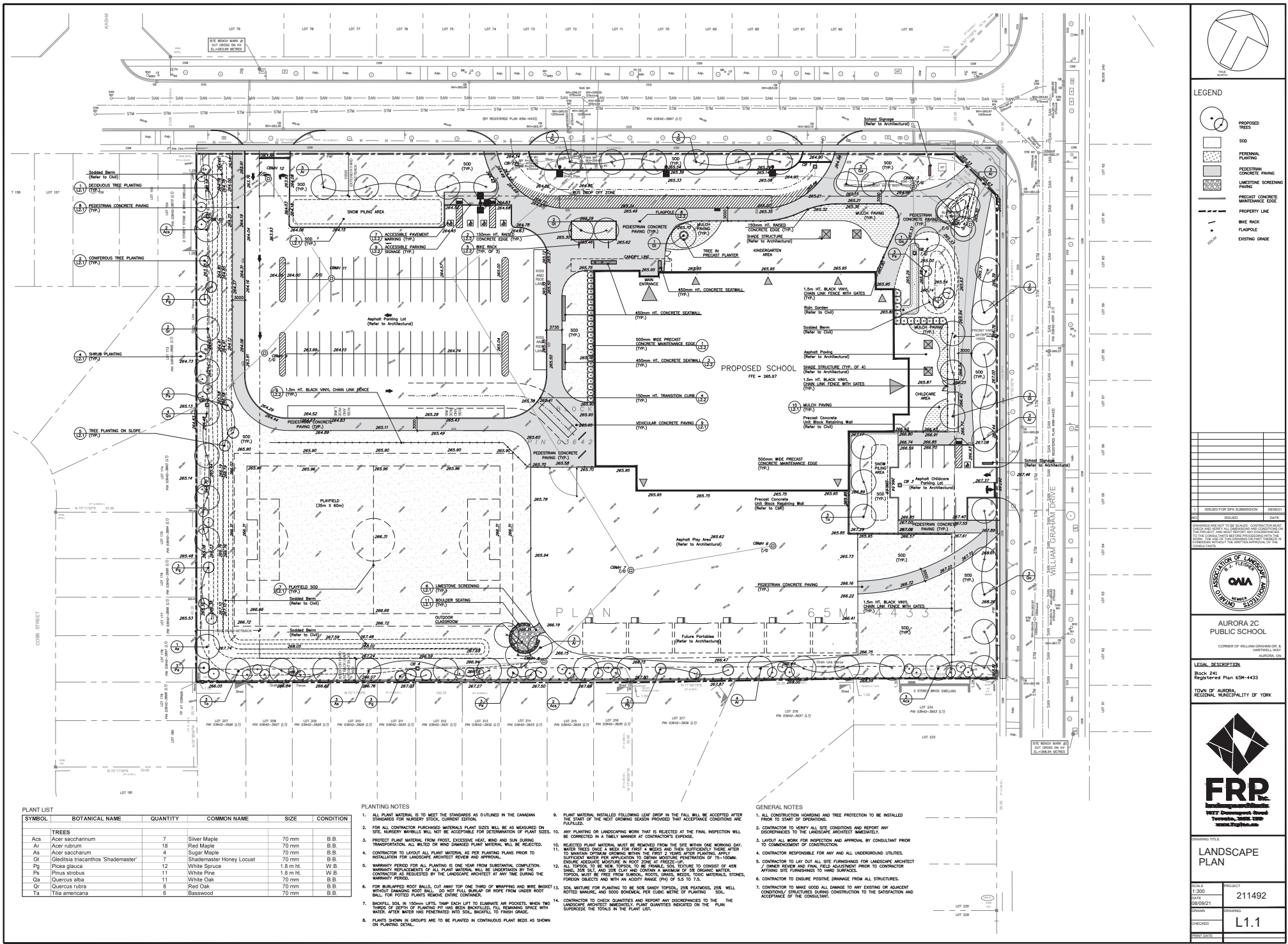
- NOTE:**
1. CONTRACTOR TO CONTACT MGM CONSULTING INC. IMMEDIATELY SHOULD THERE BE ANY CONFLICTS BETWEEN EXISTING CONDITIONS AND PROPOSED GRADING AND/OR SINKING DESIGN, OR CONFLICTS IN CONDUCTING THE WORK AS PER THE INTENT OF THE APPROVED DESIGN PRIOR TO CONSTRUCTION.
 2. CONTRACTOR TO LOCATE AND PROTECT ALL EXISTING SERVICES AND UTILITIES PRIOR TO CONSTRUCTION.
 3. CONTRACTOR TO LOCATE AND CONFIRM ALL EXISTING UTILITIES AND SERVICE INFORMATION FROM CONSTRUCTION.
 4. CONTRACTOR TO ENSURE ADEQUATE CLEARANCE FROM ALL EXISTING SERVICES AND UTILITIES.
 5. CONTRACTOR TO CONFIRM ALL EXISTING INVERTS FROM INTERNAL SERVICES.

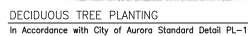


MS	



SCALE AS SHOWN	PROJECT 21103
DATE	
DRAWN M.B.	DRAWING EFC-2
CHECKED F.Z.	
PRINT DATE	
REVIT FILE	





1	ISSUED FOR SPA SUBMISSION	08/0
NO	ISSUED	DA

1	ISSUED FOR SPA SUBMISSION	08/0
NO	ISSUED	DA



AURORA 2C
PUBLIC SCHOOL

CORNER OF WILLIAM GRAHAM DR.
HARTWELL V.
AURORA.

LEGAL DESCRIPTION

Block 241
Registered Plan 6SM-4433

THE UNIVERSITY OF CHICAGO

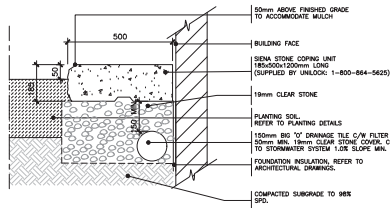
TOWN OF AURORA,
REGIONAL MUNICIPALITY OF YORK

DRAWING TITLE

DETAILS

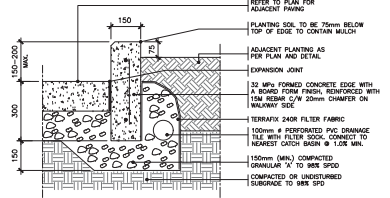
SCALE 1:300	PROJECT 211492
DATE 08/09/21	
DRAWN	DRAWING L2.1
CHECKED	
PRINT DATE	

SCALE 1:300	PROJECT 211492
DATE 08/09/21	
DRAWN	DRAWING L2.1
CHECKED	
PRINT DATE	



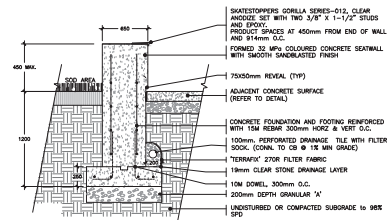
500mm WIDE PRECAST CONCRETE MAINTENANCE EDGE

1:10 1



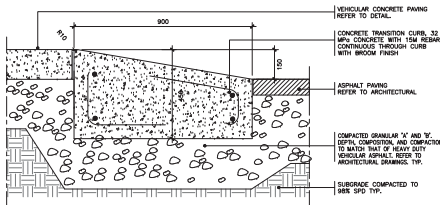
150mm HT. RAISED CONCRETE EDGE

1:10 2



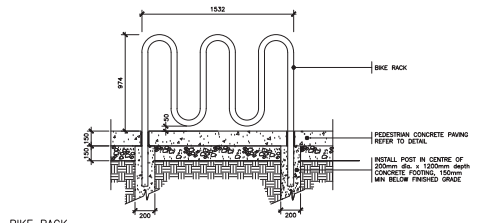
450mm HT. CONCRETE SEATWALL

1:10 3



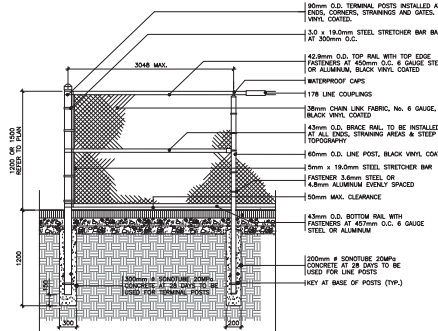
150mm HT. TRANSITION CURB

1:10 4



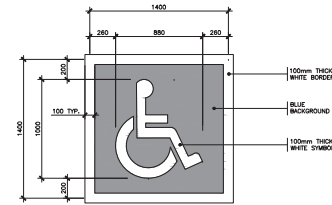
BIKE RACK

1:20 5



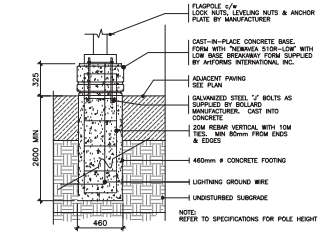
BLACK VINYL COATED CHAIN LINK FENCE AND GATES

1:25 6



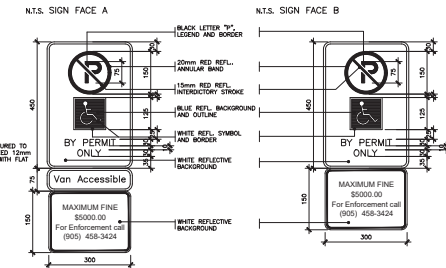
ACCESSIBLE PAVEMENT MARKING
As per City of Brampton Standards

1:20 7



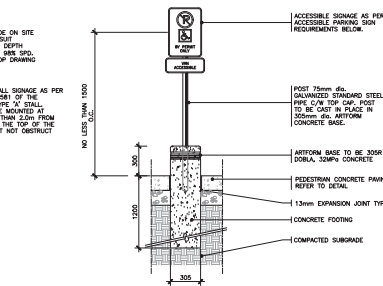
FLAGPOLE

1:20 8

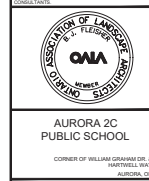


ACCESSIBLE PARKING SIGNAGE

1:20 9



1	ISSUED FOR SPA SUBMISSION	10/05/21
2	REVISED	DATE



AURORA 2C
PUBLIC SCHOOL

CORNER OF WILLIAM GAVANSON & HARTWELL ROAD
AURORA, ONT.

LEGAL DESCRIPTION
Block 241
Registered Plan 65H-433

TOWN OF AURORA,
REGIONAL MUNICIPALITY OF YORK



1077 Denison Street
Toronto, ON M6H 1B5
www.frp.ca

DRAWING TITLE

DETAILS

SCALE	PROJECT
1:200	211492
DATE	06/05/21
DESIGNER	PROWERS
CHECKED	L2.2
DATE	

METRIC NOTE
ALL DISTANCES AND COORDINATES SHOWN HEREON ARE IN METRES
AND CAN BE CONVERTED TO FEET BY EVIDING BY 0.3048.

LEGEND

IN	DENOTES SURVEY MONUMENT FOUND
□	• SURVEY MONUMENT SET
SB	• STANDARD IRON BAR
SSB	• SHORT STANDARD IRON BAR
•	• IRON BAR
•	• PLASTIC BAR
PO	• NO IDENTIFICATION
EN	• CUNNINGHAM McCONNELL LIMITED
PN	• PROPERTY IDENTIFIER NUMBER
•	• 5' BELOW GROUND LEVEL
RDY-PRDCT & EDWARDS SURVEYING LIMITED	•
•	• REGISTERED PLAN 65M-4433
WT	• WITNESS

INTEGRATION NOTE:




COORDINATES ARE UTM ZONE 17, NAD 83 (SPS 2010), TO URBAN ACCURACY PER SEC. 14 (2) OF OREG. 216.75, AND CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

GRP	NORTHING	EASTING
A	4875515.14	6256229.80
B	4875436.38	625970.62

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE CONVERSION SCALE FACTOR OF 0.999997331

BENCH MARK NOTE:
ALL ELEVATIONS SHOWN HERE ON ARE GEODETIC (OVD 1928:1978 ADJUSTMENT) AND
HAVE BEEN DERIVED FROM GPS OBSERVATIONS BASED ON THE TOPNET REAL TIME
NETWORK GPS SYSTEM.

CONTOUR NOTE:
CONTOUR INTERVAL = 0.25 METRES

LEGEND	
BE	DENOTES BELL BOW
CE	DENOTES CROWN
CH	DENOTES CHAIR
CU	DENOTES CURVE CURVE & OUTER
OUT	DENOTES CURVE CURVE & FENCE
OP	DENOTES CORNER, FENCE
PE	DENOTES PERPENDICULAR
PI	DENOTES FIRE POINT
PL	DENOTES PLATE
MT	DENOTES MOUNT
HO	DENOTES HORN
IN	DENOTES INLET
ST	DENOTES STRUT
TR	DENOTES TIGHT STANDARD
PIR	DENOTES POSTS POST & WIFE
W	DENOTES WATER
SA	DENOTES SADDLE
SN	DENOTES SADDLE
V	DENOTES VALLEY
VA	DENOTES VALLEY
WC	DENOTES WATER WATER CHAMBER
	
	DENOTES OCCASIONAL TREE
	
	DENOTES TOP OF BANK
— X	DENOTES FENCE LINE
— B	DENOTES CHAIR
— E	DENOTES UNDERGROUND GAS
— R	DENOTES UNDERGROUND RAIL
— W	DENOTES UNDERGROUND FIRE
— SW	DENOTES UNDERGROUND STORM SW
— U	DENOTES UNDERGROUND SADDLE
— W	DENOTES UNDERGROUND SADDLE
— W	DENOTES WATER SERVICE
	
	DENOTES TACTIC MAP INDICATOR

SURVEYOR'S CERTIFICATE
I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND REGULATIONS MADE UNDER THEM
2. THE SURVEY WAS COMPLETED ON MAY 12, 2021.

DATED: MAY 14, 2021

Robert D. McConnell
ROBERT D. McCONNELL

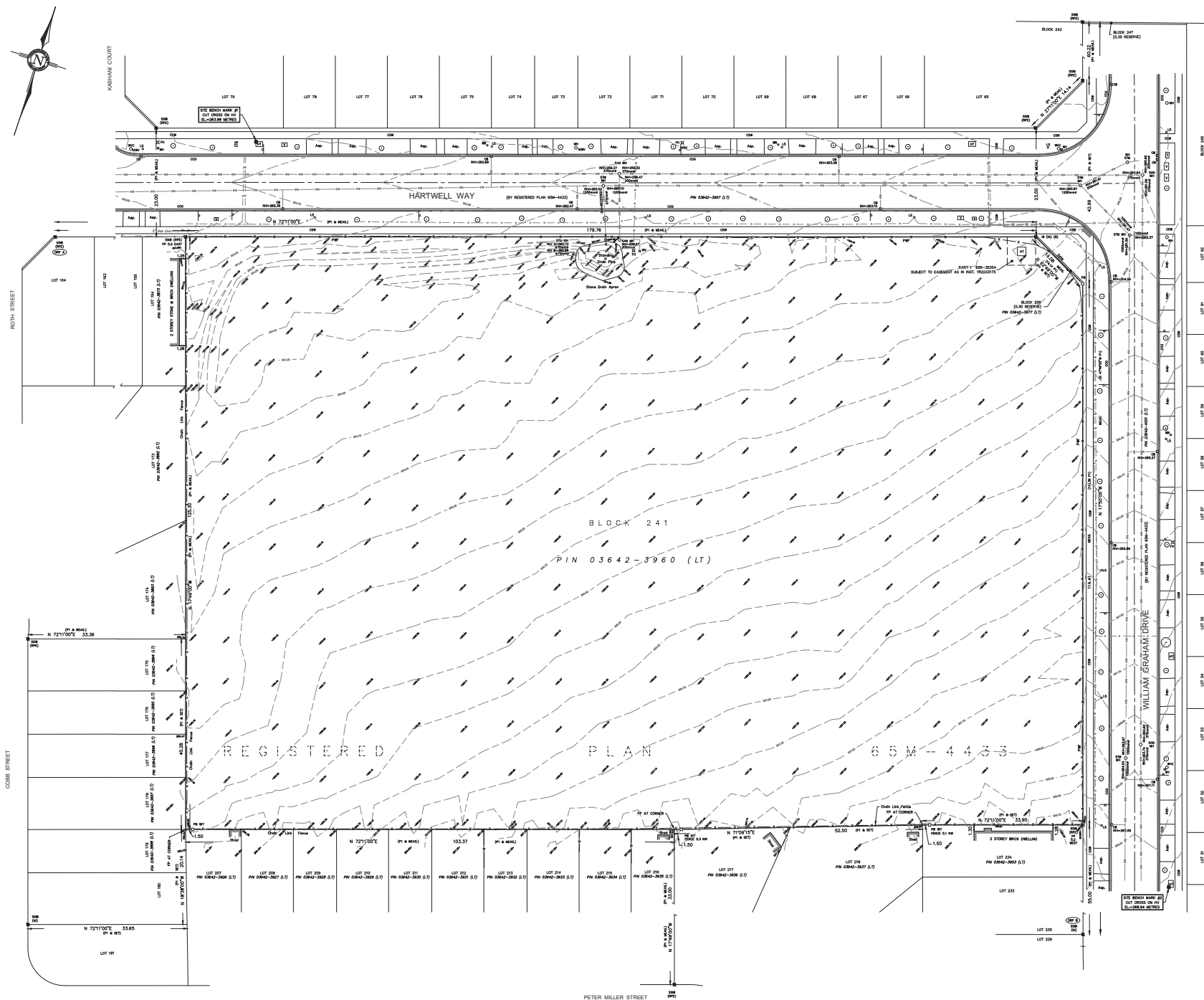
<p>ONTARIO LAND SURVEYOR</p>	<p>ASSOCIATION OF ONTARIO LAND SURVEYORS PLAN SUBMISSION FORM 2156008</p>  <p>THIS PLAN IS NOT VALID UNLESS IT IS AN APPROVED ORIGINAL COPY ISSUED BY THE SURVEYOR</p>
------------------------------	---

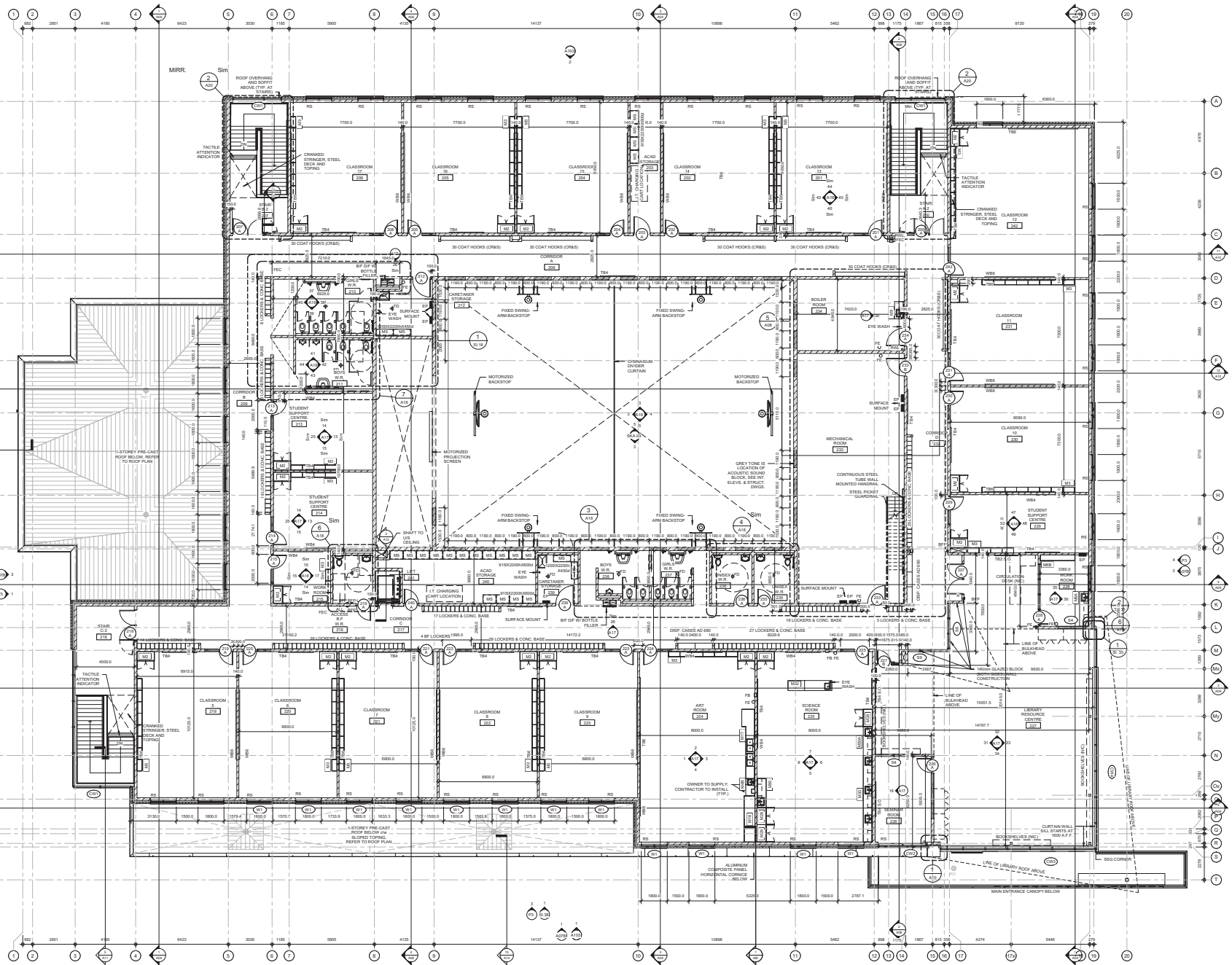
CUNNINGHAM McCONNELL LIMITED
ONTARIO LAND SURVEYORS

205 MAIN STREET
MILTON, ONTARIO L9T 1N7
PHONE (905) 878-6672
FAX (905) 878-6672
milton.office@cunningsurveys.ca
O.L.S. FILE # 21-26

1200 SPIERS ROAD, UNIT 31
OXFORD, ONTARIO L6L 2N6
PHONE (905) 845-3497
FAX (905) 845-3519
info@mcconnellsurveys.ca

CLIENT: YORK REGION DISTRICT SCHOOL





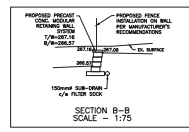
NO.	ISSUED	DATE
DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT, AND MUST REPORT ANY DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING WITH THE WORK. THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE		

CORNER OF
WILLIAM GRAHAM CR. &
HARTWELL WAY, AURORA, ON

LEGAL DESCRIPTION
BLOCK 241, REGISTERED PLAN 65M-4433
TOWN OF AURORA,
REGIONAL MUNICIPALITY OF YORK



SCALE 1:100	PROJECT 21103
DATE JULY 2021	
DRAWN BM	DRAWING A03
CHECKED PL	
PRINT DATE	2021-09-22 4:14:36 PM
REVIEW FILE	T:\2021\21103\21103Rev01.rvt

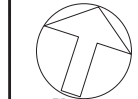


GARDEN DETAIL









NTS

- GRADING NOTES:**
1. ALL GRADES AND SLOPES SHALL BE A MINIMUM 2% AND MAXIMUM 5%.
 2. DRIVEWAY GRADES SHALL BE A MINIMUM 2% AND MAXIMUM 5%.
 3. HOUSES SHALL HAVE A MINIMUM 0.15m ELEVATION DIFFERENCE TO THE ADJACENT SLOPE LOW POINT.
 4. WHERE SLOPES EXCEED 5%, 3:1 SLOPES SHALL BE USED TO MAKE UP DIFFERENCE.
 5. ALL ROOF DRAINS SHALL DISCHARGE ON SPLASH PADS ON GRASSED AREAS.
 6. WATER SERVICE VALVE BOXES SHALL NOT BE LOCATED IN DRIVEWAYS.
 7. ALL LOTS TO HAVE MINIMUM 200MM TOPSOIL AND 500.
 8. MINIMUM SEPARATION OF 150mm shall BE PROVIDED BETWEEN THE BRICKLINE AND THE FINAL GRADE ELEVATION AND 200mm BETWEEN SEEDING AND THE FINAL GRADE ELEVATION.
 9. DRIVEWAYS SHALL BE A MINIMUM 1.2M CLEAR DISTANCE FROM ALL STREET AND SIDEWALK POLES AND UTILITIES AND ALL UTILITIES SHALL BE 1.5M.
 10. SLOPE DEPTH TO BE ACCORDING TO FLOOR - MINIMUM 150mm.

1. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF THE MUNICIPALITY AND MDM CONSULTING INC.
2. CONTRACTOR TO LOCATE AND PROTECT ALL EXISTING SERVICES AND UTILITIES PRIOR TO AND DURING CONSTRUCTION.
3. CONTRACTOR TO LOCATE AND CONFIRM ALL EXISTING UTILITIES AND SERVICE INFORMATION PRIOR TO CONSTRUCTION.
4. CONTRACTOR TO ENSURE ADEQUATE CLEARANCE FROM ALL EXISTING SERVICES AND UTILITIES.
5. CONTRACTOR TO CONFIRM ALL EXISTING INVERTS PRIOR TO INTERNAL SERVING.



LEGEND

	CSMH	- PROPOSED CATCH BASIN
	MH	- PROPOSED STORM MANHOLE
	CB	- PROPOSED CATCH BASIN
	SMH	- PROPOSED SANITARY MANHOLE
	+327.78	- PROPOSED GRADE ELEVATION
		- MATCH EXISTING GRADE
	1.0%	- PROPOSED SLOPE
		- PROPOSED MAJOR OVERLAND FLOW

TOWN OF AURORA
PLANNING AND DEVELOPMENT SERVICES
Development Planning Division
DATE: Oct. 4, 2021
RECEIVED

TOPOGRAPHICAL INFORMATION PROVIDED
BY CUNNINGHAM MCCONNELL LIMITED
O.L.S.

O.L.S. FILE # 21-26
SURVEY COMPLETED ON MAY 12, 202

BENCH MARK

ALL ELEVATIONS SHOWN HERE ON ARE
GEODETIC (CGVD 1928-1978 ADJUSTM
AND HAVE BEEN DERIVED FROM GPS
OBSERVATIONS BASED ON THE TOPNET
REAL TIME NETWORK GPS SYSTEM.

1	ISSUED FOR SPA	AUG.

DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE PROJECT, AND MUST REPORT ANY DISCREPANCY TO THE CONSULTANTS BEFORE PROCEEDING WITH WORK. THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE CONSULTANTS.



**AURORA 2C
PUBLIC SCHOOL**

CORNER OF WILLIAM GRAHAM
HARTWELL

AURORA

LEGAL DESCRIPTION
Block 241
Registered Plan 65M-4433



MGM
CONSULTING INC.
Consulting Engineering & Project Management
955 Industrial Drive
Suite 201
Mississauga, Ontario
L4T 1B1
Tel: (905) 267-4671
Fax: (905) 275-1339
Email: mgen@mgen.ca
www.mgen.ca

GRADING PLAN

**HOSSACK
& ASSOCIATES
ARCHITECTS**

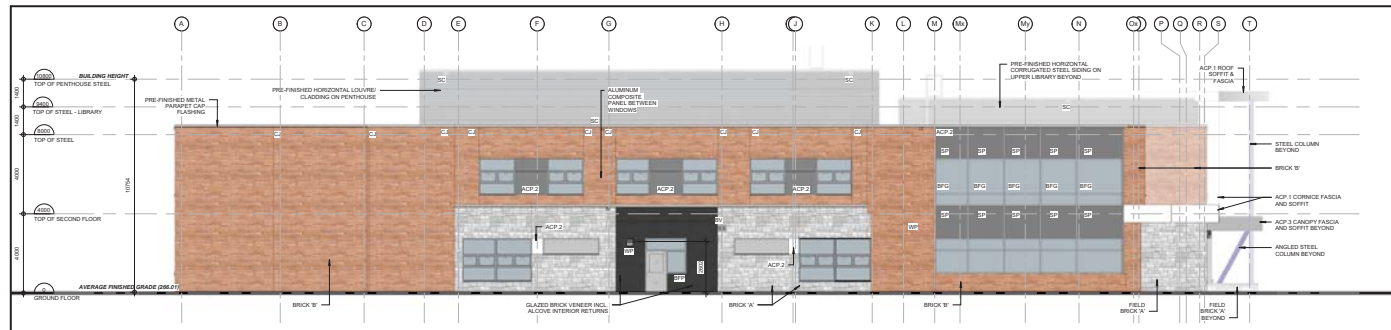
4-2150 DUNNIN DRIVE
MISSISSAUGA, ONTARIO L5L 5M8

SCALE	1:300	PROJECT 2021-018
DATE	MAY 2021	

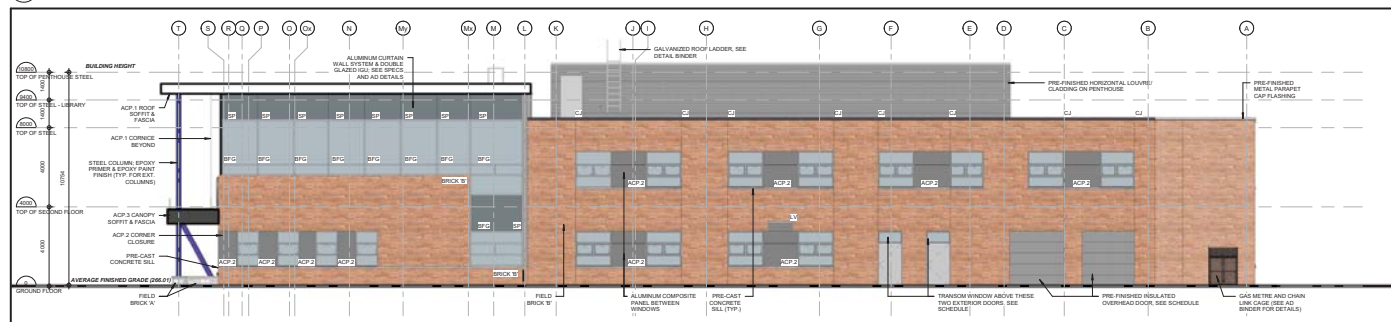
DRAWN	BY	CV-2
CHECKED	MS	



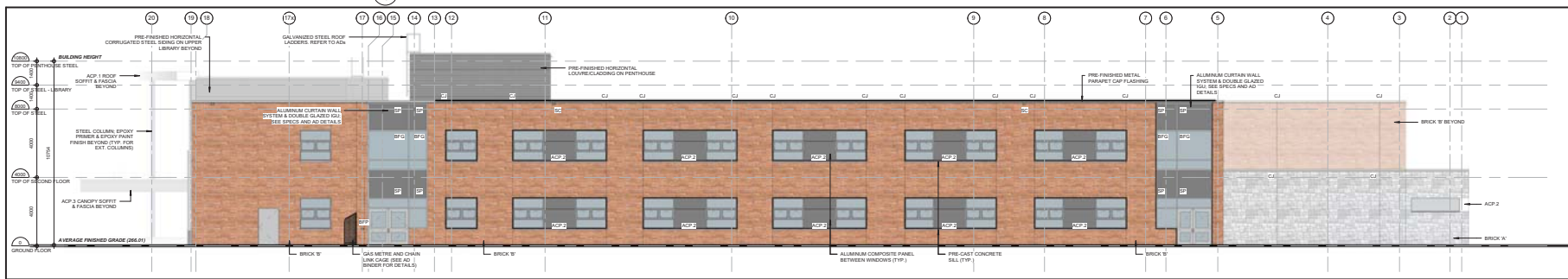
2 NORTH ELEVATION
SCALE: 1:100



4 EAST ELEVATION
SCALE: 1:100



3 WEST ELEVATION
SCALE: 1:100



1 SOUTH ELEVATION
SCALE: 1:100

TOWN OF AURORA
PLANNING AND DEVELOPMENT SERVICES
Development Planning Division
DATE: Oct 4, 2021
RECEIVED
SUBMISSION No. 1

ABBREVIATIONS	
ACP	ALUMINUM COMPOSITE PANEL
BFG	BIRD FRIENDLY GLAZING SEE SPEC
CSP	CONTROL JAMB
CSF	COLORFUL SPANDREL PANEL
EXT	EXTERIOR
ISI	INSULATED GLAZED UNIT
BP	BRICK PANEL
SP	SPANDREL PANEL
VERT	VERTICAL

ELEVATION LEGEND	
MASONRY BRICK A (100/30 RED)	
MASONRY BRICK B (100/30 LIGHT GREY)	
HORIZONTAL CORRUGATED STEEL SING PENTHOUSE LOUVER	
ALUMINUM COMPOSITE PANEL 1 (WHITE)	ACP 1
ALUMINUM COMPOSITE PANEL 2 (GREY)	ACP 2
ALUMINUM COMPOSITE PANEL 3 (CHARCOAL)	ACP 3
GLAZED BRICK (CHARCOAL)	
SPANDREL PANEL (GREY)	SP
BFG - BIRD FRIENDLY GLAZING (DOTS)	

NO	REVISIONS	DATE

1	ISSUED FOR SITE PLAN APPROVAL	2/10/20
2	BPA PRE-CONSTRUCTION	2/10/20
3	ISSUED	2/10/20

(DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE CONSULTANT DATE BEFORE PROCEEDING WITH THE WORK. CONSULTANT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DRAWINGS WITHOUT THE WRITTEN APPROVAL OF THE CONSULTANT.)



AURORA 2C PUBLIC SCHOOL
CORNER OF MILLIKEN DRIVE AND BAYVIEW AVE. AURORA, ON

LEGAL DESCRIPTION: BLOCK 241, REGISTERED PLAN 65M-4433
TOWN OF AURORA
REGIONAL MUNICIPALITY OF YORK



EXTERIOR ELEVATIONS

SCALE: 1:100
PROJECT: 21103
DATE: JULY 2021
DRAWING: BM
DRAWN: BM
CHECKED: PL
REVIEW: PL
DATE: 2021-07-13 13:14
REV: 1

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