

ISSUED ZONING REVIEW
JUNE, 2021.

DRAWINGS LIST

- A-1 SURVEY PLAN/
SITE PLAN
- A-2 BASEMENT PLAN
- A-3 GROUND
FLOOR PLAN
- A-4 SECOND
FLOOR PLAN
- A-5 ROOF PLAN
- A-6 ELEVATION
- A-7 ELEVATION
- A-8 ELEVATION
- A-9 ELEVATION
- A-10 SECTION

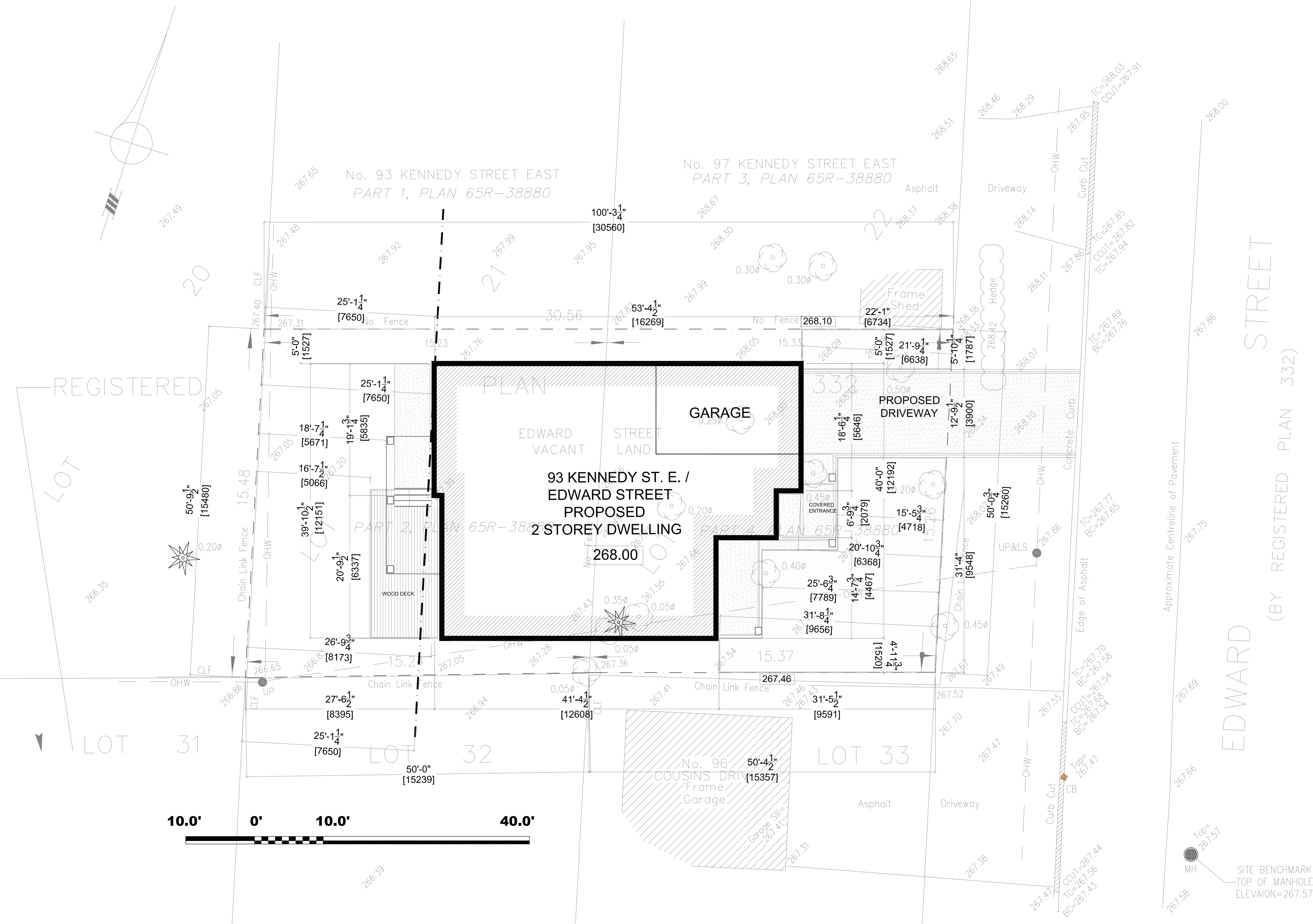
SITE DATA	SQ.FT.	M2	
LOT AREA	5032.50	467.53	100%

SET BACKS	PROPOSED	
	M	FT.
FRONT BUILDING	6.37	20.90'
FRONT PORCH	4.50	14.76'
REAR	7.65	25.10'
SIDE	1.52	5.00'
SIDE	1.53	5.00'
HEIGHT TO PEAK	9.90	32.48'
LOT COVERAGE	37.86%	177.04
1905.60		

PROPOSED BUILDING INFORMATION			
BASEMENT	150.53	1620.31	
GROUND FLOOR WITH GARAGE	177.04	1905.60	
SECOND FLOOR AREA	85.50	436.98	4267.70 920.31
TOTAL FLOOR AREA	413.07	932.44	3473.39 4446.22

DRIVEWAY / LANDSCAPE AREA		
FRONT YARD	96.46	1038.27
DRIVEWAY	22.32	240.31
LANDSCAPE AREA	74.13	797.96
SOFT LANDSCAPE AREA	57.42%	55.39
596.20		
CALCULATED AREA IS INSIDE PROPERTY LINE		

1 PROPOSED
SITE PLAN
SCALE: 1'-0" = 1/8"
SCALE: 1 : 100



TOWN OF AURORA
PLANNING & DEVELOPMENT SERVICES
BUILDING DIVISION
PERMIT NO.: PR20210961 DATE: Nov. 16, 2021
APPROVED BY: Ashley Vandenberg AMENDED
PRELIMINARY ZONING REVIEW

AM
ALEKSANDAR V. MARKOVIC
Architecture . Interior
1 Valley Woods Rd. North York, Ontario M3A 1R9
Telephone (+16) 481.5694 Fax (+16) 487.6312

THIS DRAWING MUST BE READ IN THE CONTEXT OF ALL OTHER DRAWINGS WHICH CONSTITUTE THE CONSTRUCTION DOCUMENT.
THIS DRAWING WAS DEVELOPED FOR A SPECIFIC PURPOSE. USE FOR ANY OTHER PURPOSE IS NOT PERMITTED.
THIS DRAWING SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE DESIGNER.
ALL DIMENSIONS ARE TO BE VERIFIED ON SITE PRIOR TO FABRICATION, INSTALLATION OR COMMENCING WITH WORK.
ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER FOR CLARIFICATION.
DO NOT SCALE THE DRAWINGS.

Issued
ISSUED FOR COMMITTEE OF ADJUSTMENT / SEVERANCE, CONSENT

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the Requirements set out in the Ontario Building Code to be a designer.
REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1. of the Ontario Building Code
Name: LILJANA MARKOVIC 33107 BCDN #
Signature: Aleksandar V. Markovic 34372 BCDN #
Practice Name:

NO.	REVISIONS	DATE
1	AS PER EXAMINER'S NOTES	JULY 2021
2	AS PER EXAMINER'S NOTES	SEP. 2021
3	AS PER EXAMINER'S NOTES	NOV. 2021

Client

Oma Sewhdat
Project Name and Address
PROPOSED 2 STOREY DWELLING
93 Kennedy St. E. / Edward St.
Aurora, ON
Drawing Title

SITE PLAN
Checked by
A.M.
Scale
AS NOTED
Drawing/Sheet No.
A-1
Project No.
21-10



ALEKSANDAR V. MARKOVIC
Architecture . Interior

1 Valley Woods Rd., North York, Ontario M3A 1R9
Telephone (+16) 481.5694 Fax (+16) 487.6312

THIS DRAWING MUST BE READ IN THE CONTEXT OF ALL OTHER DRAWINGS WHICH CONSTITUTE THE CONSTRUCTION DOCUMENT.
THIS DRAWING WAS DEVELOPED FOR A SPECIFIC PURPOSE. USE FOR ANY OTHER PURPOSE IS NOT PERMITTED.
THIS DRAWING SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE DESIGNER.
ALL DIMENSIONS ARE TO BE VERIFIED ON SITE PRIOR TO FABRICATION, INSTALLATION OR COMMENCING WITH WORK.
ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER FOR CLARIFICATION.
DO NOT SCALE THE DRAWINGS.

Issued
ISSUED FOR COMMITTEE OF ADJUSTMENT / SEVERANCE, CONSENT

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the Requirements set out in the Ontario Building Code to be a designer.
Required unless design is exempt under 2.17.4.1. of the Ontario Building Code
REGISTRATION INFORMATION
Name LILJANA MARKOVIC 33107 BCDN #
Signature Aleksandar V. Markovic 34372 BCDN#
Practice Name

Revised		
NO.	REVISIONS	DATE
1	AS PER EXAMINER'S NOTES	JULY 2021
2	AS PER EXAMINER'S NOTES	NOV. 2021

Client

Oma Sewhdat

Project Name and Address
PROPOSED 2 STOREY DWELLING

93 Kennedy St. E. /
Edward St.

Aurora, ON

Drawing Title

SOUTH
ELEVATION

Checked by

A.M.

Scale

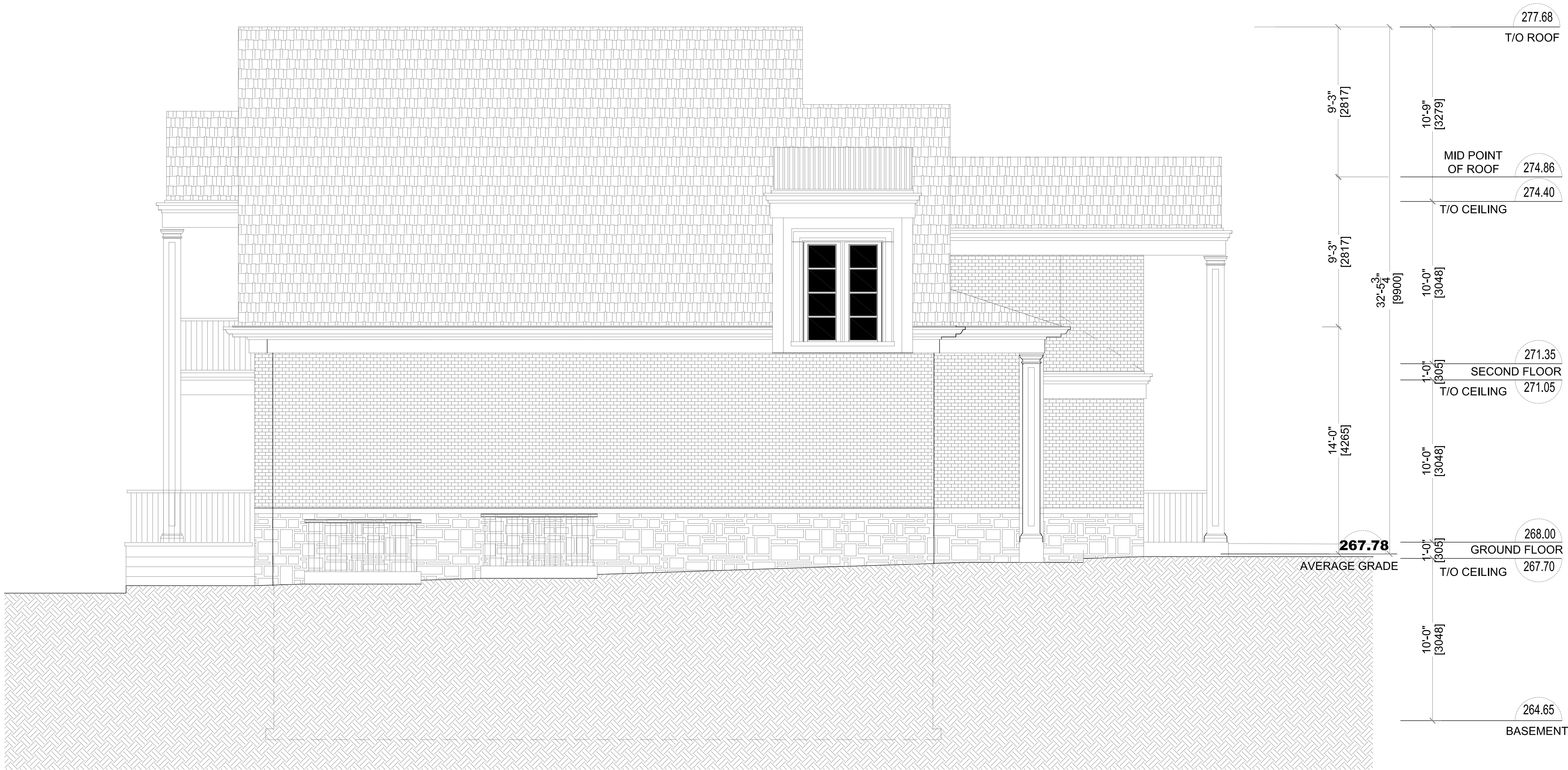
AS NOTED

Drawing/Sheet No.

A-6

Project No.

21-10



1

PROPOSED
SOUTH ELEVATION

SCALE: 1'-0" = $\frac{1}{4}$ "

SCALE: 1 : 50

TOWN OF AURORA
PLANNING & DEVELOPMENT SERVICES
BUILDING DIVISION
PERMIT NO.: PR20210961 DATE: Nov. 16, 2021
APPROVED BY: Ashley Vandennal AMENDED
PRELIMINARY ZONING REVIEW



ALEKSANDAR V. MARKOVIC
Architecture . Interior

1 Valley Woods Rd., North York, Ontario M3A 1R9
Telephone (+16) 481.5694 Fax (+16) 487.6312

THIS DRAWING MUST BE READ IN THE CONTEXT OF ALL OTHER DRAWINGS WHICH CONSTITUTE THE CONSTRUCTION DOCUMENT.
THIS DRAWING WAS DEVELOPED FOR A SPECIFIC PURPOSE. USE FOR ANY OTHER PURPOSE IS NOT PERMITTED.
THIS DRAWING SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE DESIGNER.
ALL DIMENSIONS ARE TO BE VERIFIED ON SITE PRIOR TO FABRICATION, INSTALLATION OR COMMENCING WITH WORK.
ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER FOR CLARIFICATION.
DO NOT SCALE THE DRAWINGS.

Issued

ISSUED FOR COMMITTEE OF ADJUSTMENT / SEVERANCE, CONSENT

The undersigned has reviewed & taken responsibility for this design, and has the qualifications and meets the Requirements set out in the Ontario Building Code to be a designer.

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1. of the Ontario Building Code

LJILJANA MARKOVIC 33107
Name BCDN #
Signature Aleksandar V. Markovic 34372
Practice Name BCDN#

Revised

NO.	REVISIONS	DATE
1	AS PER EXAMINER'S NOTES	JULY 2021
2	AS PER EXAMINER'S NOTES	SEP. 2021
3	AS PER EXAMINER'S NOTES	NOV. 2021

Client

Oma Sewhdat

Project Name and Address

PROPOSED 2 STOREY DWELLING

93 Kennedy St. E. /
Edward St.

Aurora, ON

Drawing Title

WEST
ELEVATION

Checked by

A.M.

Scale

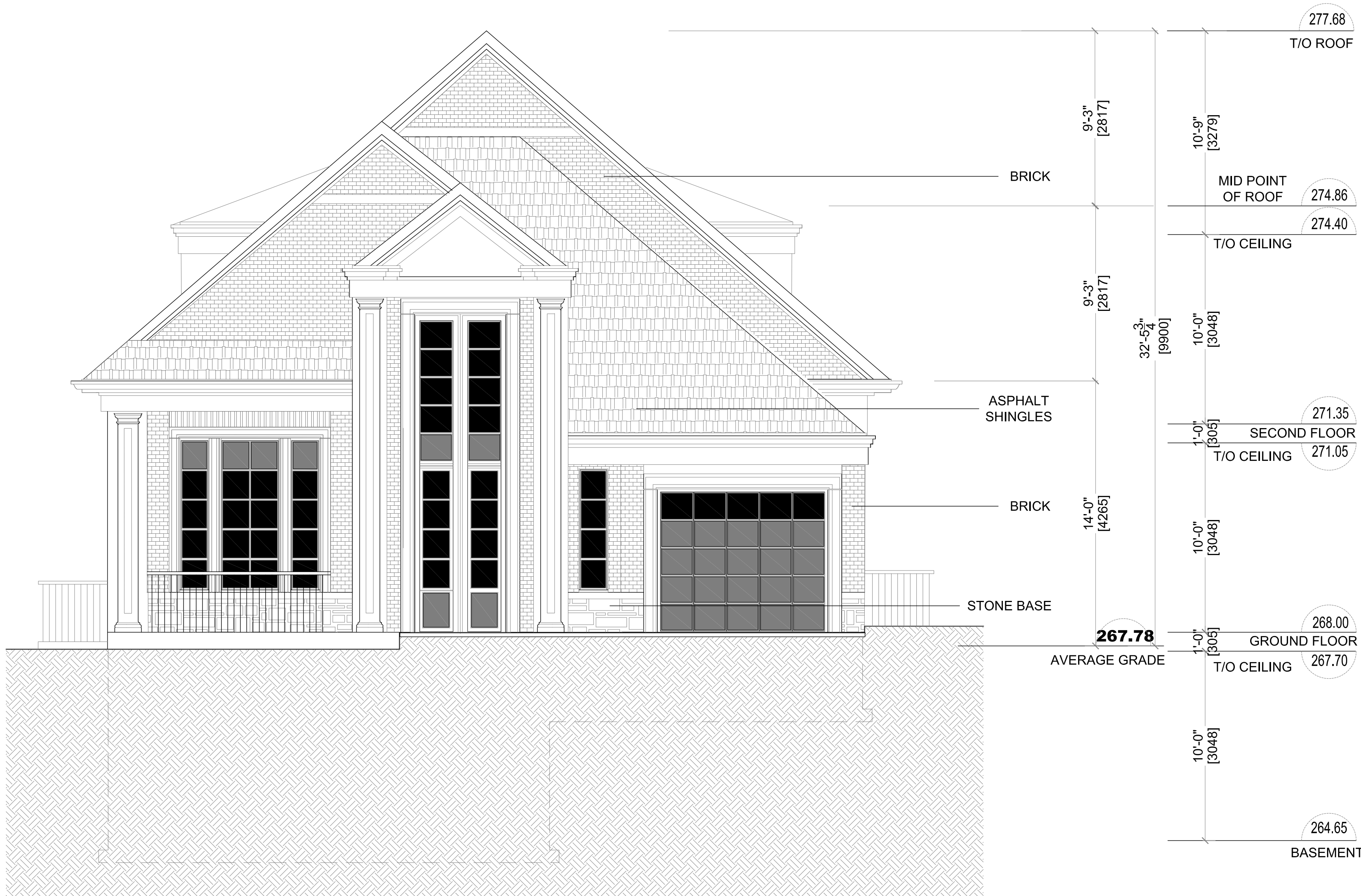
AS NOTED

Drawing/Sheet No.

A-7

Project No.

21-10



1

PROPOSED WEST ELEVATION

SCALE: 1'-0" = 1/4"

SCALE: 1 : 50

TOWN OF AURORA
PLANNING & DEVELOPMENT SERVICES
BUILDING DIVISION

PERMIT NO.: PR20210961 DATE: Nov. 16, 2021

APPROVED BY: Ashley Vandennal AMENDED

PRELIMINARY ZONING REVIEW



ALEKSANDAR V. MARKOVIC
Architecture . Interior

1 Valley Woods Rd., North York, Ontario M3A 1R9
Telephone (+16) 481.5694 Fax (+16) 487.6312

THIS DRAWING MUST BE READ IN THE CONTEXT OF ALL OTHER DRAWINGS WHICH CONSTITUTE THE CONSTRUCTION DOCUMENT.
THIS DRAWING WAS DEVELOPED FOR A SPECIFIC PURPOSE. USE FOR ANY OTHER PURPOSE IS NOT PERMITTED.
THIS DRAWING SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE DESIGNER.
ALL DIMENSIONS ARE TO BE VERIFIED ON SITE PRIOR TO FABRICATION, INSTALLATION OR COMMENCING WITH WORK.
ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER FOR CLARIFICATION.
DO NOT SCALE THE DRAWINGS.

Issued

ISSUED FOR COMMITTEE OF ADJUSTMENT / SEVERANCE, CONSENT

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the Requirements set out in the Ontario Building Code to be a designer.

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1. of the Ontario Building Code

LJILJANA MARKOVIC 33107
Name BCDN #
Signature Aleksandar V. Markovic
Practice Name 34372 BCDN#

Revised

NO.	REVISIONS	DATE
1	AS PER EXAMINER'S NOTES	JULY 2021
2	AS PER EXAMINER'S NOTES	NOV. 2021

Client

Oma Sewhdat

Project Name and Address
PROPOSED 2 STOREY DWELLING

93 Kennedy St. E. / Edward St.

Aurora, ON

Drawing Title

NORTH
ELEVATION

Checked by

A.M.

Scale

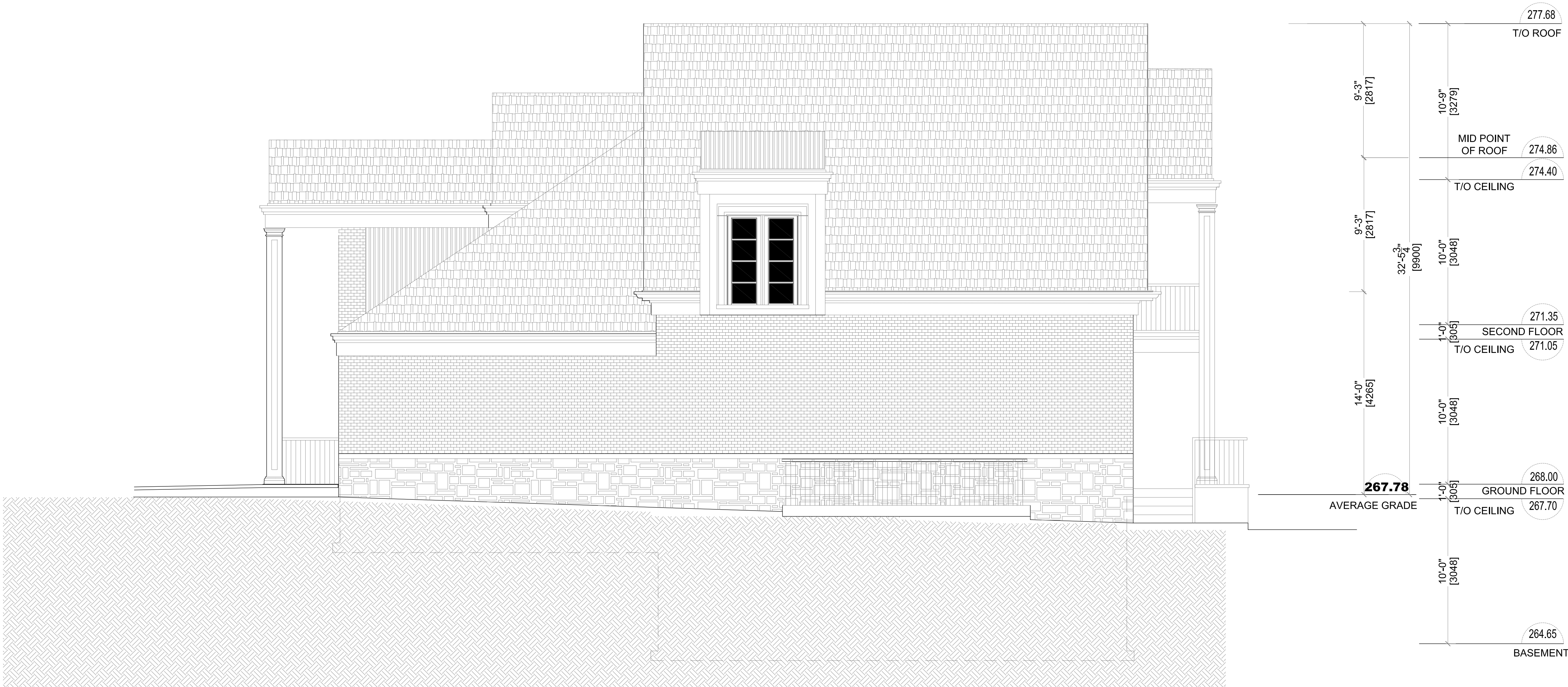
AS NOTED

Drawing/Sheet No.

A-8

Project No.

21-10



1

PROPOSED NORTH ELEVATION

SCALE: 1'-0" = 1/4"

SCALE: 1 : 50

TOWN OF AURORA
PLANNING & DEVELOPMENT SERVICES
BUILDING DIVISION

PERMIT NO.: PR20210961 DATE: Nov. 16, 2021

APPROVED BY: Ashley Vandennal AMENDED

PRELIMINARY ZONING REVIEW



ALEKSANDAR V. MARKOVIC
Architecture . Interior

1 Valley Woods Rd., North York, Ontario M3A 1R9
Telephone (+16) 481.5694 Fax (+16) 487.6312

THIS DRAWING MUST BE READ IN THE CONTEXT OF ALL OTHER DRAWINGS WHICH CONSTITUTE THE CONSTRUCTION DOCUMENT.
THIS DRAWING WAS DEVELOPED FOR A SPECIFIC PURPOSE. USE FOR ANY OTHER PURPOSE IS NOT PERMITTED.
THIS DRAWING SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE DESIGNER.
ALL DIMENSIONS ARE TO BE VERIFIED ON SITE PRIOR TO FABRICATION, INSTALLATION OR COMMENCING WITH WORK.
ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER FOR CLARIFICATION.
DO NOT SCALE THE DRAWINGS.

Issued

ISSUED FOR COMMITTEE OF ADJUSTMENT / SEVERANCE, CONSENT

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the Requirements set out in the Ontario Building Code to be a designer.

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1. of the Ontario Building Code
Name LILJANA MARKOVIC 33107 BCDN #
Signature Aleksandar V. Markovic 34372 BCDN #
Practice Name

Revised

NO.	REVISIONS	DATE
1	AS PER EXAMINER'S NOTES	JULY 2021
2	AS PER EXAMINER'S NOTES	NOV. 2021

Client

Oma Sewhdat

Project Name and Address
PROPOSED 2 STOREY DWELLING

93 Kennedy St. E. / Edward St.

Aurora, ON

Drawing Title

EAST
ELEVATION

Checked by

A.M.

Scale

AS NOTED

Drawing/Sheet No.

A-9

Project No.

21-10



1

PROPOSED
EAST ELEVATION

SCALE: 1'-0" = $\frac{1}{4}$ "

SCALE: 1 : 50

TOWN OF AURORA
PLANNING & DEVELOPMENT SERVICES
BUILDING DIVISION
PERMIT NO.: PR20210961 DATE: Nov. 16, 2021
APPROVED BY: Ashley Vandennal AMENDED
PRELIMINARY ZONING REVIEW