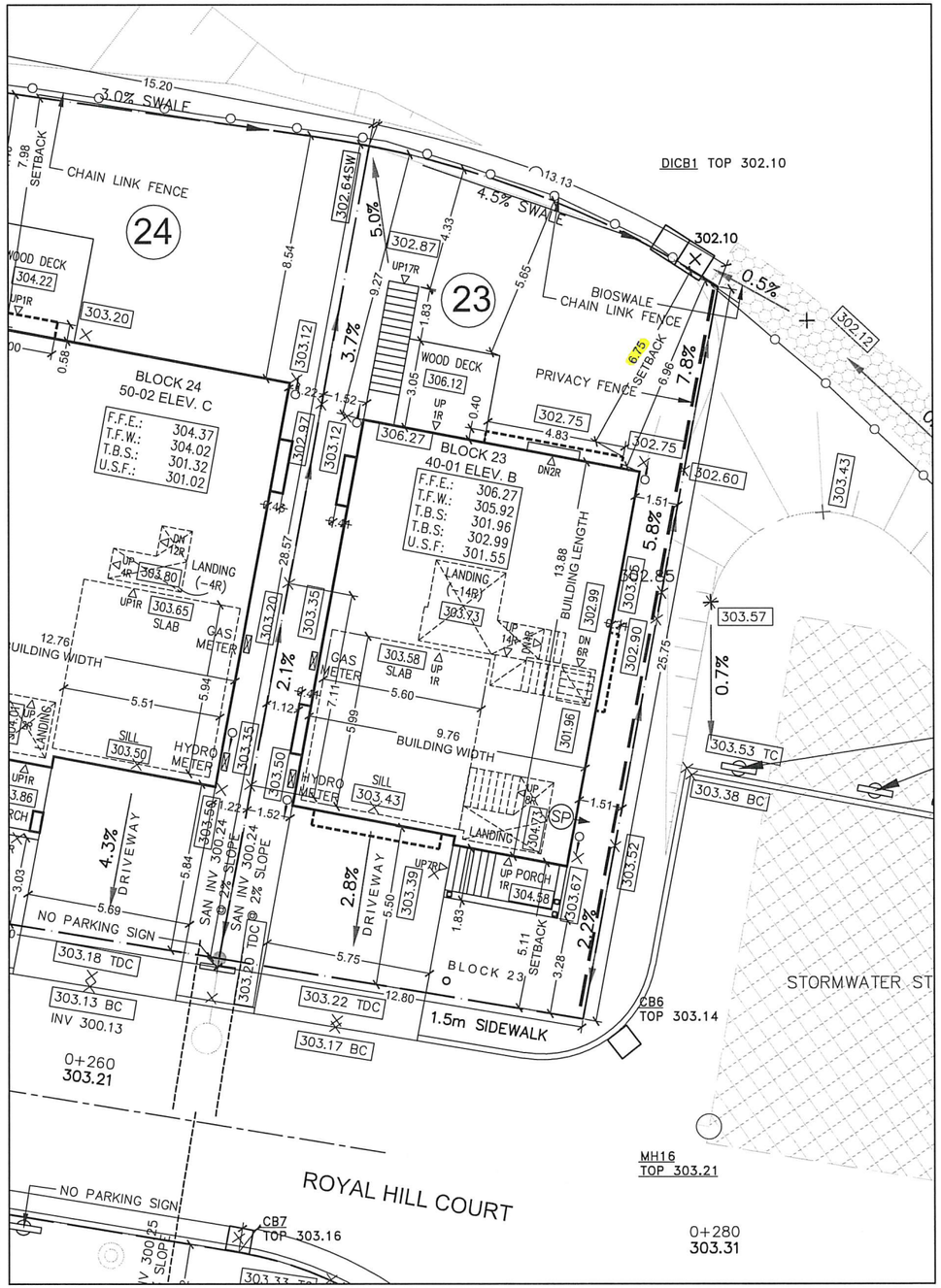
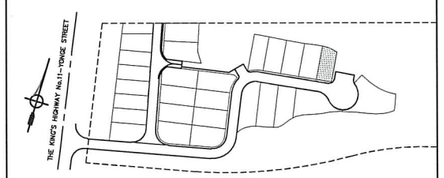
LEGEND:

F.F.E.	FINISHED FLOOR ELEVATION
T.F.W.	TOP OF FOUNDATION WALL
T.B.S.	TOP OF BASEMENT SLAB
U.S.F.	UNDER SIDE OF FOOTING
R	RISER
	CENTER LINE OF ROADS
	BIOSWALE / INFILTRATION GALLERY
	100-200mmØ RIP-RAP
	GEOWEB SYSTEM
	RETAINING WALL
	UNDERGROUND STORAGE
	SANITARY SEWER AND MANHOLE
	STORM SEWER AND MANHOLE
	CATCHBASIN MANHOLE / DOUBLE CATCHBASIN MANHOLE
	CATCHBASIN
	DOUBLE CB
	OIL GRIT SEPARATOR
SP	SUMP PUMP DISCHARGE LOCATION
	YORK REGION BASE MOUNTED LIGHT POLE / PRIVATE CONCRETE LIGHT POLE
	ELECTRICAL 0.46m HANDHOLE
7 / 11	DENOTES SEWER/WATERMAIN CROSSING
	COMMUNITY MAILBOX
	DOOR/STEPS
	DOWNSPOUT TO SPLASH PAD
	25mm COPPER WATER SERVICE CONNECTION
	SANITARY LATERAL CONNECTION
	PRIVATE FIRE HYDRANT
	VALVE AND BOX
	EXISTING DECIDUOUS TREE
AC	AIR CONDITIONING
EX	EX-GRAD-ELEV-SITE
) (	C-GRAD-ELEV-LOTS-SPLT
H&V	FIRE HYDRANT



MODEL 40-01 ELEVATION B AREA CALCULATIONS	
GROUND FLOOR PLAN	1492.95 FT² [138.70 M²]
SECOND FLOOR PLAN	1462.42 FT² [135.88 M²]
DEDUCT OPEN AREAS	2.19 FT² [0.2 M²]
ADD FINISHED BASEMENT	170.73 FT² [15.88 M²]
GROSS FLOOR AREA	3123.91 FT² [290.22 M²]

COVERAGE W/ PORCH	1591.95 FT² [147.89 M²]
COVERAGE W/O PORCH	1492.95 FT² [138.70 M²]



KEY PLAN
NTS

LOT COVERAGE	PERMITTED	PROPOSED
LOT #1	50%	34.1%
LOT #2	50%	40.5%
LOT #3	50%	39.8%
LOT #4	50%	39.0%
LOT #5	50%	42.75%
LOT #6	50%	41.85%
LOT #7	50%	34.55%
LOT #8	50%	39.76%
LOT #9	50%	42.72%
LOT #10	50%	41.75%
LOT #11	50%	41.44%
LOT #12	50%	39.94%
LOT #13	50%	33.26%
LOT #14	50%	41.47%
LOT #15	50%	43.9%
LOT #16	50%	43.89%
LOT #17	50%	33.08%
LOT #18	50%	37.9%
LOT #19	50%	34.29%
LOT #20	50%	39.73%

LOT COVERAGE (Cont'd)	PERMITTED	PROPOSED
LOT #21	50%	31.08%
LOT #22	50%	40.17%
LOT #23	50%	38.0%
LOT #24	50%	43.76%
LOT #25	50%	43.88%
LOT #26	50%	43.43%
LOT #27	50%	39.6%

TOTAL BUILDING AREA: 4717m² −6.79% PER NET LOT AREA (LOT COVERAGE)
GROSS FLOOR AREA: 9098.7m²
THE IMPERVIOUS AREA: 10341m² −14.9% PER NET LOT AREA
GROSS LOT AREA: 71453.7m²
NET LOT AREA: 69399m²
DISTURBED AREA: 16949m² −24.4% PER NET LOT AREA

NOTES:

- SANITARY LATERAL INVERTS SPECIFIED ARE DESIGN INVERTS.
- AS-BUILT ELEVATIONS MAY BE DIFFERENT. BUILDER TO CONFIRM INVERTS PRIOR TO CASTING OF FOOTINGS.
- ALL UTILITIES TO BE IN ACCORDANCE WITH DESIGN PLANS FROM THE UTILITY COMPANIES (EG BELL, ALECTRA, ETC.)
- PROPOSED TREES TO BE COORDINATED WITH LANDSCAPE PLANS.

LOT._____

REVIEWED FOR:
1. GRADING AS BEING IN CONFORMANCE WITH THE DRAINAGE CONCEPTS SHOWN ON THE APPROVED LOT GRADING PLANS PREPARED BY SCS CONSULTING GROUP LTD.
2. CONFORMANCE WITH THE TOWN OF AURORA GRADING STANDARDS.

DATE: _____

REVIEWED BY: _____

IT IS THE BUILDER'S COMPLETE RESPONSIBILITY TO ENSURE THAT ALL PLANS SUBMITTED FOR APPROVAL FULLY COMPLY WITH THE ARCHITECTURAL GUIDELINES AND ALL APPLICABLE REGULATIONS AND REQUIREMENTS INCLUDING ZONING PROVISIONS AND ANY PROVISIONS IN THE SUBDIVISION AGREEMENT. THE CONTROL ARCHITECT IS NOT RESPONSIBLE IN ANY WAY FOR EXAMINING OR APPROVING SITE (LOTTING) PLANS OR WORKING DRAWINGS WITH RESPECT TO ANY ZONING OR BUILDING CODE OR PERMIT MATTER OR THAT ANY HOUSE CAN BE PROPERLY BUILT OR LOCATED ON ITS LOT.

THIS IS TO CERTIFY THAT THESE PLANS COMPLY WITH THE APPLICABLE ARCHITECTURAL DESIGN GUIDELINES APPROVED BY THE TOWN OF AURORA.

PR2021/1428
Preliminary Zoning Review
PLANNING AND DEVELOPMENT SERVICES
Building Division

NO.	DATE	REVISION DESCRIPTION	NOTE
01	2021-05-15	ISSUED FOR REVIEW	CONSULTANTS
02	2021-07-28	ISSUED FOR PERMIT	CITY
03	2021-08-19	ISSUED FOR REVIEW	CONSULTANTS
04	2021-11-08	ISSUED FOR COA	CITY

STAMP

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
SITING PLAN- LOT 23
SCALE: 1:200

DWG NO.

11"x17" SHEET SIZE

PROJECT
ROYAL HILL
14029 YONGE ST. Aurora ON L4G OP1

DESIGN
URBANSCAPE ARCHITECTS
236 Lesmill Road Toronto, ON M3B 2T5
phone: 416.850.0021
info@urbanscapearchitect.com | www.urbanscapearchitect.com

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ROYAL HILL 40-01

FOR ELEVATION B ONLY

LEGEND

- STUCCO/SIDING
- MASONARY
- BEARING WALL
- RIGID INSULATION
- BATT INSULATION
- PROPERTY LINE
- 297.30 — FLOOR LEVEL AT ELEV. AND SEC.
- 22 — CONSTRUCTION NOTES
- 000.00 — FLOOR LEVEL AT PLANS
- BBFM — BEAMS DESIGNED BY MANUFACTURER
- CSLM — STEEL POST(SEE STRUCTURE)
- CSB — STEEL POST ABOVE (SEE STRUCTURE)
- PSLM — WOOD POST(SEE STRUCTURE)
- PSB — WOOD POST ABOVE (SEE STRUCTURE)

ELEVATION 'A'

AREA CALCULATION

	AREA SQ.FT.	AREA SQ.M.
FIRST FLOOR	1490.90	138.51
SECOND FLOOR	1462.42	135.86
TOTAL FLOOR AREA	2953.31	274.37
DEDUCT OPEN AREAS	2.19	0.20
ADD FINISHED BASEMENT AREA	170.73	15.86
GROSS FLOOR AREA	3121.86	290.03
FIRST FLOOR COVERAGE	1490.90	138.51
GARAGE COVERAGE AREA	0	0.00
PORCH COVERAGE AREA	79.00	1056.86
COVERAGE W/ PORCH	1569.90	145.85
COVERAGE W/O PORCH	1490.90	138.51

ELEVATION 'B'

AREA CALCULATION

	AREA SQ.FT.	AREA SQ.M.
FIRST FLOOR	1492.95	138.70
SECOND FLOOR	1462.42	135.86
TOTAL FLOOR AREA	2955.36	274.56
DEDUCT OPEN AREAS	2.19	0.20
ADD FINISHED BASEMENT AREA	170.73	15.86
GROSS FLOOR AREA	3123.91	290.22
FIRST FLOOR COVERAGE	1492.95	138.70
GARAGE COVERAGE AREA	0	0.00
PORCH COVERAGE AREA	79.00	1056.86
COVERAGE W/ PORCH	1571.95	146.04
COVERAGE W/O PORCH	1492.95	138.70

ELEVATION 'C'

AREA CALCULATION

	AREA SQ.FT.	AREA SQ.M.
FIRST FLOOR	1463.00	135.92
SECOND FLOOR	1435.24	133.34
TOTAL FLOOR AREA	2898.24	269.26
DEDUCT OPEN AREAS	2.19	0.20
ADD FINISHED BASEMENT AREA	170.73	15.86
GROSS FLOOR AREA	3066.79	284.91
FIRST FLOOR COVERAGE	1463.00	135.92
GARAGE COVERAGE AREA	0	0.00
PORCH COVERAGE AREA	79.00	1056.86
COVERAGE W/ PORCH	1542.00	143.26
COVERAGE W/O PORCH	1463.00	135.92

Building Division
OBC Review
Terence Wong
05/28/2021
Town of Aurora
Planning and Development Services

3.1. WOOD LINTELS AND BUILT-UP WOOD
(DIVISION B PART 9. TABLES A8 TO A10 AND A12 TO A16)
FORMING PART OF SENTENCE 9.23.4.2.(3), 9.23.4.2.(4), 9.23.12.3.(1),(3)

2"x8" SPRUCE #2		2"x10" SPRUCE #2		2"x12" SPRUCE #2	
L1	2/2"x8" (2/38x184)	L3	2/2"x10" (2/38x235)	L5	2/2"x12" (2/38x286)
B1	3/2"x8" (3/38x184)	B3	3/2"x10" (3/38x235)	B5	3/2"x12" (3/38x286)
B2	4/2"x8" (4/38x184)	B4	4/2"x10" (4/38x235)	B6	4/2"x12" (4/38x286)
B7	5/2"x8" (5/38x184)	B8	5/2"x10" (5/38x235)	B9	5/2"x12" (5/38x286)

3.2. STEEL LINTELS SUPPORTING MASONRY VENEER (DIVISION B PART 9. TABLE 9.20.2.B.)
FORMING PART OF SENTENCE 9.20.5.2.(3)

CODE	SIZE	VENEER	MASONRY
L7	3 1/2" x 3 1/2" x 1/4" (90 x 90 x 6)	8'–1" (2.47m)	3'–11" (1.20m)
L8	4" x 3 1/2" x 1/4" (100 x 90 x 6)	8'–9" (2.66m)	NA
L9	4 7/8" x 3 1/2" x 5/16" (125 x 90 x 8)	10'–10" (3.31m)	7'–10" (2.40m)
L10	4 7/8" x 3 1/2" x 3/8" (125 x 90 x 10)	11'–5" (3.48m)	8'–10" (2.70m)
L11	5 7/8" x 3 1/2" x 3/8" (150 x 90 x 10)	12'–7" (3.82m)	NA
L12	7 1/8" x 4" x 3/8" (180 x 100 x 10)	14'–1" (4.30m)	NA

TOWN OF AURORA
PLANNING & DEVELOPMENT SERVICES - BUILDING DIVISION
PERMIT NO. PR20210685 DATE Jun. 17, 2021
ALL CONSTRUCTION SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND/OR OTHER APPLICABLE LEGISLATION.
THE REVIEWED DOCUMENTS MUST BE KEPT ON SITE AT ALL TIMES.
INSPECTION REQUEST EMAIL: BUILDINGINSPECTIONS@AURORA.CA
INSPECTION REQUEST TELEPHONE: (905) 726-4778

Zoning Review
Ashley Vanderwal
May 20, 2021

LIST OF DRAWING SHEETS

0 TITLE SHEET
0A FOUNDATION PLAN EL. A
1A BASEMENT PLAN EL. 'A'
2A FIRST FLOOR PLAN EL. 'A'
3A SECOND FLOOR PLAN EL. 'A'
4A ROOF PLAN EL. 'A'
5A FRONT ELEVATION EL. 'A'
6A REAR ELEVATION EL. 'A'
7A RIGHT SIDE ELEVATION EL. 'A'
8A LEFT SIDE ELEVATION EL. 'A'
9A BUILDING SECTION EL. 'A'
10A PARTIAL BASEMENT PLAN & SIDE ELEVATION EL. 'A' W/ WALKUP
11A REAR ELEVATION EL. 'A' W/WALKUP
0A-U FIRST FLOOR PLAN EL. 'A '- SIDE UPGRADE
1A-U SECOND FLOOR PLAN EL. 'A '- SIDE UPGRADE
2A-U ROOF PLAN EL. 'A' - SIDE UPGRADE
3A-U RIGHT SIDE ELEVATION EL. 'A' - SIDE UPGRADE
0B FOUNDATION PLAN EL. 'B'
1B BASEMENT PLAN EL. 'B'
2B FIRST FLOOR PLAN EL. 'B'
3B SECOND FLOOR PLAN EL. 'B'
4B ROOF PLAN EL. 'B'
5B FRONT ELEVATION EL. 'B'
6B REAR ELEVATION EL. 'B'
7B RIGHT SIDE ELEVATION EL. 'B'
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0B-U FIRST FLOOR PLAN EL. 'B '- SIDE UPGRADE
1B-U SECOND FLOOR PLAN EL. 'B '- SIDE UPGRADE
2B-U ROOF PLAN EL. 'B' - SIDE UPGRADE
3B-U RIGHT SIDE ELEVATION EL. 'B' - SIDE UPGRADE
0C FOUNDATION PLAN EL. 'C'
1C BASEMENT PLAN EL. 'C'
2C FIRST FLOOR PLAN EL. 'C'
3C SECOND FLOOR PLAN EL. 'C'
4C ROOF PLAN EL. 'C'
5C FRONT ELEVATION EL. 'C'
6C REAR ELEVATION EL. 'C'
7C RIGHT SIDE ELEVATION EL. 'C'
8C LEFT SIDE ELEVATION EL. 'C'
9C BUILDING SECTION EL. 'C'
10C PARTIAL BASEMENT PLAN & SIDE ELEVATION EL. 'A' W/ WALKUP
11C REAR ELEVATION EL. 'C' W/WALKUP
0C-U FIRST FLOOR PLAN EL. 'C '- SIDE UPGRADE
1C-U SECOND FLOOR PLAN EL. 'C'- SIDE UPGRADE
2C-U ROOF PLAN EL. 'C' - SIDE UPGRADE
3C-U RIGHT SIDE ELEVATION EL. 'C' - SIDE UPGRADE
12 CONSTRUCTIONS NOTES

NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-06-15	ISSUED FOR ZZC	CITY

STAMP

ONTARIO ASSOCIATION OF ARCHITECTS
MAR 30/21
ALI MALEK ZADEH
LICENCE 8487

NORTH

PROJ./REV. NO.
USG 16-198

DWG NO.
0

SHEET TITLE
TITLE SHEET
SCALE: -

18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN

URBANSCAPE ARCHITECTS
236 LESMILL ROAD,TORONTO ,ON,M3B 2T5
phone: 416.850.0021
info@urbanscaarchitect.com | www.urbanscapearchitect.com

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DATE: APRIL 2021
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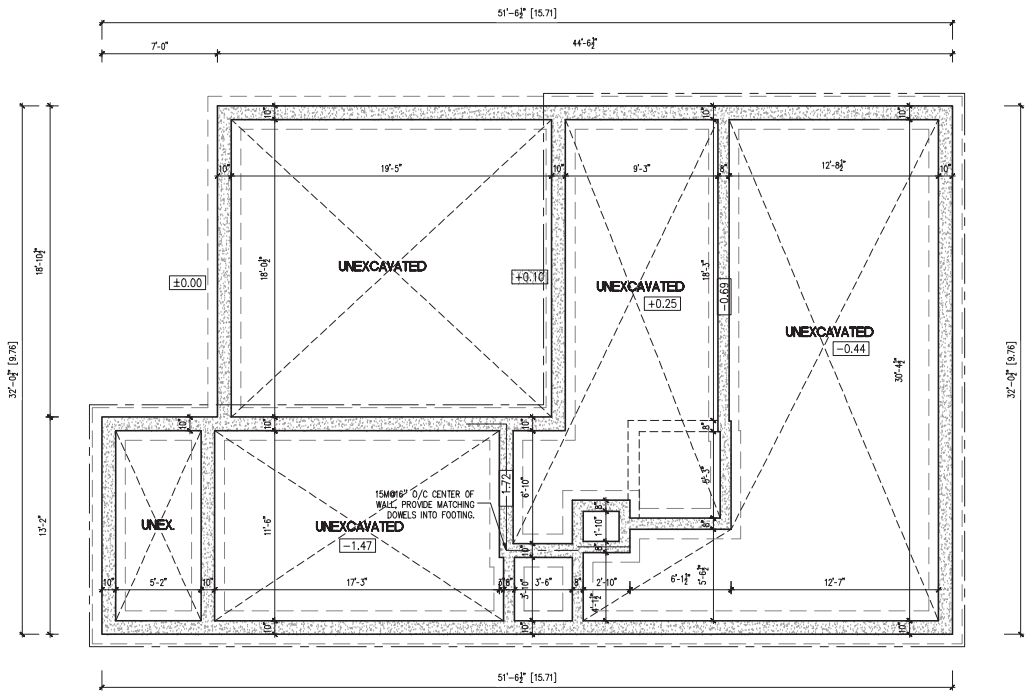

TYPICAL BASEMENT FLOOR PLAN NOTES

PROVIDE FULL HEIGHT 10"CONC. FOUNDATION WALLS
WHERE SOIL HEIGHT EXCEEDS 4'-7" TYP. UNLESS NOTED OTHERWISE
ALL DECK FRAMING TO BE P.T. UNLESS NOTED OTHERWISE

CONCRETE PAD FOOTING LEGEND		
	NATURAL UNDISTURBED SOIL	COMPACTED ENGINEERED FILL
F0	46"x46"x20"	52"x52"x24"
F1	36"x36"x16"	40"x40"x18"
F2	24"x24"x10"	28"x28"x12"

CONCRETE STRIP FOOTING FOR 10" FOUNDATION WALL:

MIN. 22"x8" FOR NATURAL UNDISTURBED SOIL.
MIN. 24"x10" FOR COMPACTED ENGINEERED FILL.
2-15M BARS CONTINUOUS AT TOP OF FOUNDATION AND
2-15M BARS CONTINUOUS IN FOOTINGS FOR ENGINEERED FILL.

NOTE:

ALL FOOTINGS DESIGNED ASSUMING MIN. 150KPa SOIL BEARING CAPACITY

LICENSED PROFESSIONAL ENGINEER
W.S. WONG
29/03/2021
PROVINCE OF ONTARIO

SWS#20224
STRUCTURAL ONLY

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STAMP

ONTARIO ASSOCIATION OF ARCHITECTS
MAR 30/21
ALI MALEK ZADEH
LICENCE
5487

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
FOUNDATION PLAN EL. 'A'
SCALE: 3/16"=1'-0"

DWG NO.
0A

18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN

URBANSCAPE ARCHITECTS
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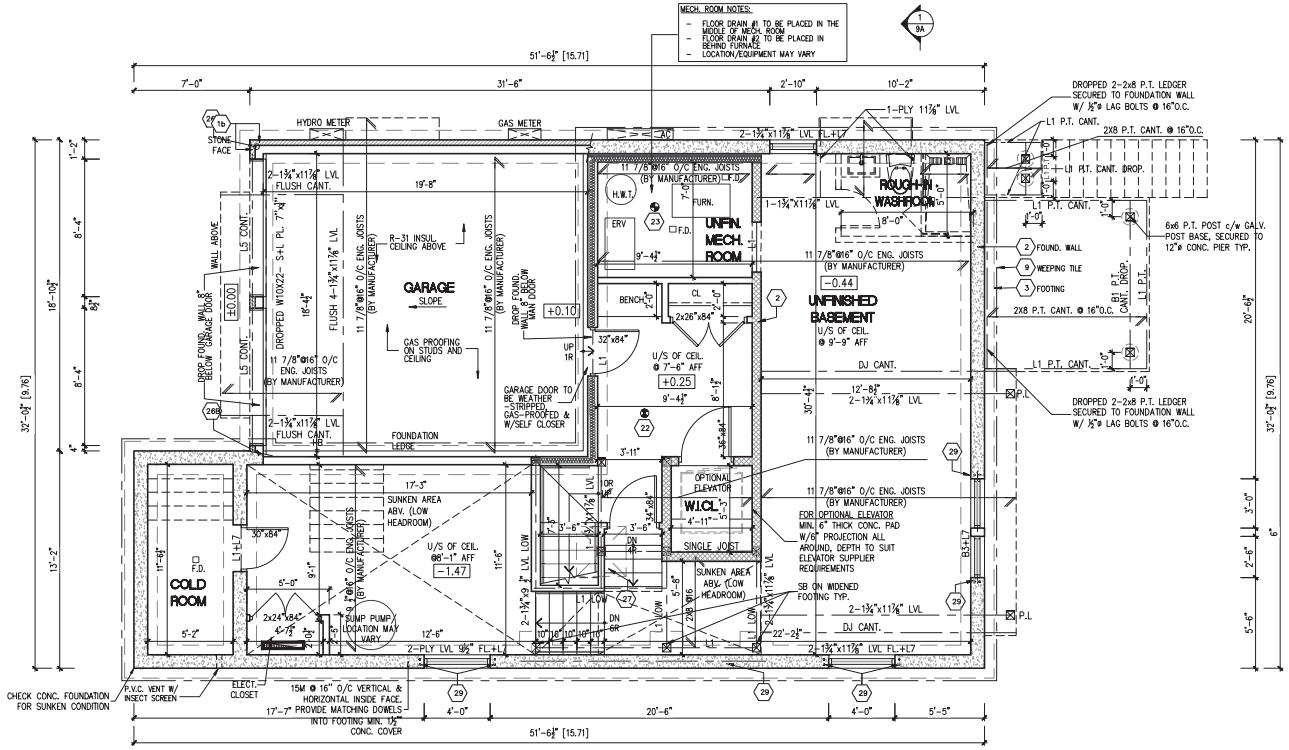

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PROVIDE FULL HEIGHT 10"CONC. FOUNDATION WALLS
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STAMP

ONTARIO ASSOCIATION OF ARCHITECTS
MAR 30/21
ALI MALEK ZADEH
LICENSE 8484

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
BASEMENT FLOOR PLAN EL. 'A'
SCALE: 3/16"=1'-0"

DWG NO.
1A
18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN
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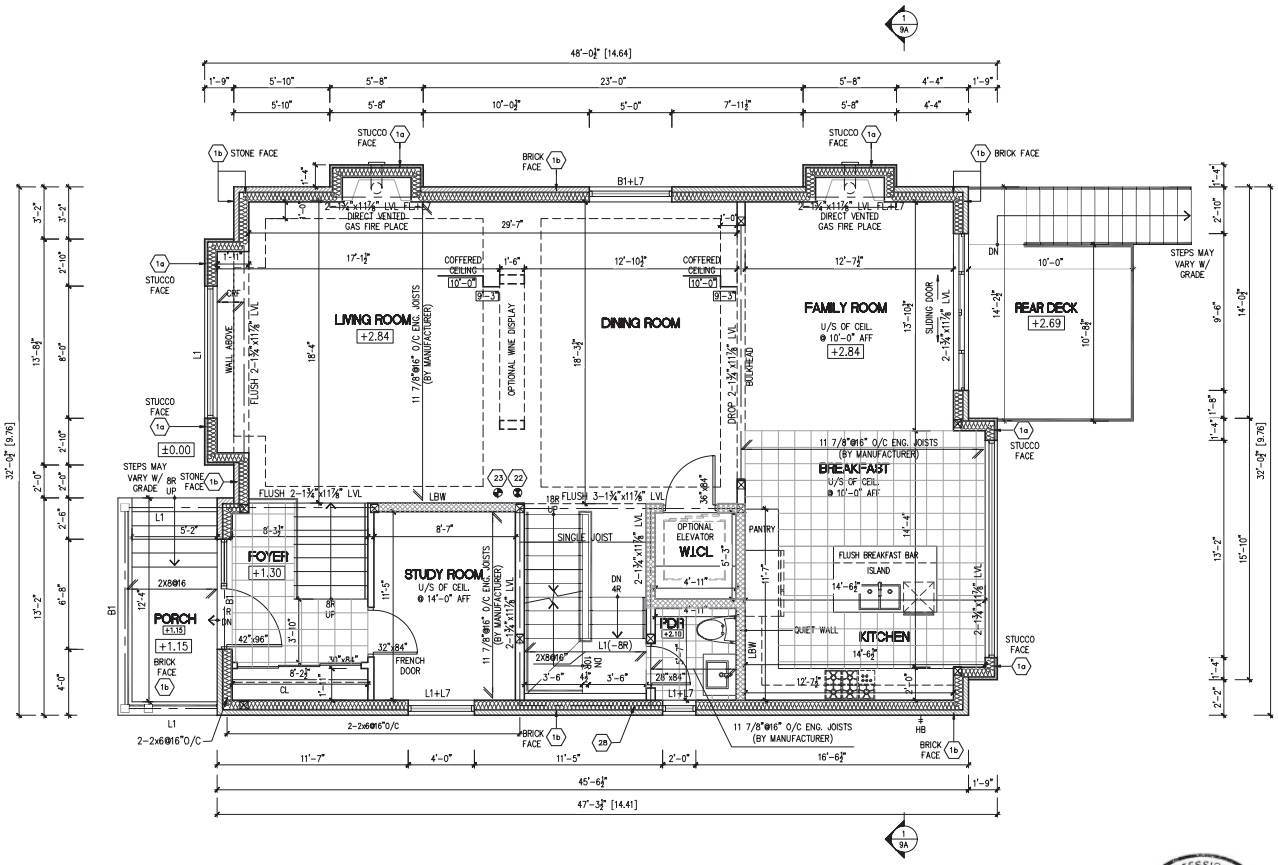

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STAMP

ONTARIO ASSOCIATION OF ARCHITECTS
MAR 30/21
ALI MALEK-ZADEH
LICENSE 8484

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
FIRST FLOOR PLAN EL. 'A'
SCALE: 3/16"=1'-0"

DWG NO.
2A

18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN
URBANSCAPE ARCHITECTS

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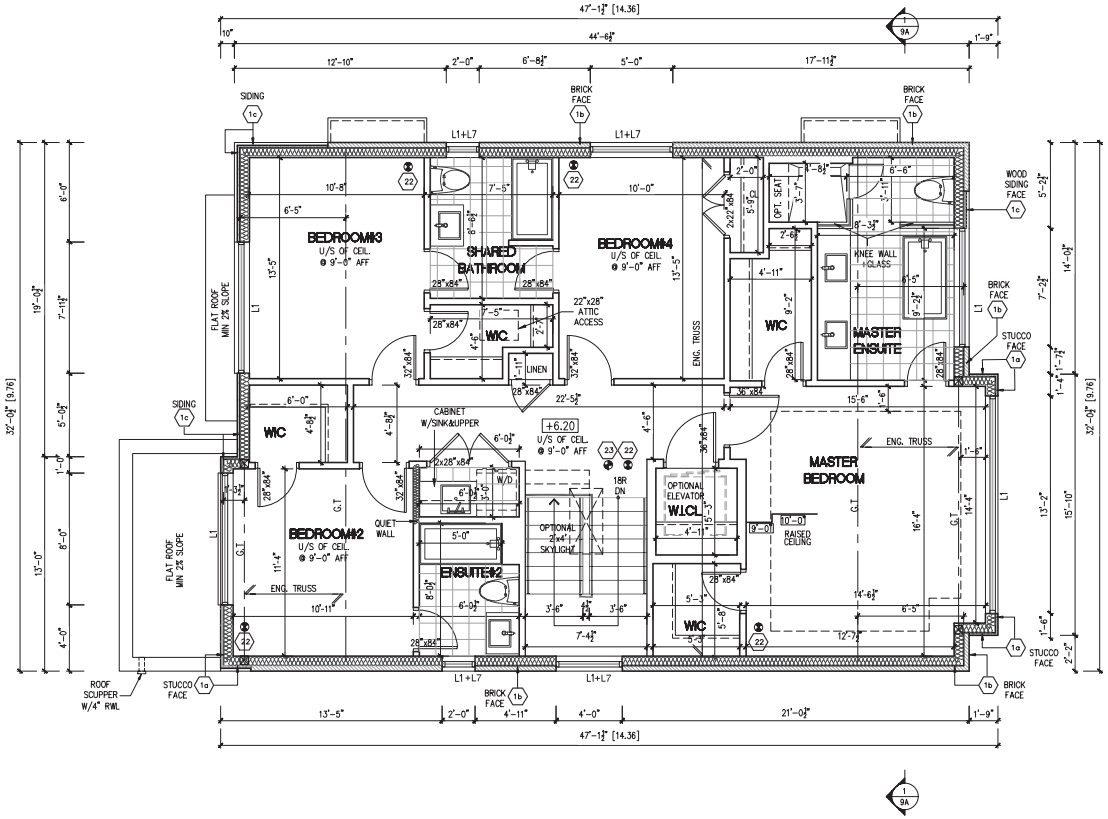

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STAMP

NORTH

PROJ./REV. NO.
USG 16-198

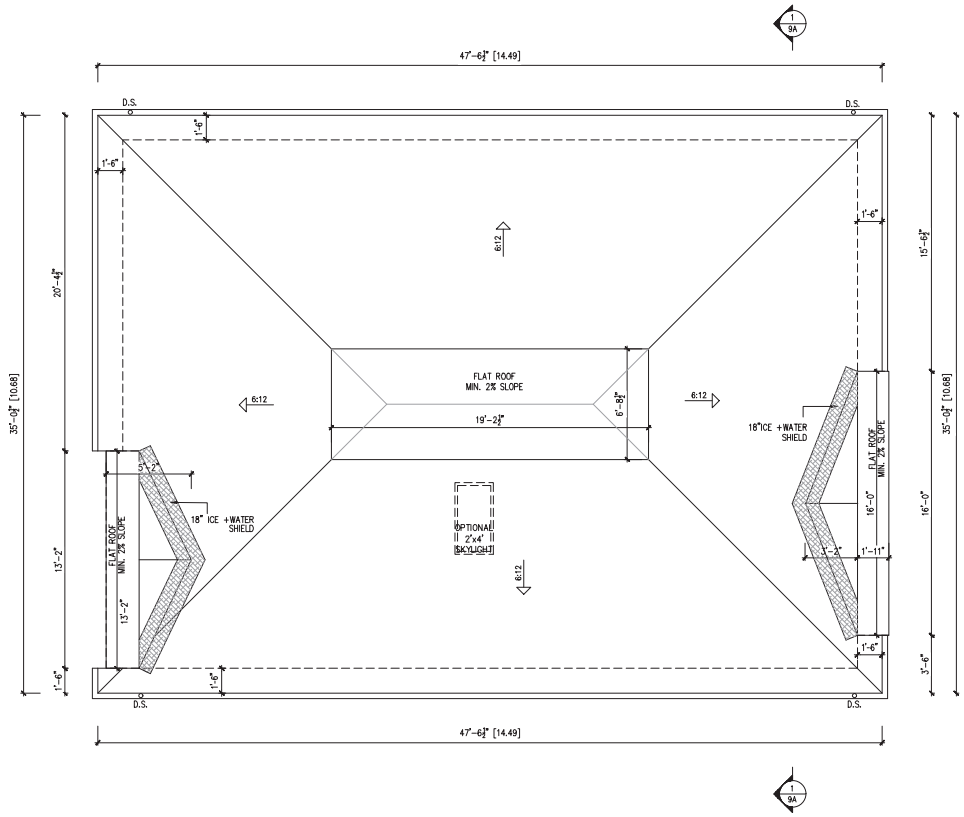
SHEET TITLE
SECOND FLOOR PLAN EL. 'A'
SCALE: 3/16"=1'-0"

DWG NO.
3A
18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN
URBANSCAPE ARCHITECTS

236 LESMILL ROAD, TORONTO, ON, M3B 2T5
phone: 416.850.0021
info@urbanscaarchitect.com | www.urbanscapearchitect.com



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STAMP

ONTARIO ASSOCIATION OF ARCHITECTS
MAR 30/21
ALI MALEK ZADEH
LICENCE
5487

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
ROOF PLAN EL. 'A'
SCALE: 3/16"=1'-0"

DWG NO.
4A

18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN

URBANSCAPE ARCHITECTS
236 LESMILL ROAD,TORONTO ,ON,M3B 2T5
phone: 416.850.0021
info@urbanscaarchitect.com | www.urbanscapearchitect.com

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APPROVED BY: _____
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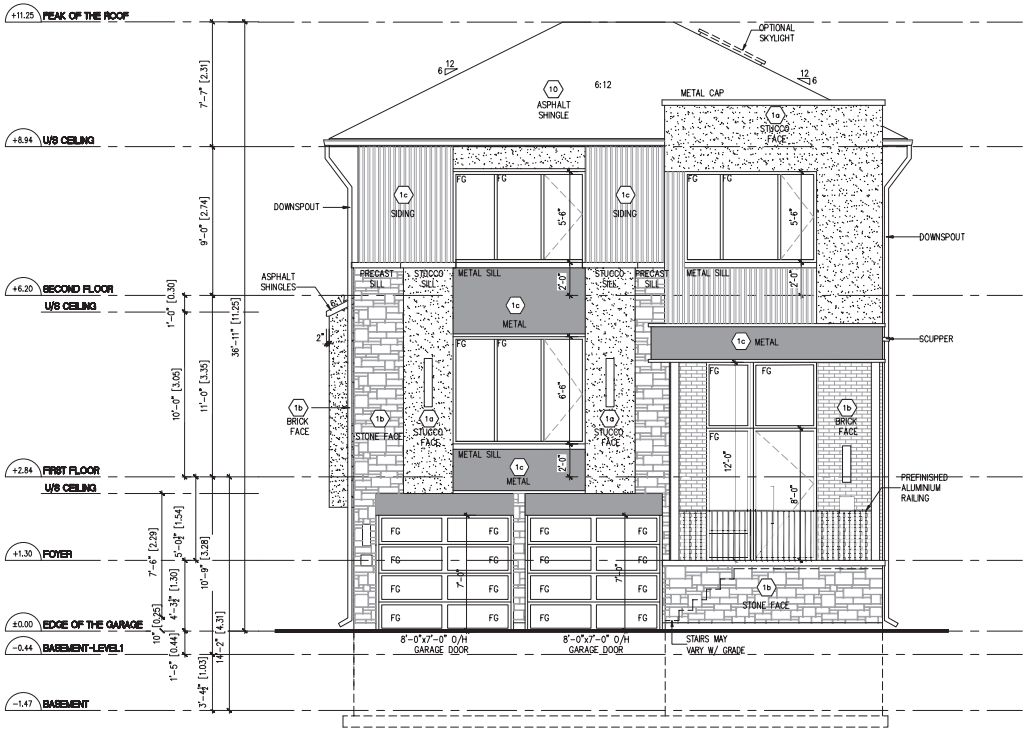

DORMER HILL 40-01 EL. A ENERGY EFFICIENCY-SB12			
ELEVATION	WALL SQ.FT.	OPENING SQ.FT.	PERCENTAGE
FRONT	937.69	188.36	20.09%
REAR	939.44	287.23	30.57%
RIGHT	1372.24	80.37	5.86%
LEFT	1375.74	66.58	4.84%
TOTAL	4625.10	622.54	13.46%

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MAR 30/21
ALI MALEK-ZADEH
LICENCE 8457

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
FRONT ELEVATION EL. 'A'
SCALE: 3/16"=1'-0"

DWG NO.
5A

18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN

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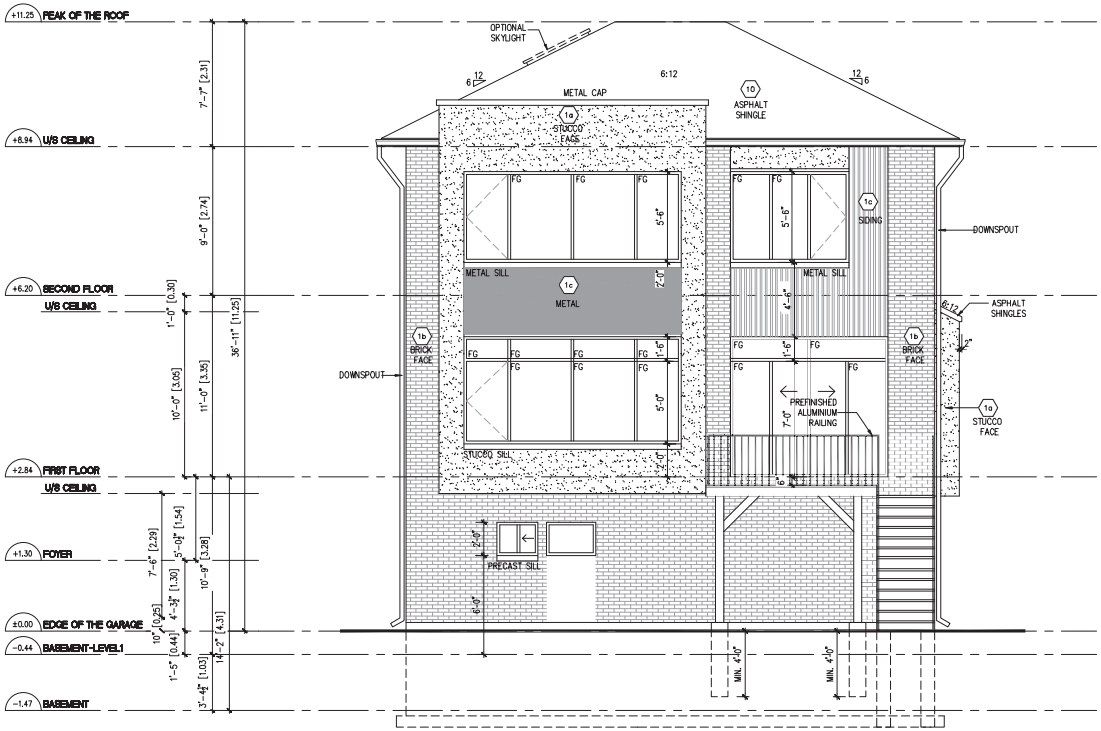

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ONTARIO ASSOCIATION OF ARCHITECTS
MAR 30/21
ALI MALEK-ZADEH
LICENCE 5487

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
REAR ELEVATION EL. 'A'
SCALE: 3/16"=1'-0"

DWG NO.
6A

18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN
URBANSCAPE ARCHITECTS

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phone: 416.850.0021
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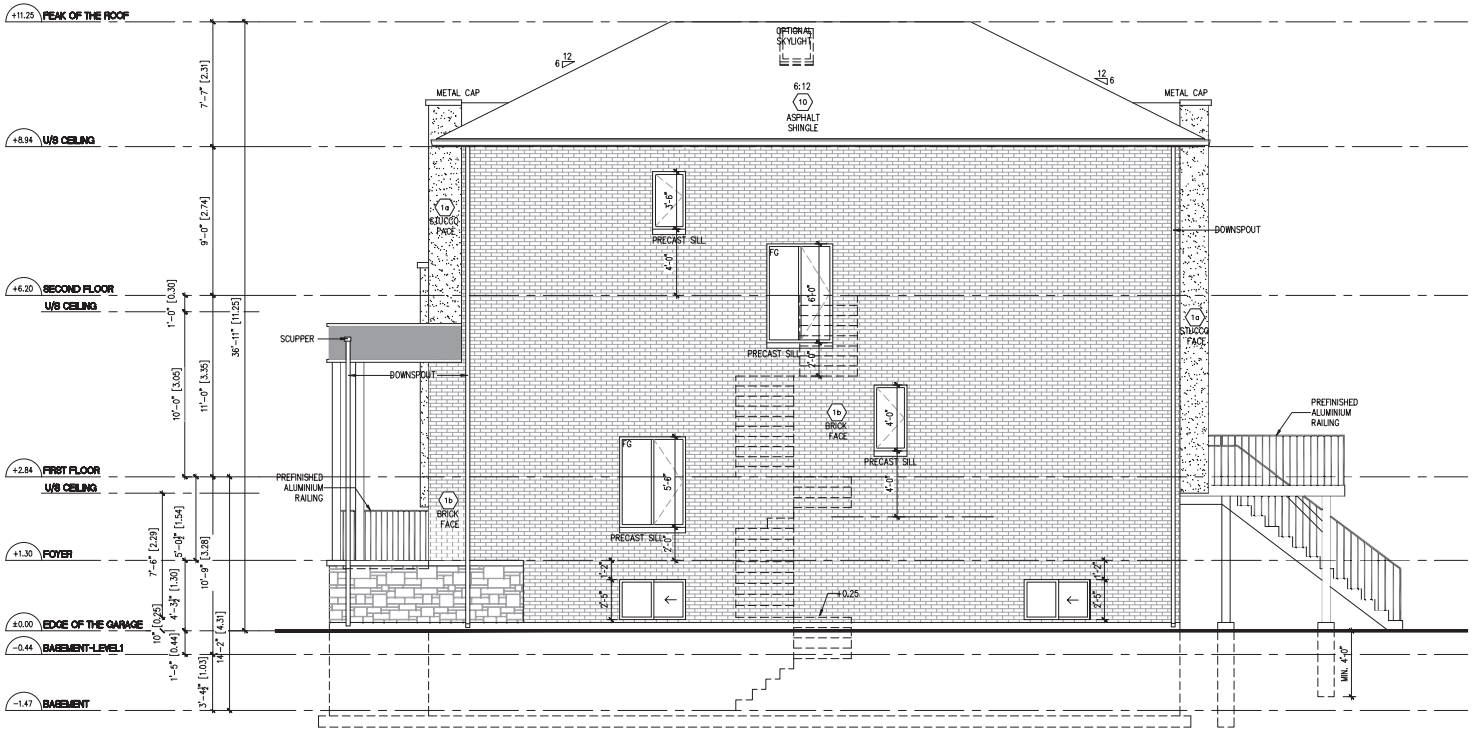

UNPROTECTED OPENING	
WALL AREA	1372.24
ALLOWABLE WINDOW AREA @7%	96.06
ACTUAL WINDOW AREA	80.37

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MAR 30/21
ALI MALEK ZADEH
LICENCE 5487

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
RIGHT SIDE ELEVATION EL. 'A'
SCALE: 3/16"=1'-0"

DWG NO.
7A

18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN

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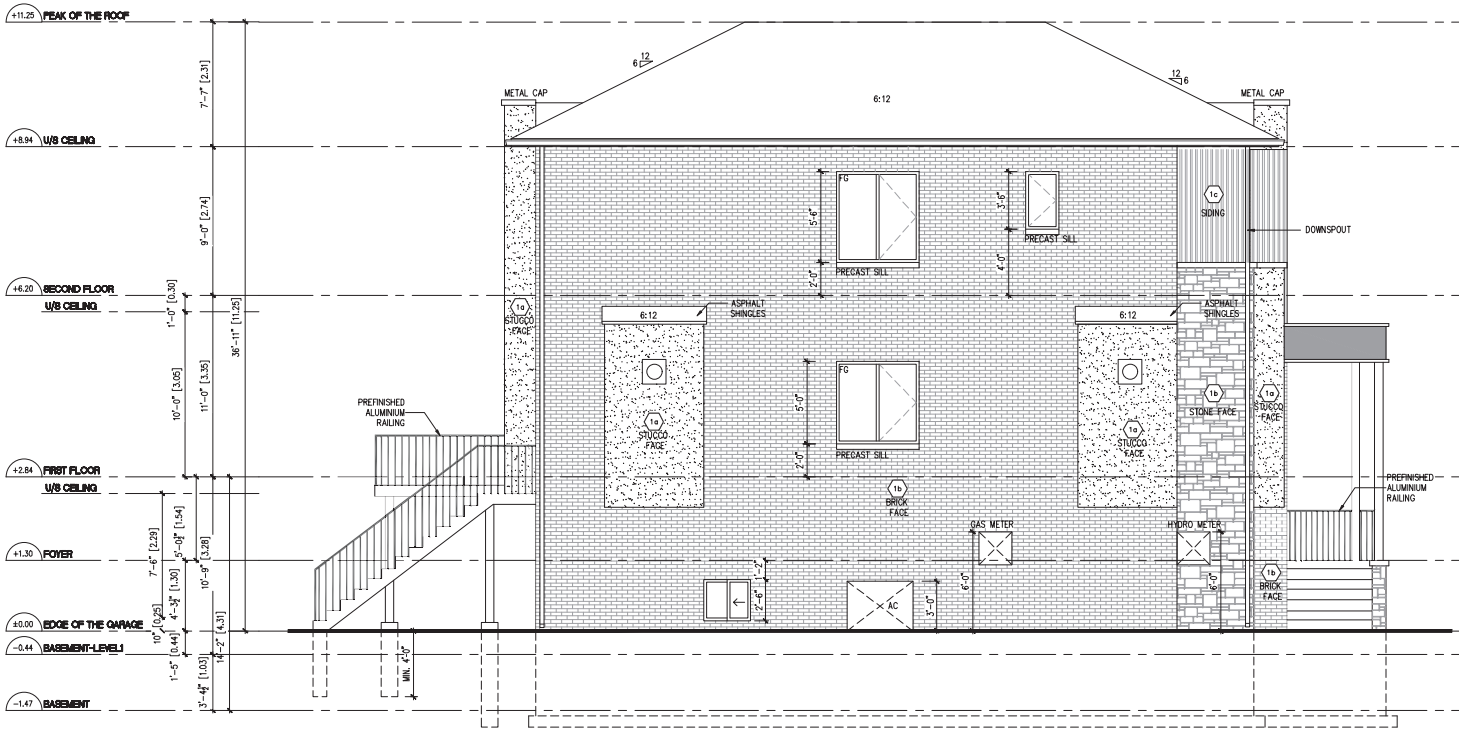

UNPROTECTED OPENING	
WALL AREA	1375.74
ALLOWABLE WINDOW AREA @7%	96.30
ACTUAL WINDOW AREA	66.58

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ONTARIO ASSOCIATION OF ARCHITECTS
MAR 30/21
ALI MALEK-ZADEH
LICENSE 5487

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
LEFT SIDE ELEVATION EL. 'A'
SCALE: 3/16"=1'-0"

DWG NO.
8A
18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN
URBANSCAPE ARCHITECTS

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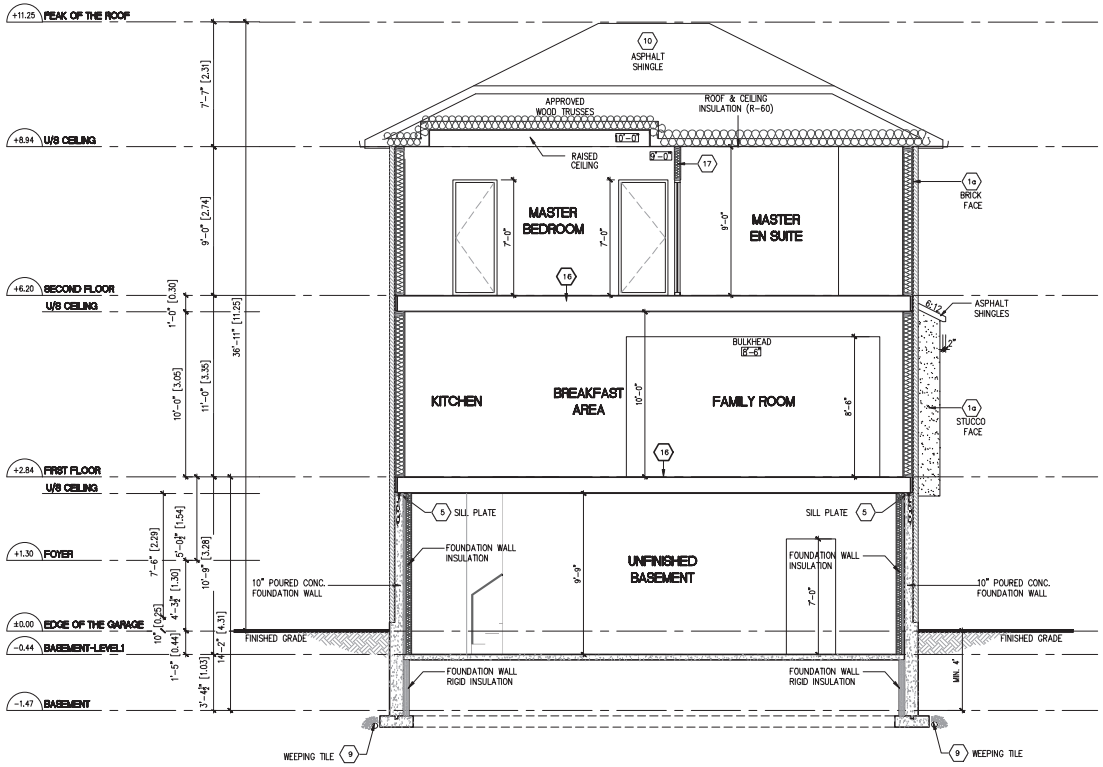

LICENSED PROFESSIONAL ENGINEER
W.S. WONG
29/03/2021
PROVINCE OF ONTARIO

SWS#20224
STRUCTURAL ONLY

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ONTARIO ASSOCIATION OF ARCHITECTS
MAR 30/21
ALI MALEK-ZADEH
LICENCE 8451

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
BUILDING SECTION EL. 'A'
SCALE: 3/16"=1'-0"

DWG NO.
9A

18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN

URBANSCAPE ARCHITECTS
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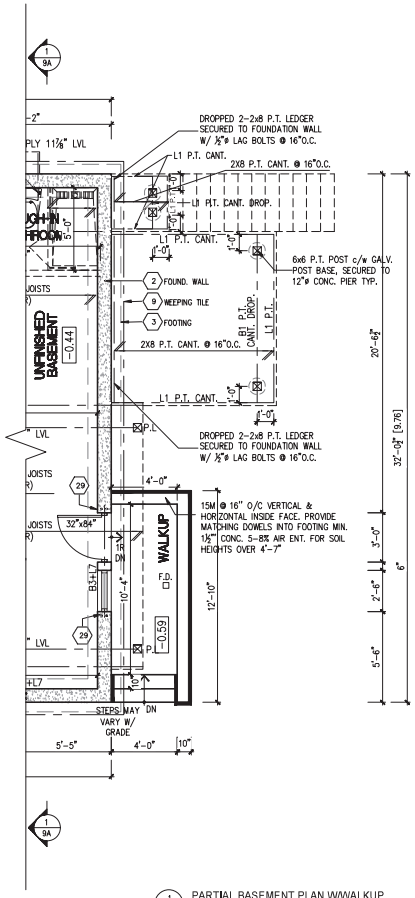
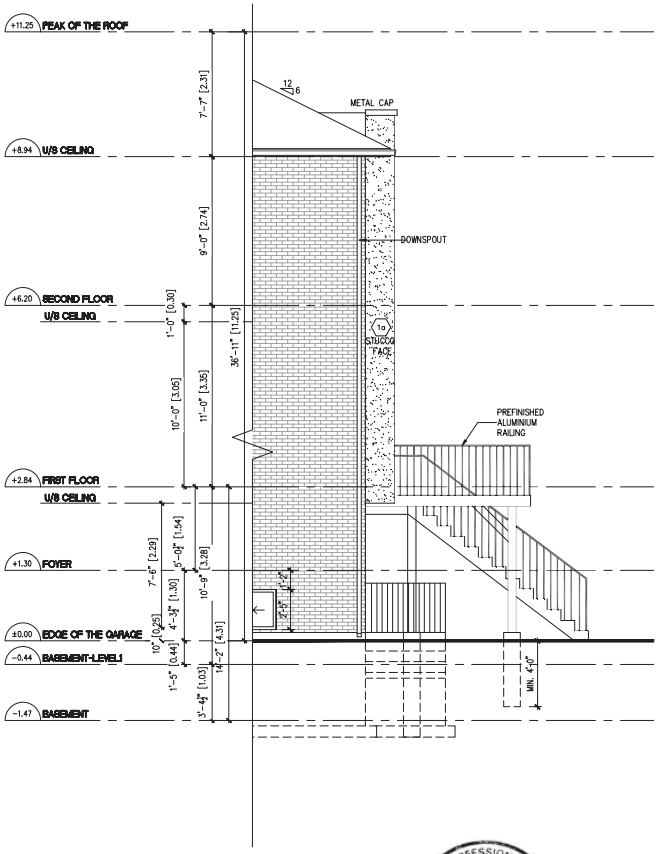


1 / 10A PARTIAL BASEMENT PLAN W/WALKUP



2 / 10A PARTIAL SIDE ELEVATION W/WALKUP

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W.S. WONG
29/03/2021
PROVINCE OF ONTARIO
SWS#20224
STRUCTURAL ONLY

TYPICAL BASEMENT FLOOR PLAN NOTES
PROVIDE FULL HEIGHT 10"CONC. FOUNDATION WALLS
WHERE SOIL HEIGHT EXCEEDS 4'-7" TYP. UNLESS NOTED OTHERWISE
ALL DECK FRAMING TO BE P.T. UNLESS NOTED OTHERWISE

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MAR 30/21
ALI MALEK ZADEH
LICENSE
8487

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
PARTIAL BASEMENT FLOOR PLAN & SIDE ELEVATION EL. 'A' W/WALKUP
SCALE: 3/16"=1'-0"

DWG NO.
10A
18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN
URBANSCAPE ARCHITECTS
236 LESMILL ROAD,TORONTO ,ON,M3B 2T5
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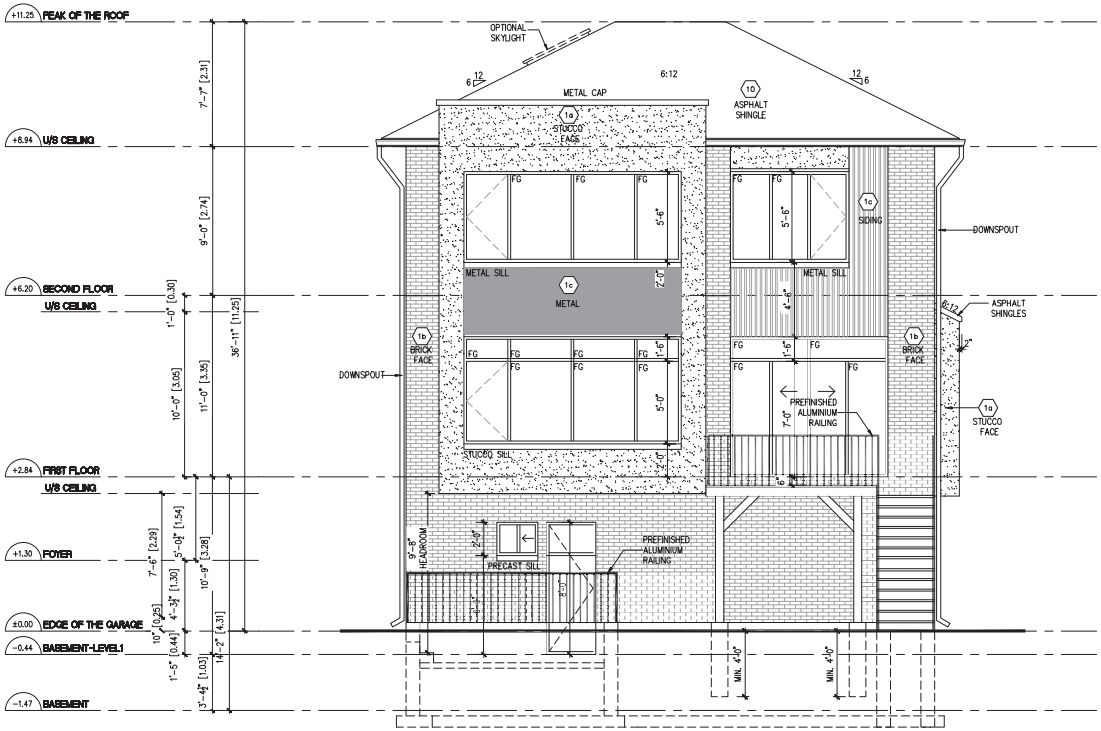

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STAMP

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MAR 30/21
ALI MALEK ZADEH
LICENCE 8453

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
REAR ELEVATION EL. 'A' W/WALKUP
SCALE: 3/16"=1'-0"

DWG NO.
11A

18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN
URBANSCAPE ARCHITECTS

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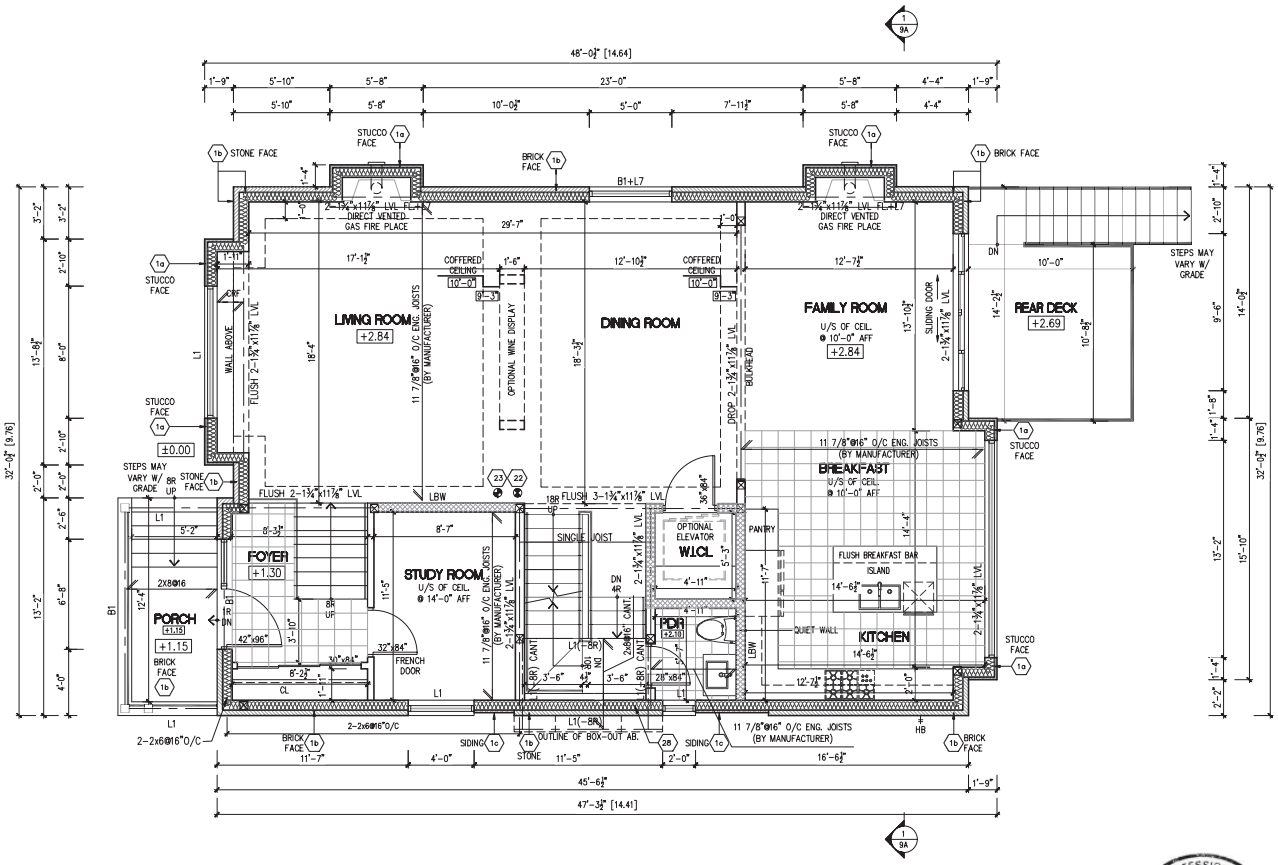

SWS#20224
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ONTARIO ASSOCIATION OF ARCHITECTS
MAR 30/21
ALI MALEK ZADEH
LICENCE 5487

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
FIRST FLOOR PLAN EL. 'A' - SIDE UPGRADE
SCALE: 3/16"=1'-0'

DWG NO.
0A-U

18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN

URBANSCAPE ARCHITECTS
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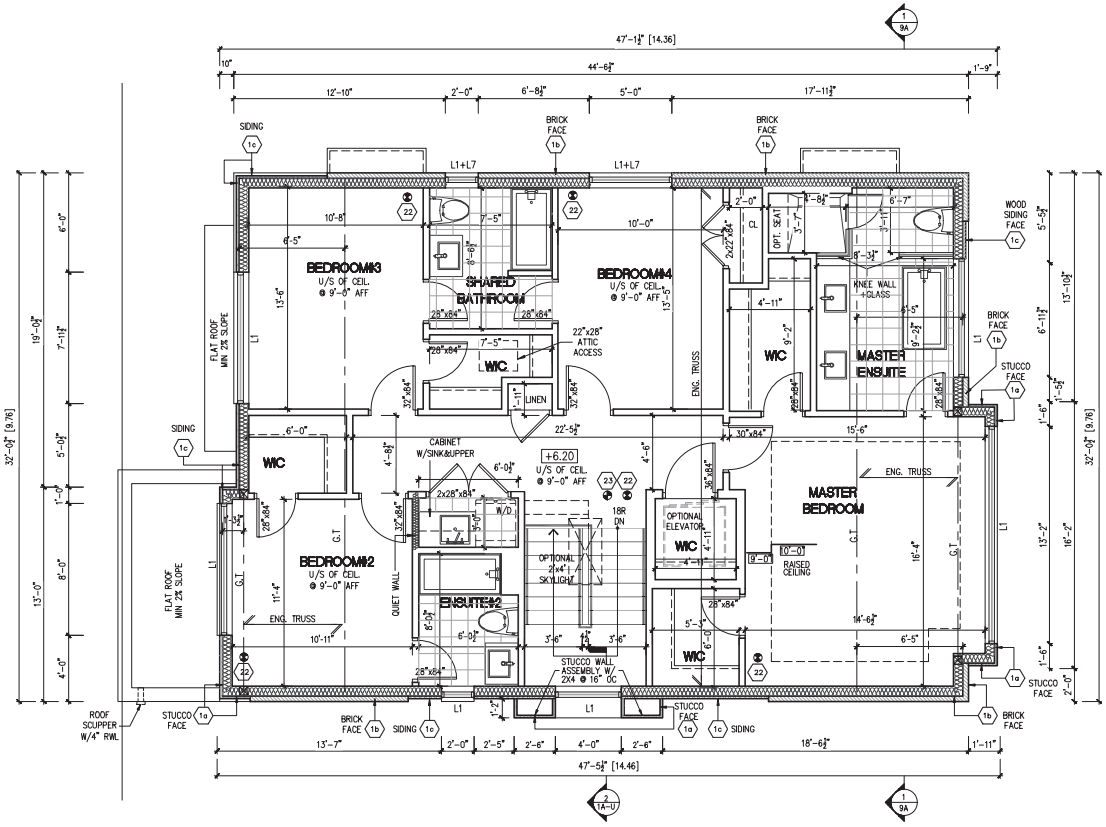
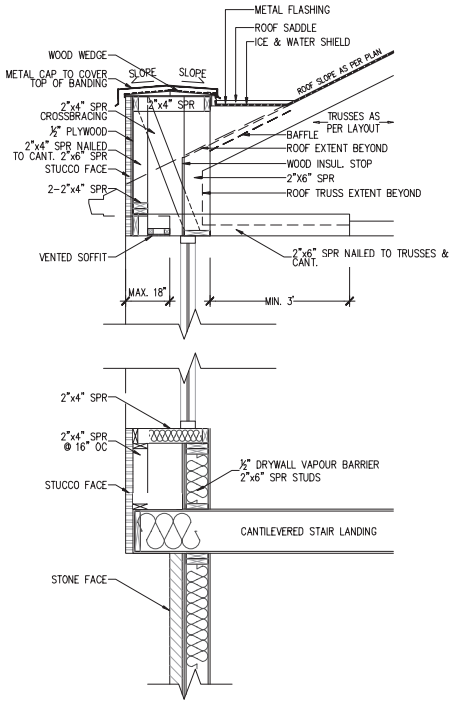


1 / 1A-U SECOND FLOOR PLAN EL. 'A' - SIDE UPGRADE
SCALE: 3/16" = 1'-0"



2 / 1A-U BOX-OUT WINDOW SECTION
SCALE: 1/2" = 1'-0"

LICENSED PROFESSIONAL ENGINEER
S W-S. WONG
29/03/2021
PROVINCE OF ONTARIO
SWS#20224
STRUCTURAL ONLY

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STAMP

ONTARIO ASSOCIATION OF ARCHITECTS
MAR 30/21
ALI MALEK-ZADEH
LICENCE 8451

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
SECOND FLOOR PLAN EL. 'A' - SIDE UPGRADE
SCALE: AS MENTIONED

DWG NO.
1A-U

18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN
URBANSCAPE ARCHITECTS
236 LESMILL ROAD, TORONTO, ON, M3B 2T5
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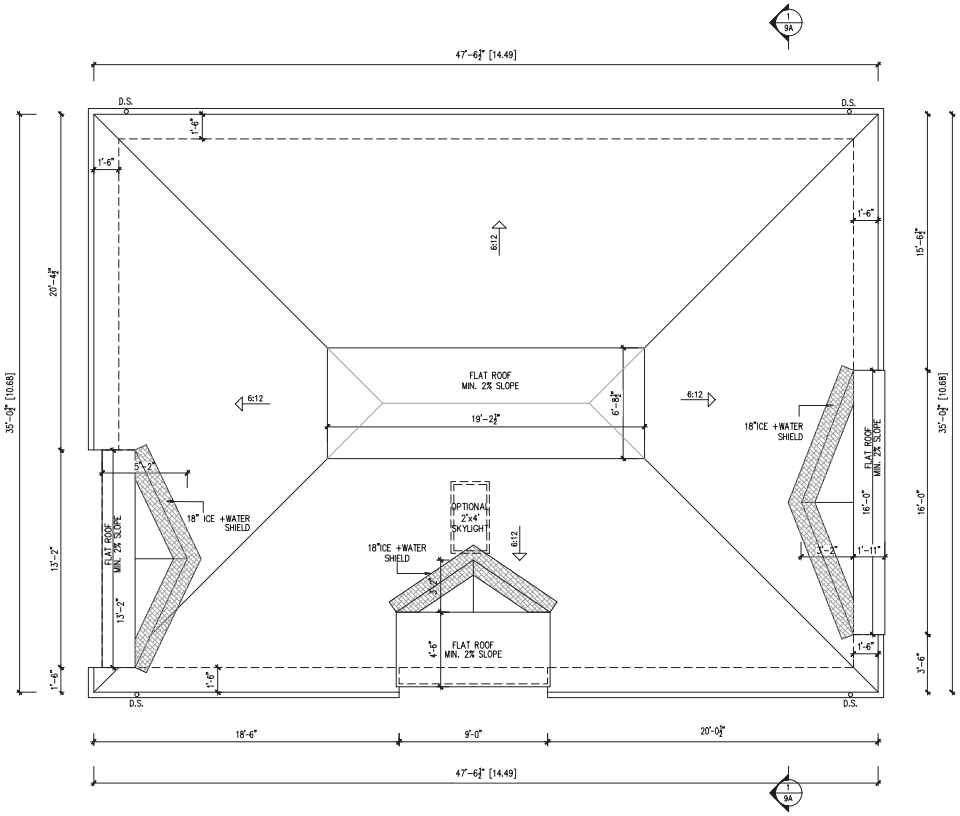

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MAR 30/21
ALI MALEK ARDEH
LICENCE
8487

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
ROOF PLAN EL. 'A' - SIDE UPGRADE
SCALE: 3/16"=1'-0'

DWG NO.
2A-U

18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN

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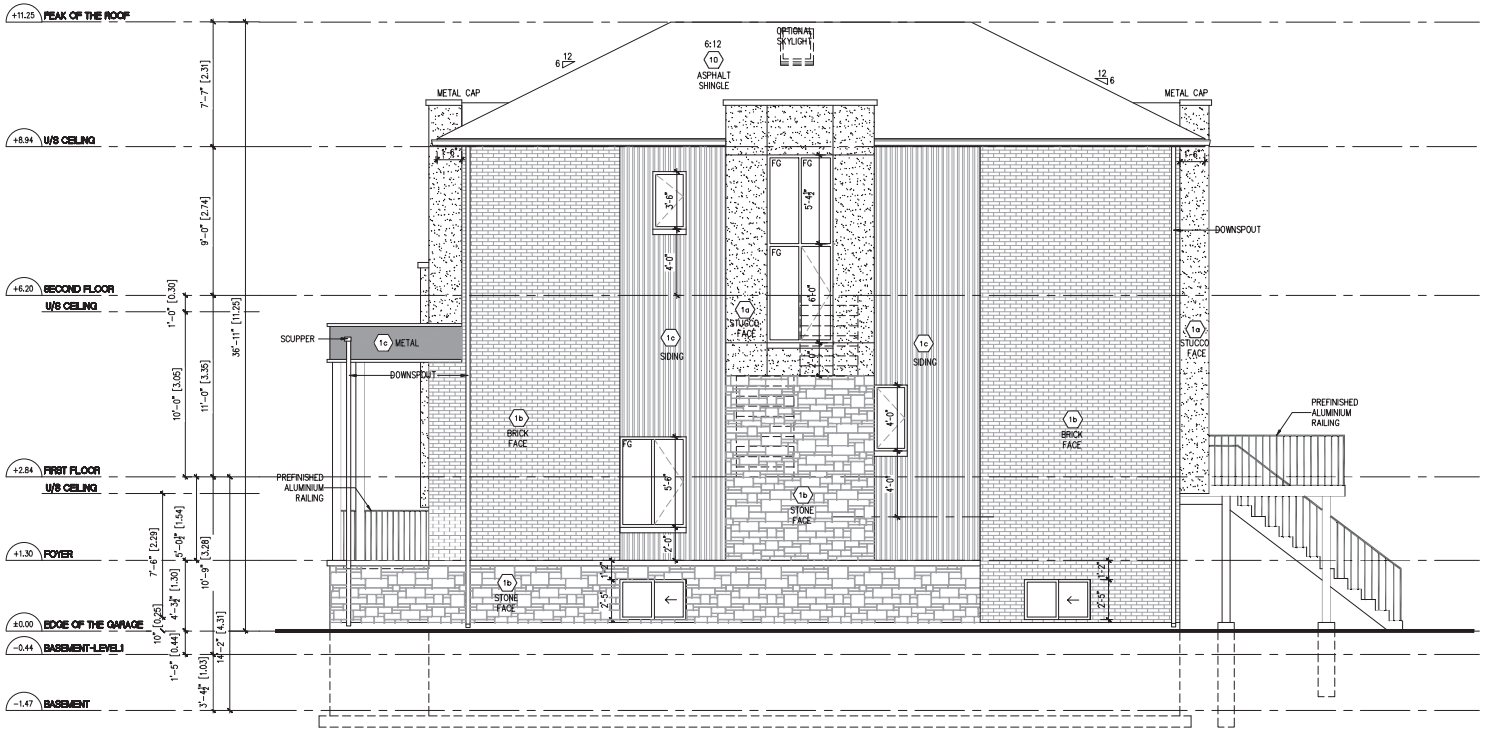

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STAMP

ONTARIO ASSOCIATION OF ARCHITECTS
MAR 30/21
ALI MALEK ZADEH
LICENCE
5487

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
RIGHT SIDE ELEVATION EL. 'A' - SIDE UPGRADE
SCALE: 3/16"=1'-0"

DWG NO.
3A-U

18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN

URBANSCAPE ARCHITECTS
236 LESMILL ROAD,TORONTO ,ON,M3B 2T5
phone: 416.850.0021
info@urbanscaarchitect.com | www.urbanscapearchitect.com

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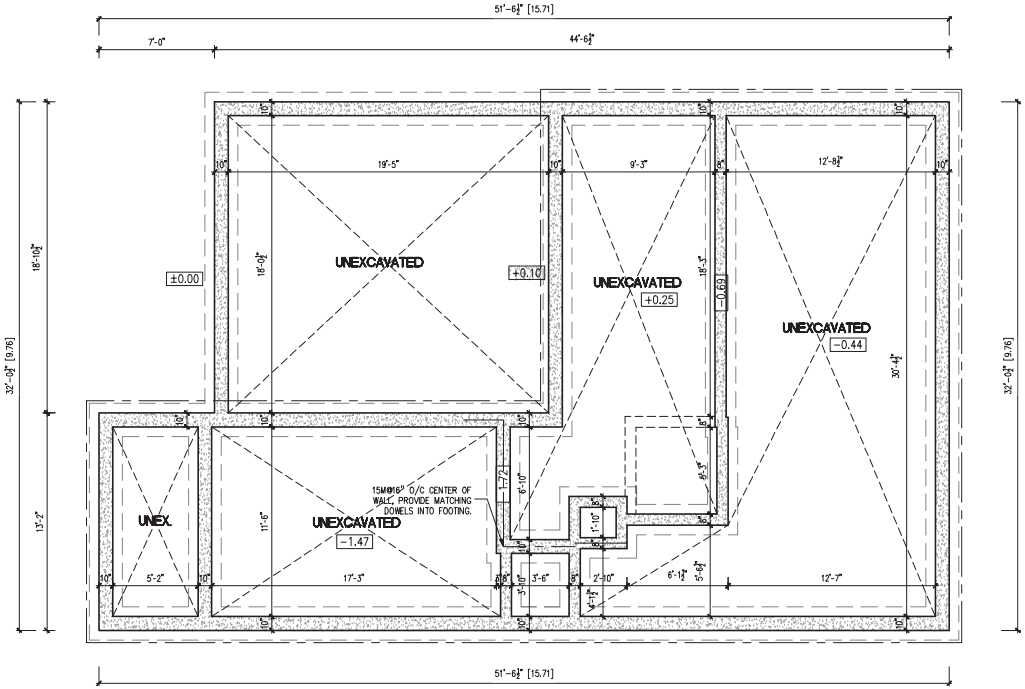

Building Division
OBC Review
Terence Wong
05/28/2021
Town of Aurora
Planning and Development Services

TYPICAL BASEMENT FLOOR PLAN NOTES
PROVIDE FULL HEIGHT 10"CONC. FOUNDATION WALLS
WHERE SOIL HEIGHT EXCEEDS 4'-7" TYP. UNLESS NOTED OTHERWISE
ALL DECK FRAMING TO BE P.T. UNLESS NOTED OTHERWISE

CONCRETE PAD FOOTING LEGEND		
	NATURAL UNDISTURBED SOIL	COMPACTED ENGINEERED FILL
F0	46"x46"x20"	52"x52"x24"
F1	36"x36"x16"	40"x40"x18"
F2	24"x24"x10"	28"x28"x12"

CONCRETE STRIP FOOTING FOR 10" FOUNDATION WALL:
MIN. 22"x8" FOR NATURAL UNDISTURBED SOIL.
MIN. 24"x10" FOR COMPACTED ENGINEERED FILL.
2-15M BARS CONTINUOUS AT TOP OF FOUNDATION AND
2-15M BARS CONTINUOUS IN FOOTINGS FOR ENGINEERED FILL.

NOTE:
ALL FOOTINGS DESIGNED ASSUMING MIN. 150KPa SOIL BEARING CAPACITY

LICENSED PROFESSIONAL ENGINEER
W.S. WONG
29/03/2021
PROVINCE OF ONTARIO
SWS#20224
STRUCTURAL ONLY

TOWN OF AURORA
PLANNING & DEVELOPMENT SERVICES - BUILDING DIVISION
PERMIT NO. PR20210685 DATE: Jun. 17, 2021
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INSPECTION REQUEST TELEPHONE: (905) 726-4778

Zoning Review
Ashley Vanderwal
May 20, 2021

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STAMP
ONTARIO ASSOCIATION OF ARCHITECTS
MAR 30/21
ALI MALEK ZADEH
LICENSE 8457

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
FOUNDATION PLAN EL. 'B'
SCALE: 3/16"=1'-0"

DWG NO.
0B
18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN
URBANSCAPE ARCHITECTS
236 LESMILL ROAD,TORONTO ,ON,M3B 2T5
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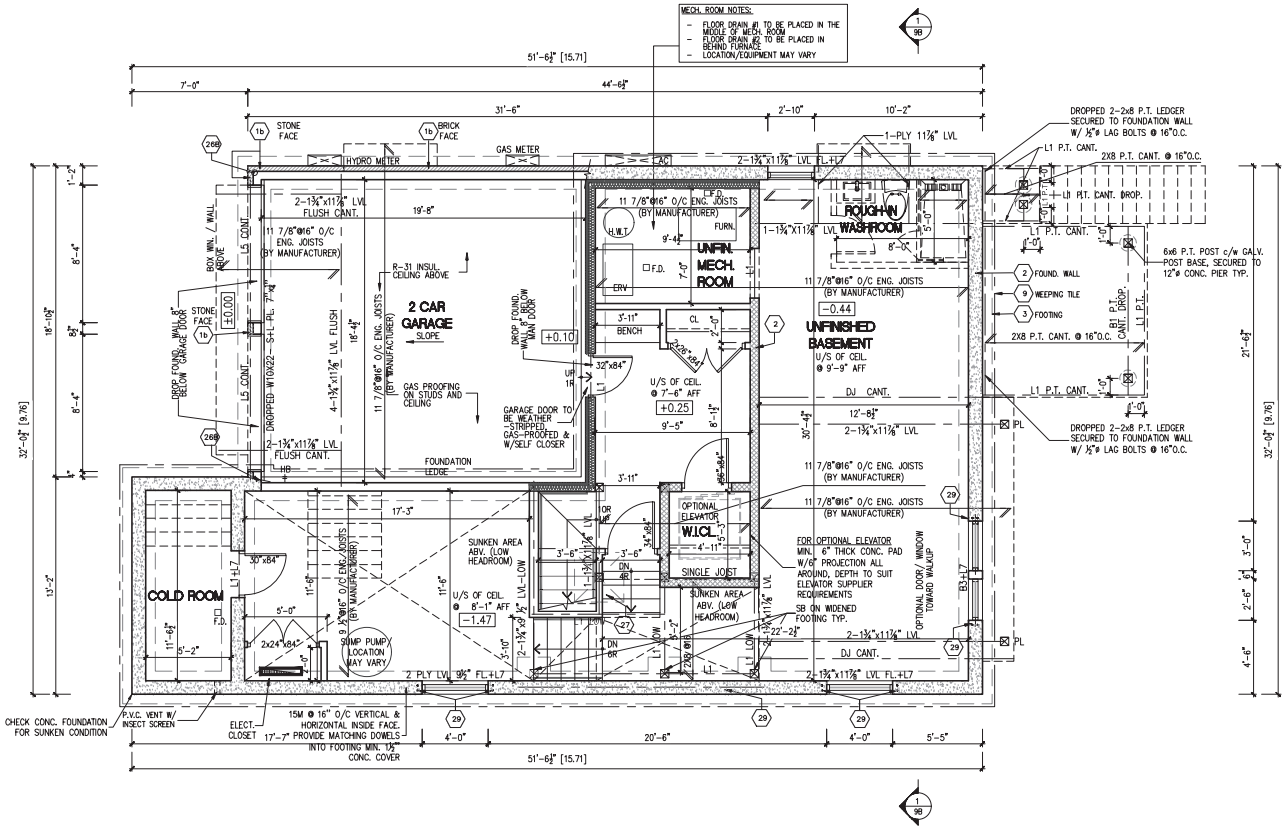

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Terence Wong
05/28/2021
Town of Aurora
Planning and Development Services

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LICENSED PROFESSIONAL ENGINEER
W.S. WONG
29/03/2021
PROVINCE OF ONTARIO
SVWS#20224
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Ashley Vanderwal
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ONTARIO ASSOCIATION OF ARCHITECTS
MAR 30/21
ALI MALEK ZADEH
LICENSE 5424

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
BASEMENT FLOOR PLAN EL. 'B'
SCALE: 3/16"=1'-0"

DWG NO.
1B
18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN
URBANSCAPE ARCHITECTS
236 LESMILL ROAD, TORONTO, ON, M3B 2T5
phone: 416.850.0021
info@urbanscaarchitect.com | www.urbanscapearchitect.com

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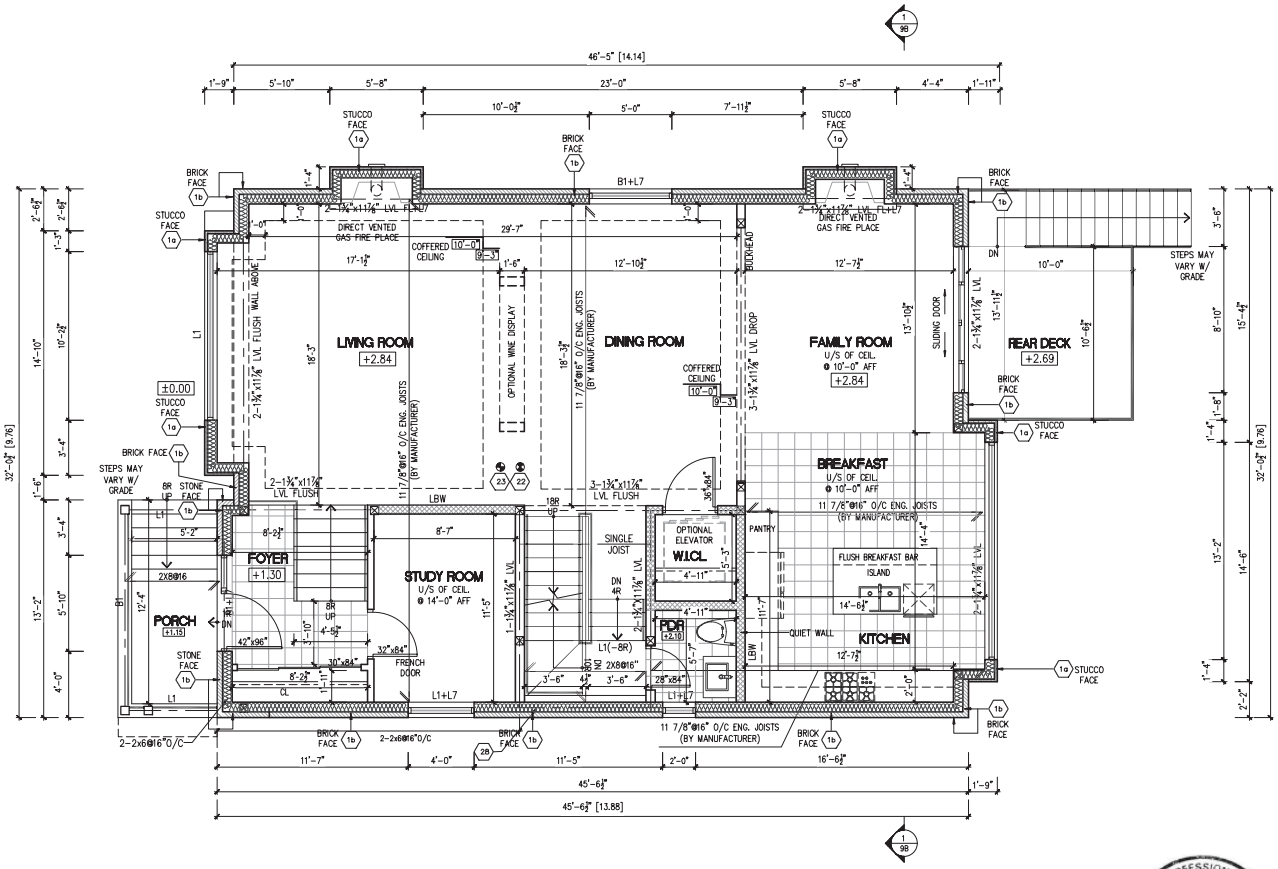

2 ply LVL

Building Division
OBC Review
Terence Wong
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Planning and Development Services

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ONTARIO ASSOCIATION OF ARCHITECTS
MAR 30/21
ALI MALEK ZADEH
LICENCE 5487

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
FIRST FLOOR PLAN EL. 'B'
SCALE: 3/16"=1'-0"

DWG NO.
2B
18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN
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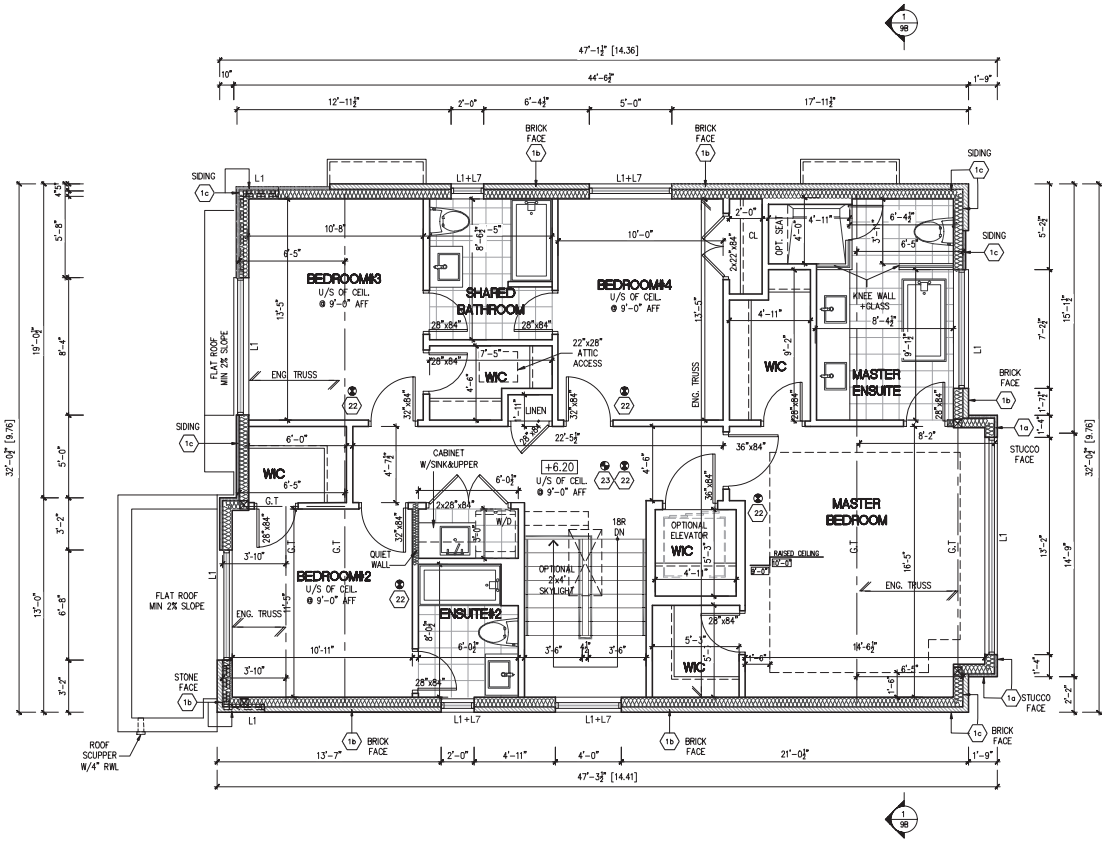

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29/03/2021
PROVINCE OF ONTARIO

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ONTARIO ASSOCIATION OF ARCHITECTS
MAR 30/21
ALI MALEK-ZADEH
LICENSE 6487

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
SECOND FLOOR PLAN EL. 'B'
SCALE: 3/16"=1'-0"

DWG NO.
3B
18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN
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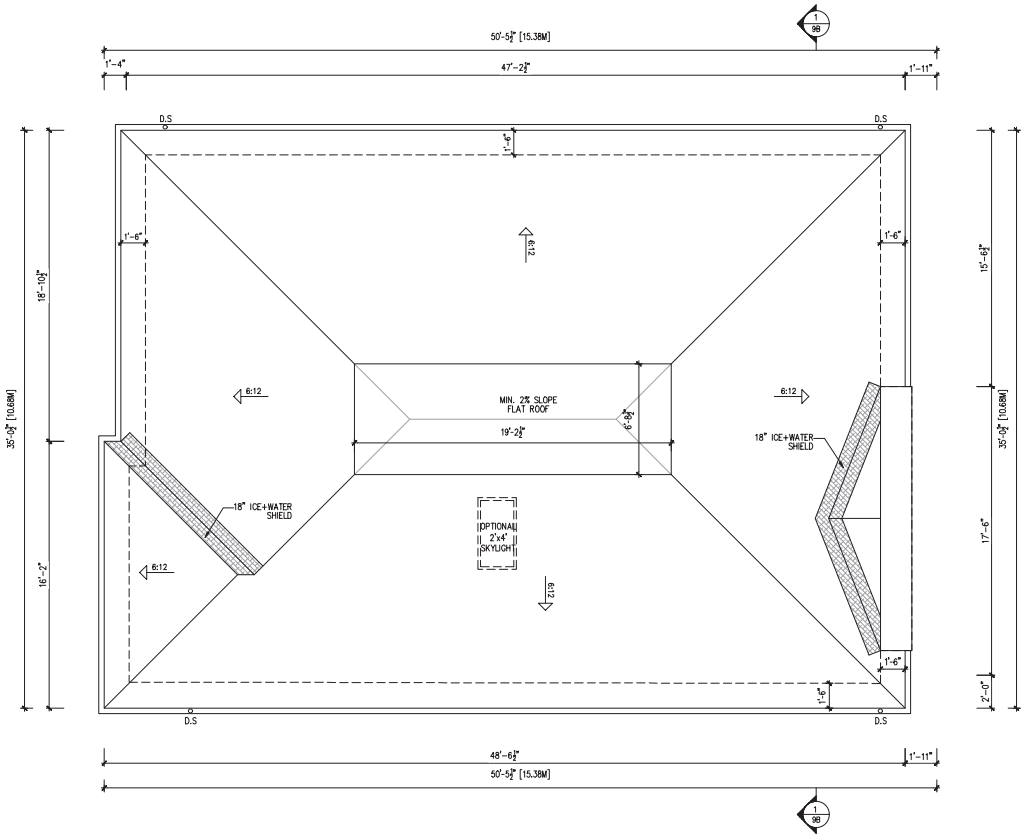

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MAR 30/21
ALI MALEK ZADEH
LICENSE
5484

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
ROOF PLAN EL. 'B'
SCALE: 3/16"=1'-0"

DWG NO.
4B

18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN

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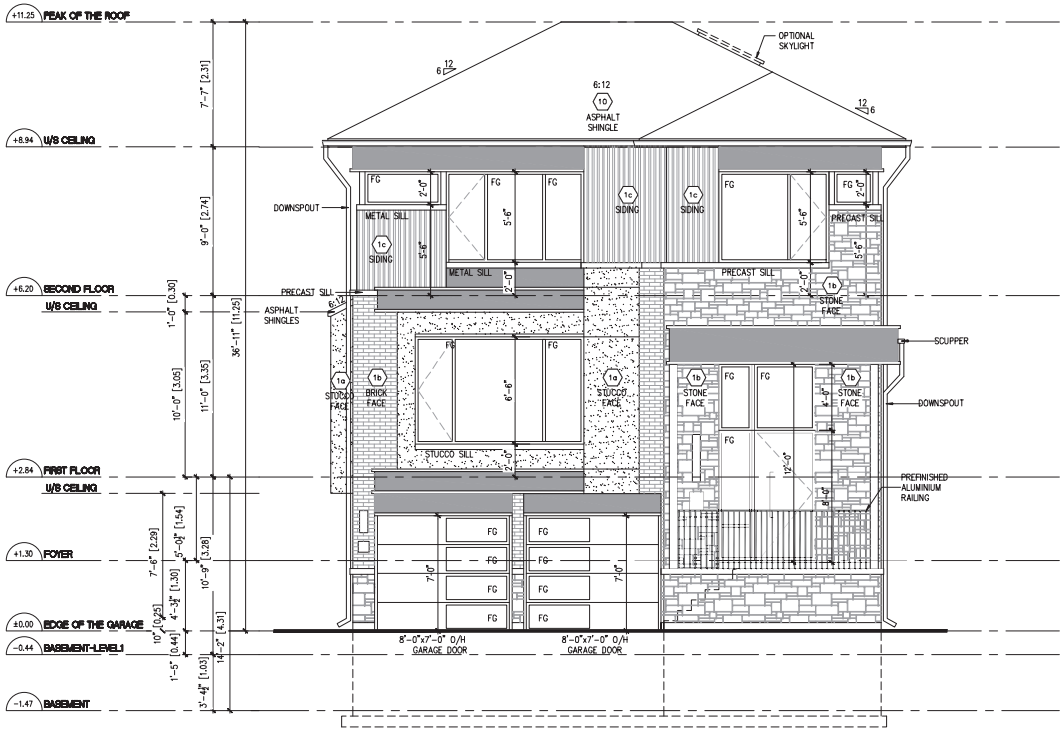

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Town of Aurora
Planning and Development Services

DORMER HILL 40-01 EL. B	ENERGY EFFICIENCY-SB12		
ELEVATION	WALL SQ.FT.	OPENING SQ.FT.	PERCENTAGE
FRONT	936.85	208.28	22.23%
REAR	939.44	253.26	26.96%
RIGHT	1370.23	84.54	6.17%
LEFT	1372.17	86.36	6.29%
TOTAL	4618.69	632.45	13.69%

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ONTARIO ASSOCIATION OF ARCHITECTS
MAR 30/21
ALI MALEK-ZADEH
LICENSE 8487

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
FRONT ELEVATION EL. 'B'
SCALE: 3/16"=1'-0"

DWG NO.
5B

18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN
URBANSCAPE ARCHITECTS
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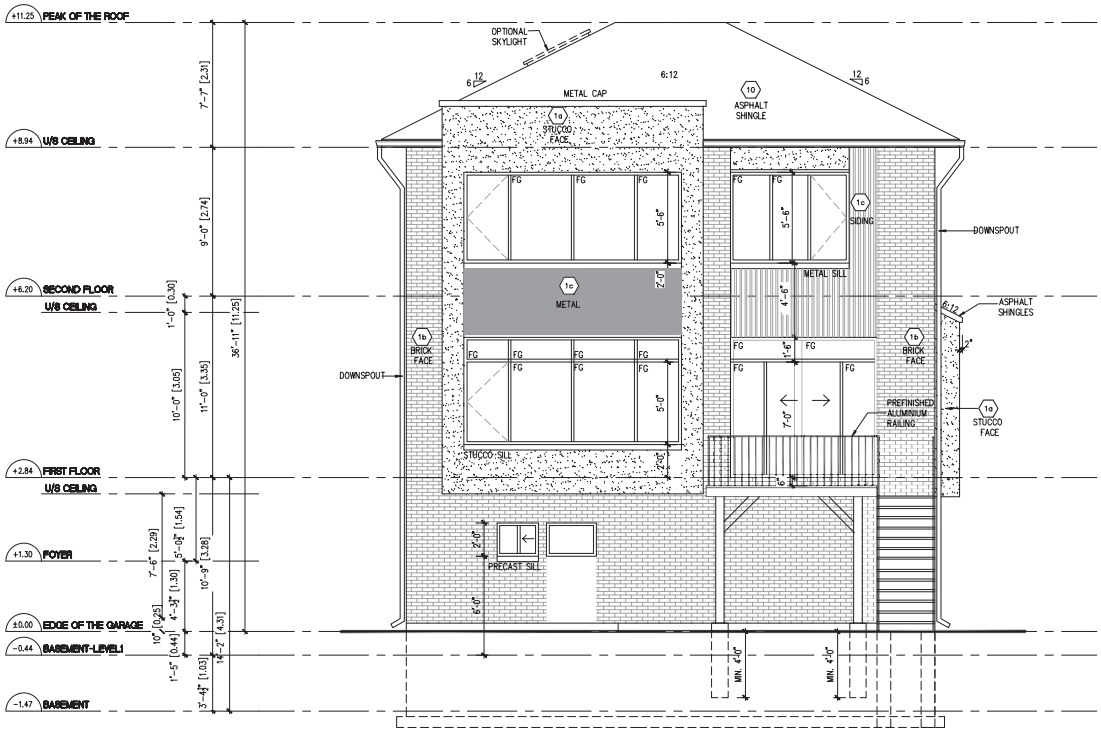

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MAR 30/21
ALI MALEK ZADEH
LICENSE
8487

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
REAR ELEVATION EL. 'B'
SCALE: 3/16"=1'-0"

DWG NO.
6B

18"x24" SHEET SIZE

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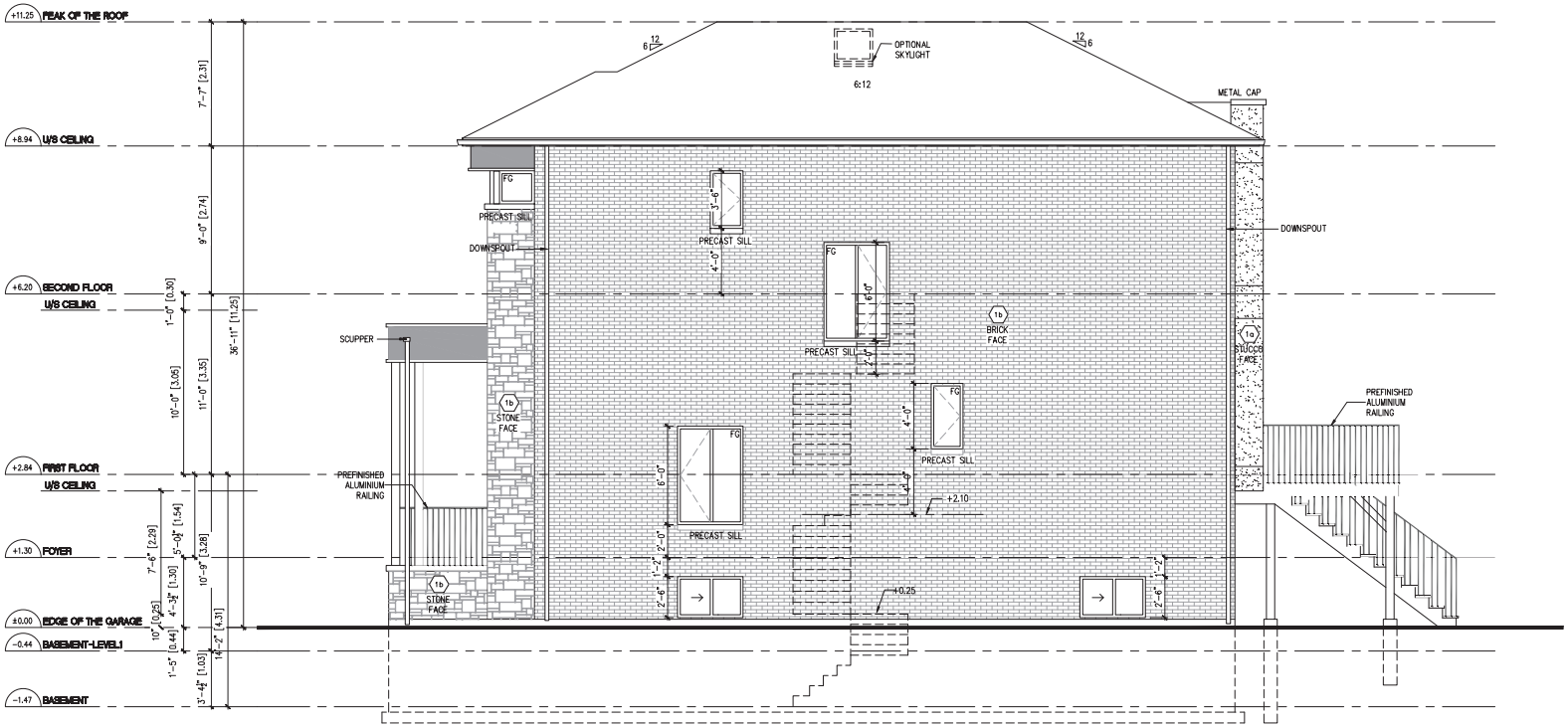

UNPROTECTED OPENING	
WALL AREA	1372.17
ALLOWABLE WINDOW AREA @7%	96.05
ACTUAL WINDOW AREA	86.36

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NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
RIGHT SIDE ELEVATION EL. 'B'
SCALE: 3/16"=1'-0"

DWG NO.
7B
18"x24" SHEET SIZE

PROJECT
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14029 YONGE ST. Aurora ON L4G OP1

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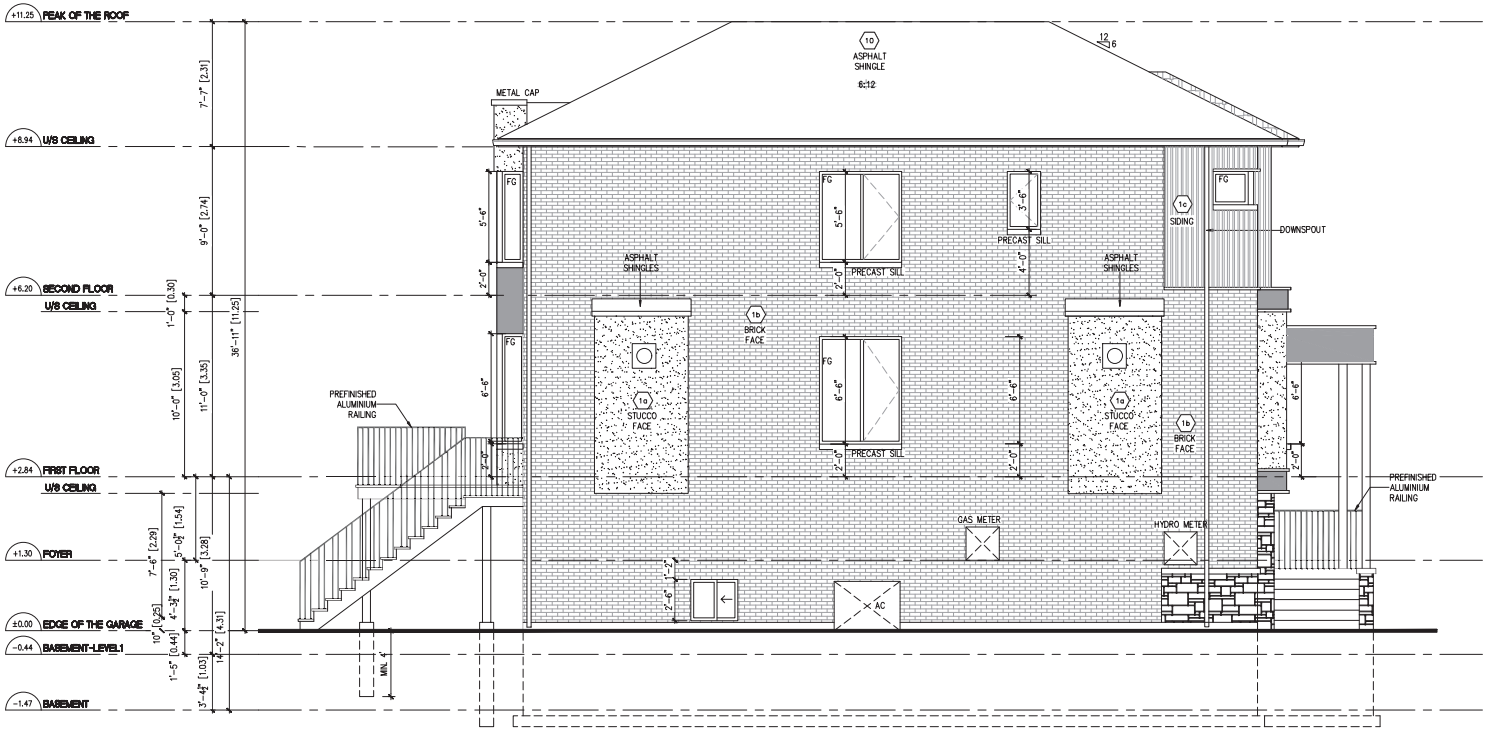

UNPROTECTED OPENING	
WALL AREA	1370.23
ALLOWABLE WINDOW AREA @7%	95.92
ACTUAL WINDOW AREA	84.54

Building Division
OBC Review
Terence Wong
05/28/2021
Town of Aurora
Planning and Development Services

TOWN OF AURORA
PLANNING & DEVELOPMENT SERVICES - BUILDING DIVISION
PERMIT NO.: PR20210685 DATE: Jun. 17, 2021
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INSPECTION REQUEST TELEPHONE: (905) 726-4778

Zoning Review
Ashley Vanderwal
May 20, 2021

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STAMP

ONTARIO ASSOCIATION OF ARCHITECTS
MAR 30/21
ALI MALEK ZADEH
LICENCE 8487

NORTH

PROJ./REV. NO.
USG 16-198

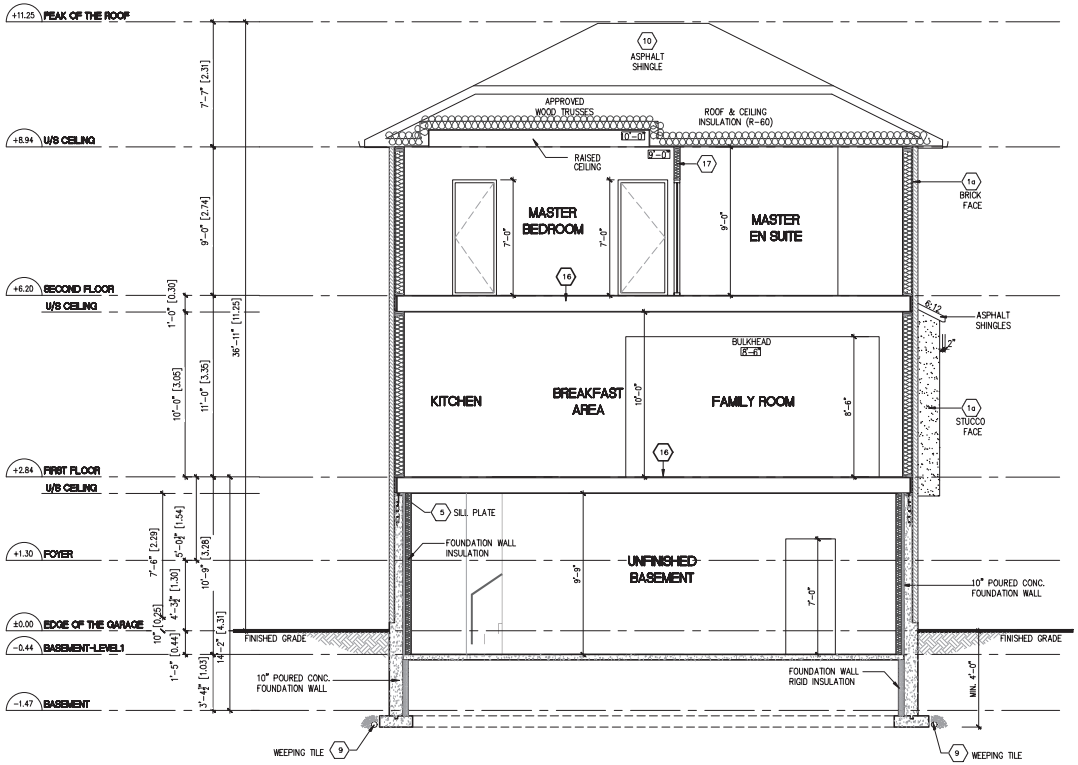
SHEET TITLE
LEFT SIDE ELEVATION EL. 'B'
SCALE: 3/16"=1'-0"

DWG NO.
8B
18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN
URBANSCAPE ARCHITECTS

236 LESMILL ROAD,TORONTO ,ON,M3B 2T5
phone: 416.850.0021
info@urbanscaarchitect.com | www.urbanscapearchitect.com



Building Division
OBC Review
Terence Wong
05/28/2021
Town of Aurora
Planning and Development Services

LICENSED PROFESSIONAL ENGINEER
W.S. WONG
29/03/2021
PROVINCE OF ONTARIO

SWS#20224
STRUCTURAL ONLY

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MAR 30/21
ALI MALEK ZADEH
LICENSE 8487

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PROJ./REV. NO.
USG 16-198

SHEET TITLE
BUILDING SECTION EL. 'B'
SCALE: 3/16"=1'-0"

DWG NO.
9B

18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN
URBANSCAPE ARCHITECTS

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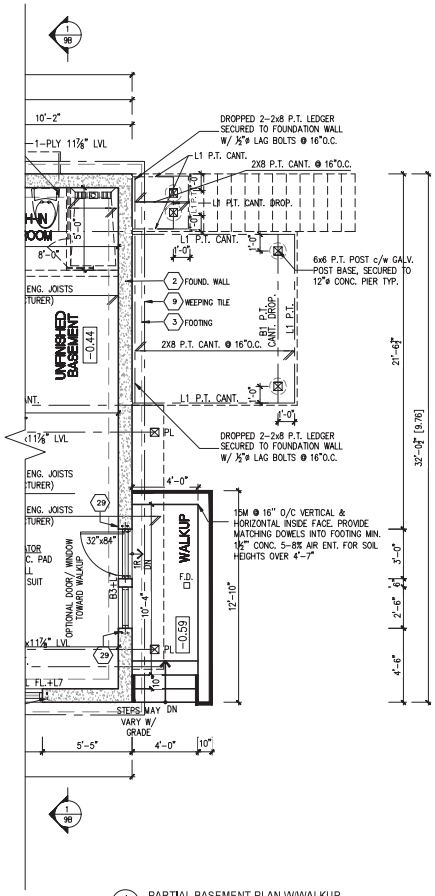
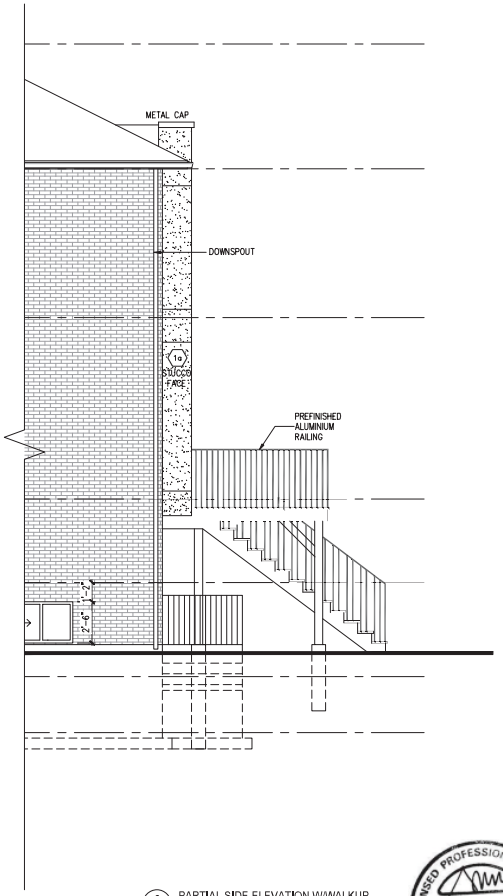


1 / 10B PARTIAL BASEMENT PLAN W/WALKUP



2 / 10B PARTIAL SIDE ELEVATION W/WALKUP

LICENSED PROFESSIONAL ENGINEER
W.S. WONG
29/03/2021
PROVINCE OF ONTARIO
SWS#20224
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Ashley Vanderwal
May 20, 2021

TYPICAL BASEMENT FLOOR PLAN NOTES
PROVIDE FULL HEIGHT 10"CONC. FOUNDATION WALLS
WHERE SOIL HEIGHT EXCEEDS 4'-7" TYP. UNLESS NOTED OTHERWISE
ALL DECK FRAMING TO BE P.T. UNLESS NOTED OTHERWISE

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MAR 30/21
ALI MALEK ZADEH
LICENSE 8487

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
PARTIAL BASEMENT FLOOR PLAN & SIDE ELEVATION EL. 'B' W/WALKUP
SCALE: 3/16"=1'-0"

DWG NO.
10B
18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN
URBANSCAPE ARCHITECTS
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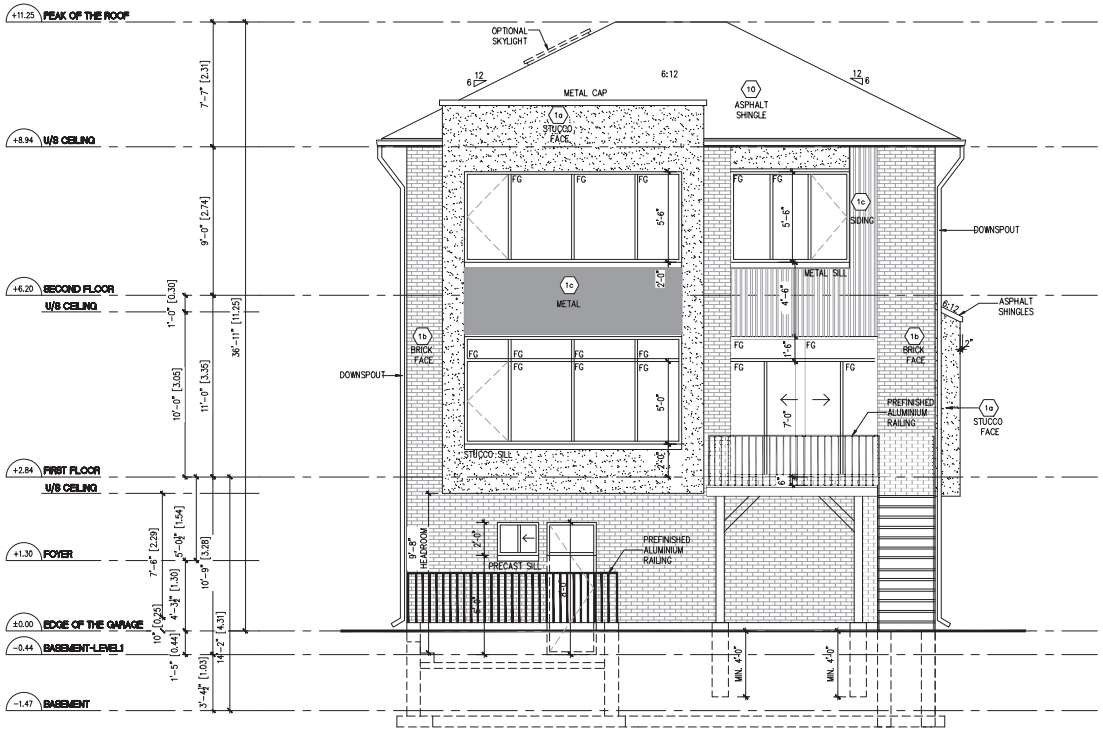

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ALI MALEK-ZADEH
LICENSE 8457

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
REAR ELEVATION EL. 'B' W/WALKUP
SCALE: 3/16"=1'-0"

DWG NO.
11B

18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

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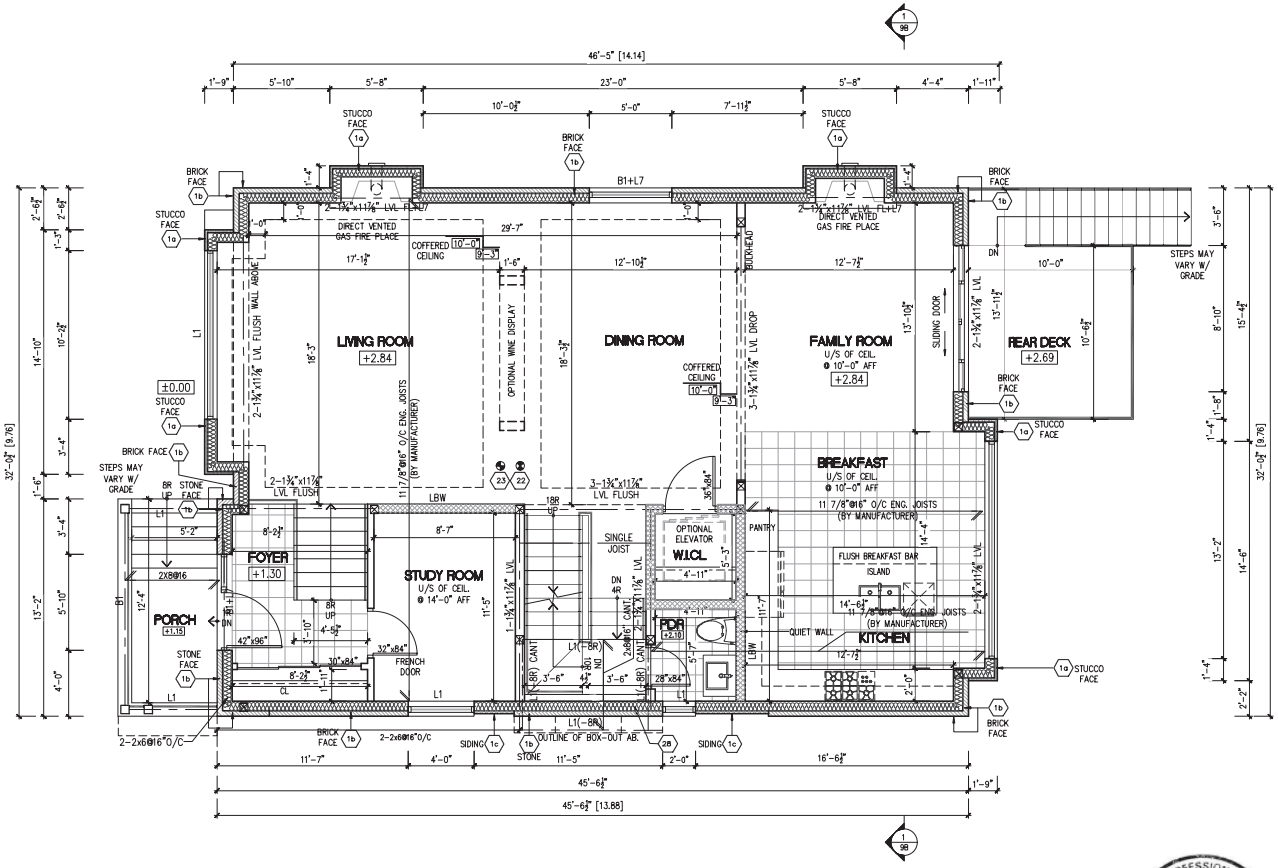

2 PLY LVL

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W.S. WONG
29/03/2021
PROVINCE OF ONTARIO
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ONTARIO ASSOCIATION OF ARCHITECTS
MAR 30/21
ALI MALEK ZADEH
LICENCE 5487

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
FIRST FLOOR PLAN EL. 'B' - SIDE UPGRADE
SCALE: 3/16"=1'-0"

DWG NO.
0B-U
18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN
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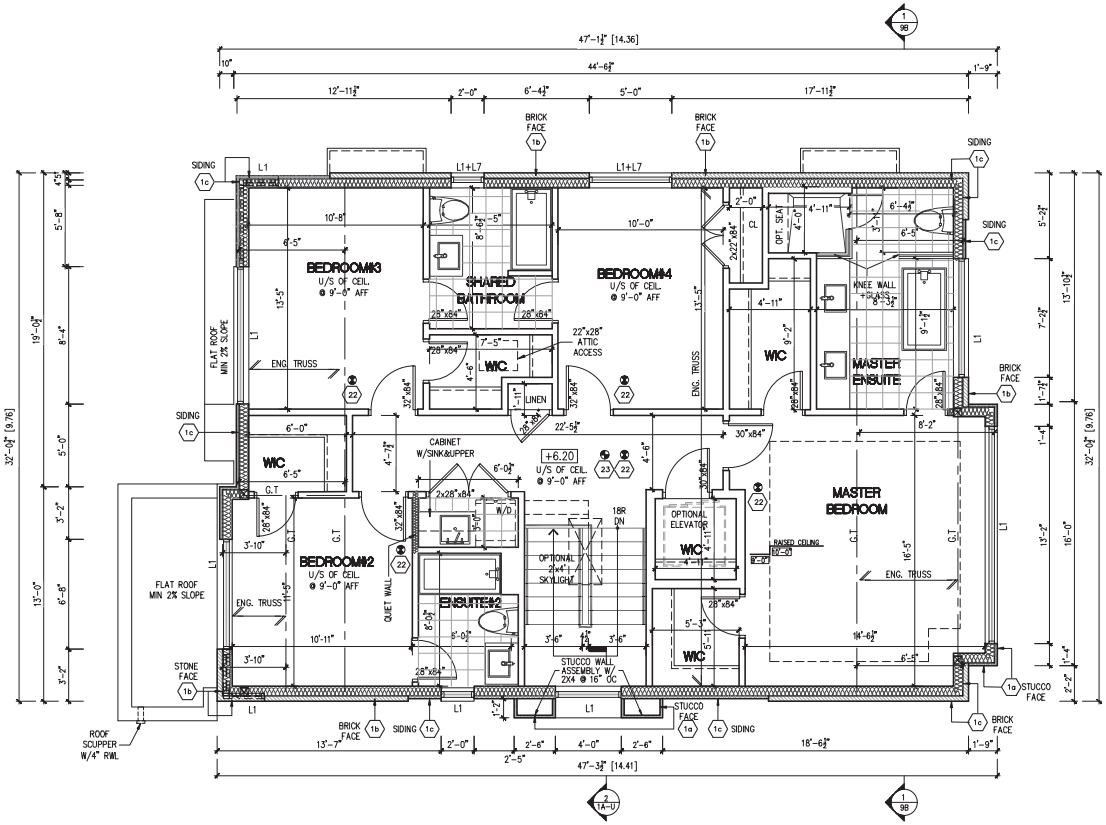

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PROJ./REV. NO.
USG 16-198

SHEET TITLE
SECOND FLOOR PLAN EL. 'B' - SIDE UPGRADE
SCALE: 3/16"=1'-0"

DWG NO.
1B-U

18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

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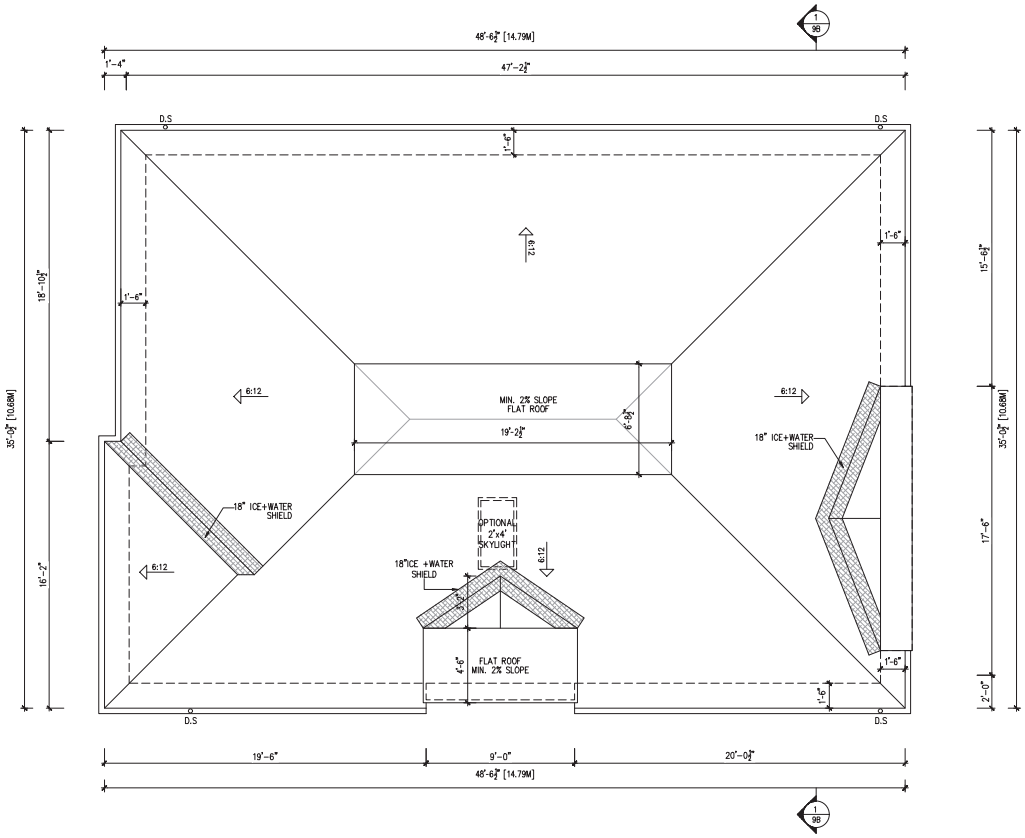

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LICENCE 8457

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
ROOF PLAN EL. 'B' - SIDE UPGRADE
SCALE: 3/16"=1'-0"

DWG NO.
2B-U

18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

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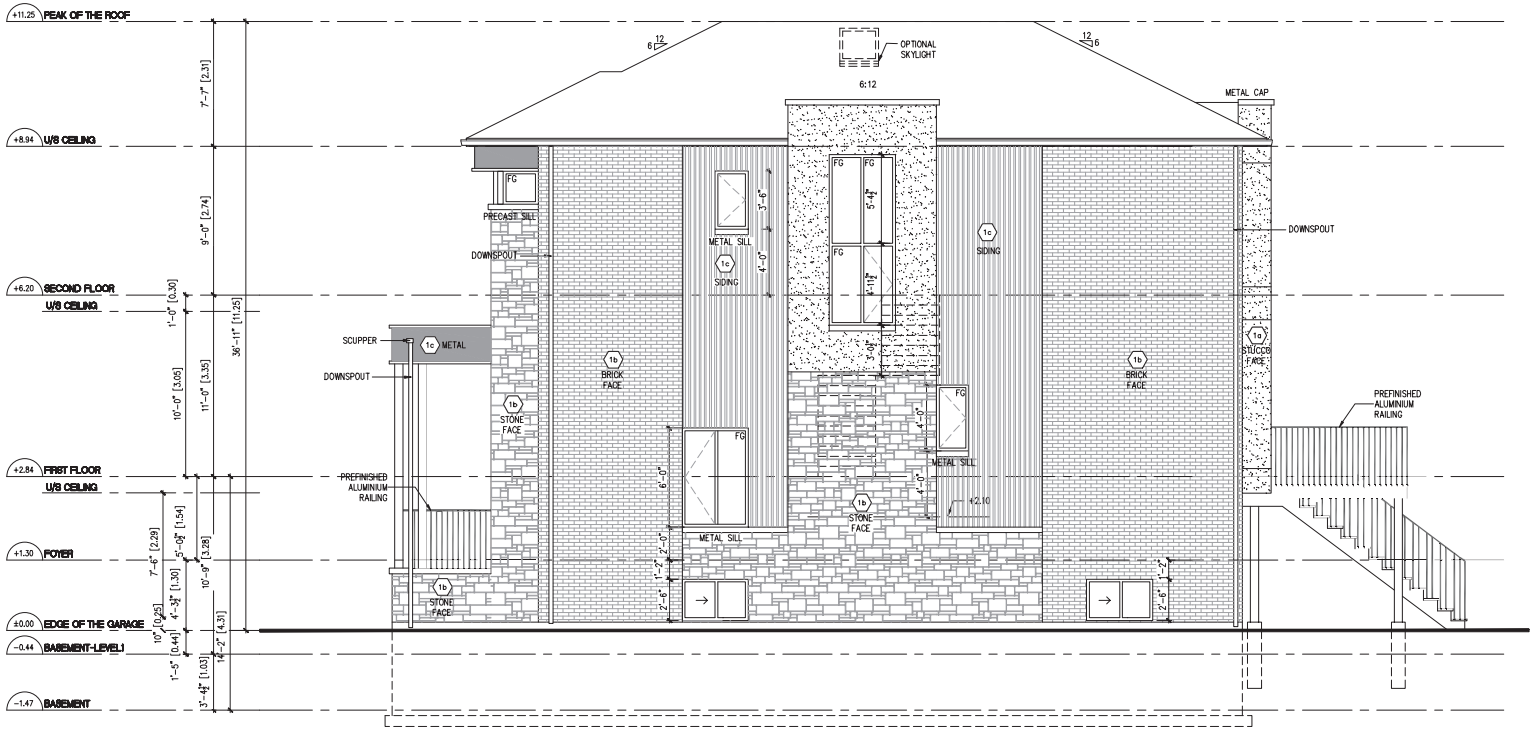

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LICENCE 5487

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USG 16-198

SHEET TITLE
RIGHT SIDE ELEVATION EL. 'B' - SIDE UPGRADE
SCALE: 3/16"=1'-0"

DWG NO.
3B-U

18"x24" SHEET SIZE

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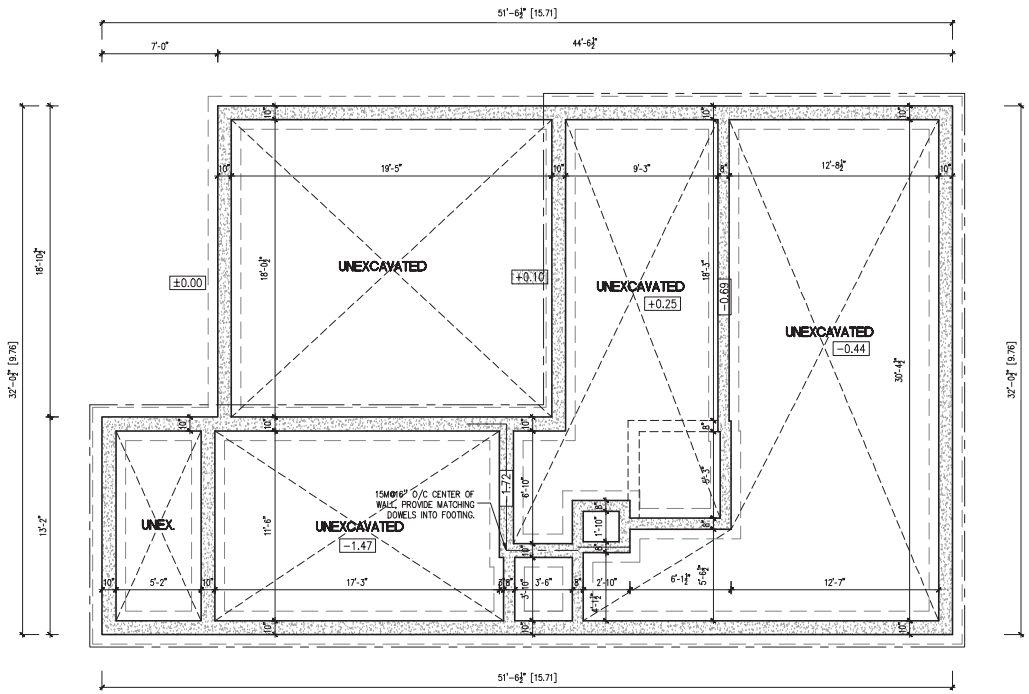

TYPICAL BASEMENT FLOOR PLAN NOTES
PROVIDE FULL HEIGHT 10"CONC. FOUNDATION WALLS WHERE SOIL HEIGHT EXCEEDS 4'-7" TYP. UNLESS NOTED OTHERWISE
ALL DECK FRAMING TO BE P.T. UNLESS NOTED OTHERWISE

CONCRETE PAD FOOTING LEGEND		
	NATURAL UNDISTURBED SOIL	COMPACTED ENGINEERED FILL
F0	46"x46"x20"	52"x52"x24"
F1	36"x36"x16"	40"x40"x18"
F2	24"x24"x10"	28"x28"x12"

CONCRETE STRIP FOOTING FOR 10" FOUNDATION WALL:
MIN. 22"x8" FOR NATURAL UNDISTURBED SOIL.
MIN. 24"x10" FOR COMPACTED ENGINEERED FILL.
2-15M BARS CONTINUOUS AT TOP OF FOUNDATION AND
2-15M BARS CONTINUOUS IN FOOTINGS FOR ENGINEERED FILL.

NOTE:
ALL FOOTINGS DESIGNED ASSUMING MIN. 150KPa SOIL BEARING CAPACITY

LICENSED PROFESSIONAL ENGINEER
W.S. WONG
29/03/2021
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SHEET TITLE
FOUNDATION PLAN EL. 'C'
SCALE: 3/16"=1'-0"

DWG NO.
0C

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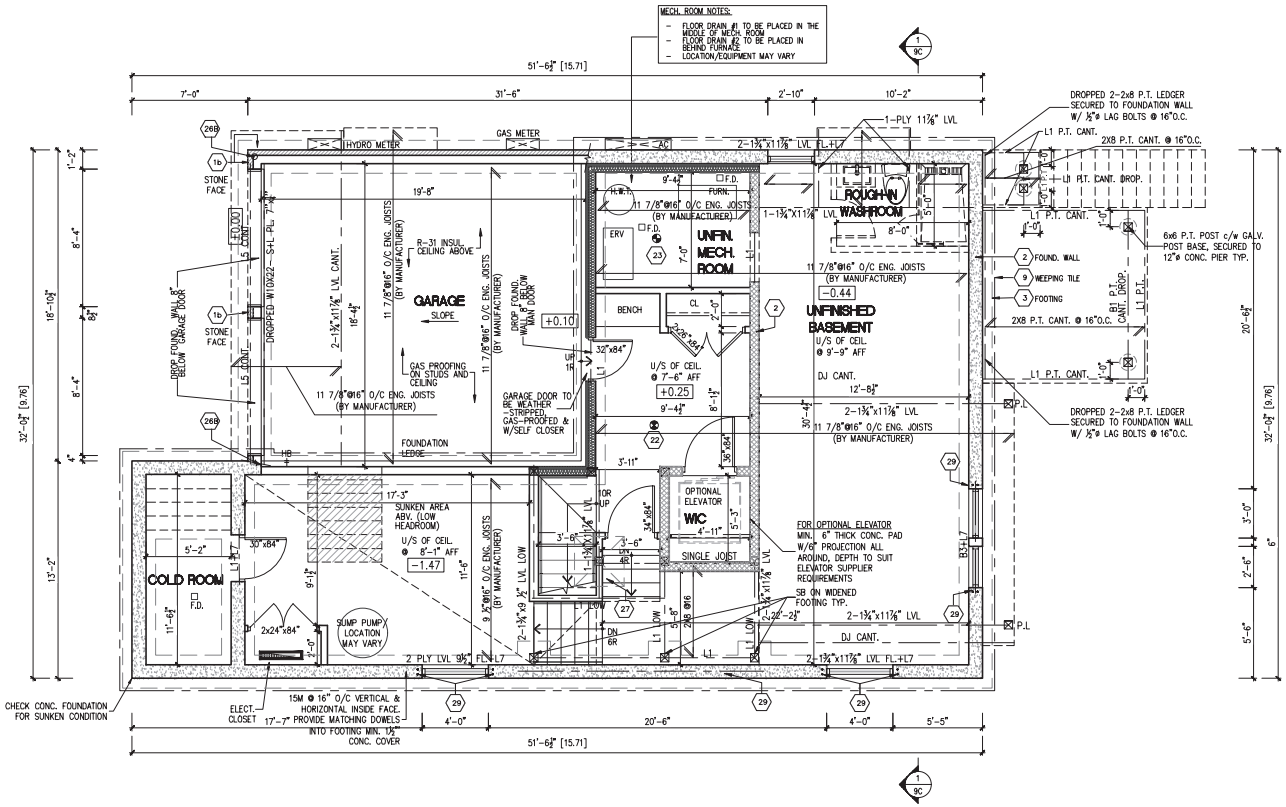

LICENSED PROFESSIONAL ENGINEER
W.S. WONG
29/03/2021
PROVINCE OF ONTARIO

SWS#20224
STRUCTURAL ONLY

TYPICAL BASEMENT FLOOR PLAN NOTES
PROVIDE FULL HEIGHT 10"CONC. FOUNDATION WALLS
WHERE SOIL HEIGHT EXCEEDS 4'-7" TYP. UNLESS NOTED OTHERWISE
ALL DECK FRAMING TO BE P.T. UNLESS NOTED OTHERWISE

NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-06-15	ISSUED FOR ZZC	CITY

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STAMP

ONTARIO ASSOCIATION OF ARCHITECTS
MAR 30/21
ALI MALEK SADEH
LICENCE 5487

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
BASEMENT FLOOR PLAN EL. 'C'
SCALE: 3/16"=1'-0"

DWG NO.
1C
18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN
URBANSCAPE ARCHITECTS
236 LESMILL ROAD, TORONTO, ON, M3B 2T5
phone: 416.850.0021
info@urbanscaarchitect.com | www.urbanscapearchitect.com

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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: _____
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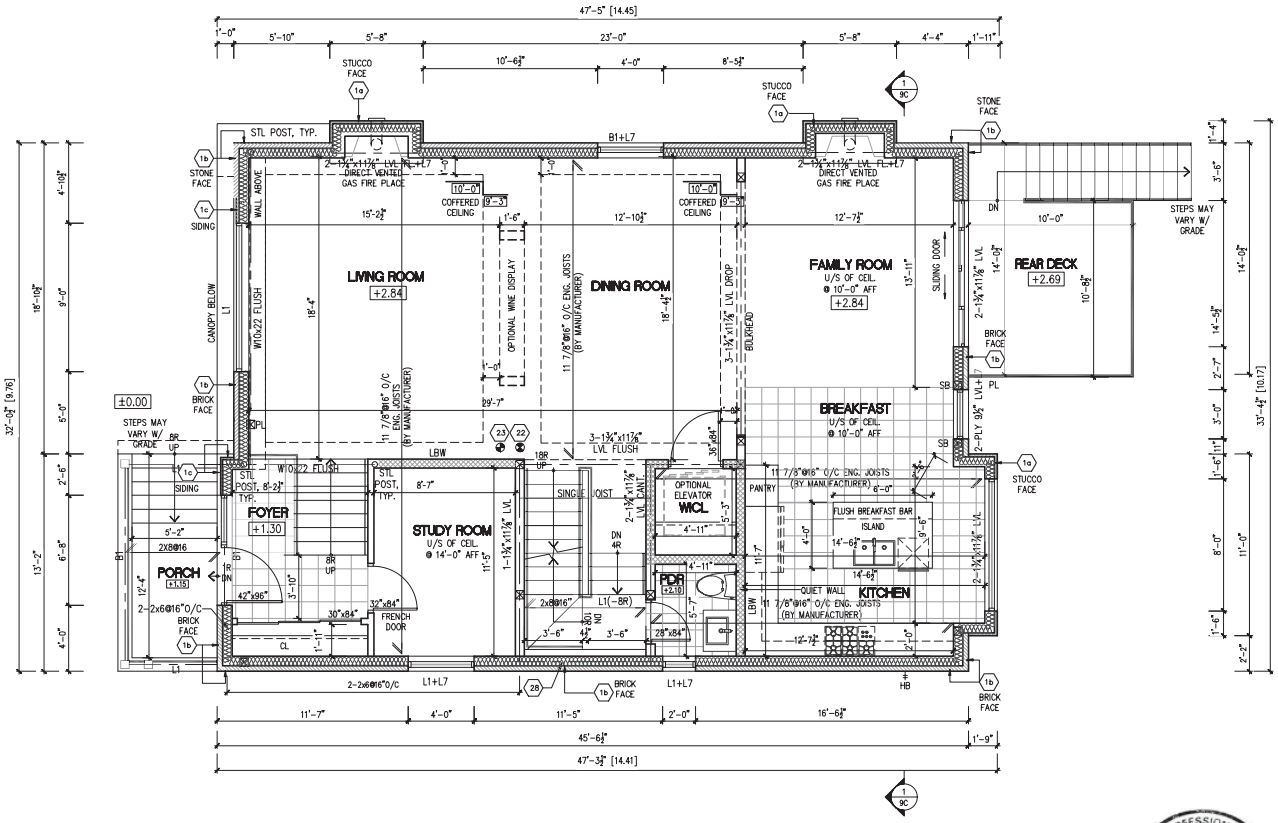

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ONTARIO ASSOCIATION OF ARCHITECTS
MAR 30/21
ALI MALEK-ZADEH
LICENSE 8457

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
FIRST FLOOR PLAN EL. 'C'
SCALE: 3/16"=1'-0"

DWG NO.
2C

18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN
URBANSCAPE ARCHITECTS

236 LESMILL ROAD,TORONTO ,ON,M3B 2T5
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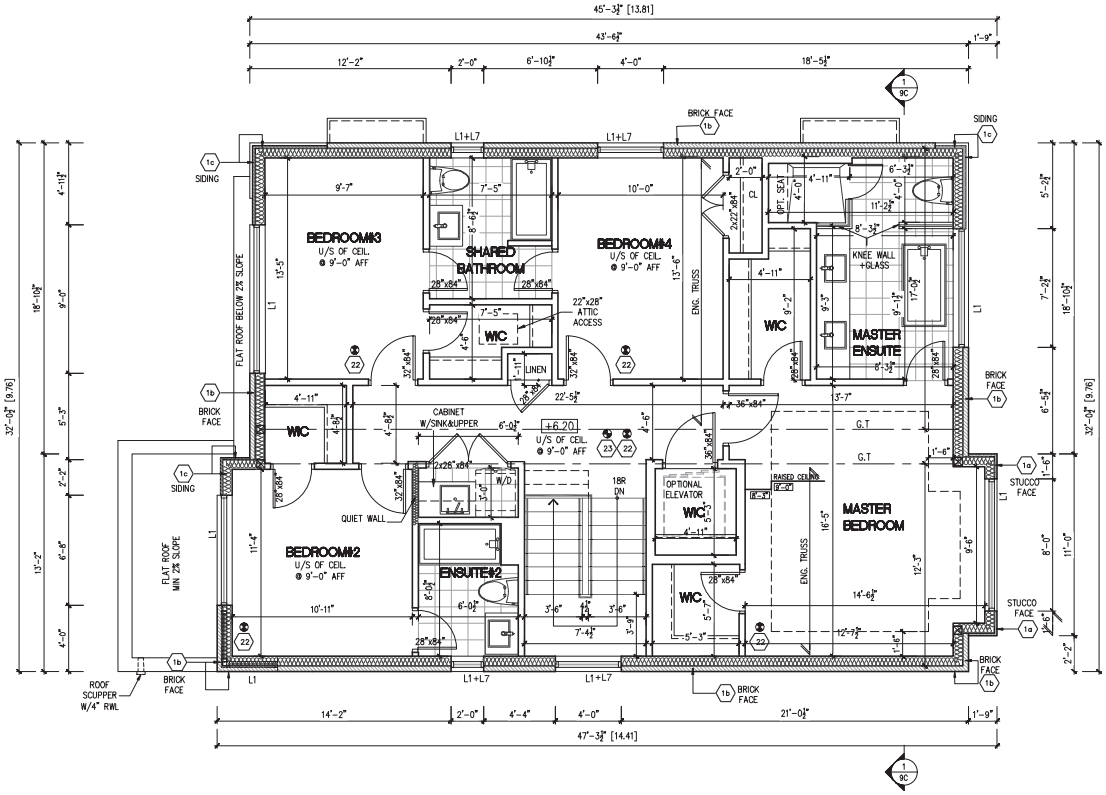

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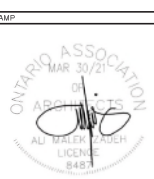

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
SECOND FLOOR PLAN EL. 'C'
SCALE: 3/16"=1'-0"

DWG NO.
3C

18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN
URBANSCAPE ARCHITECTS

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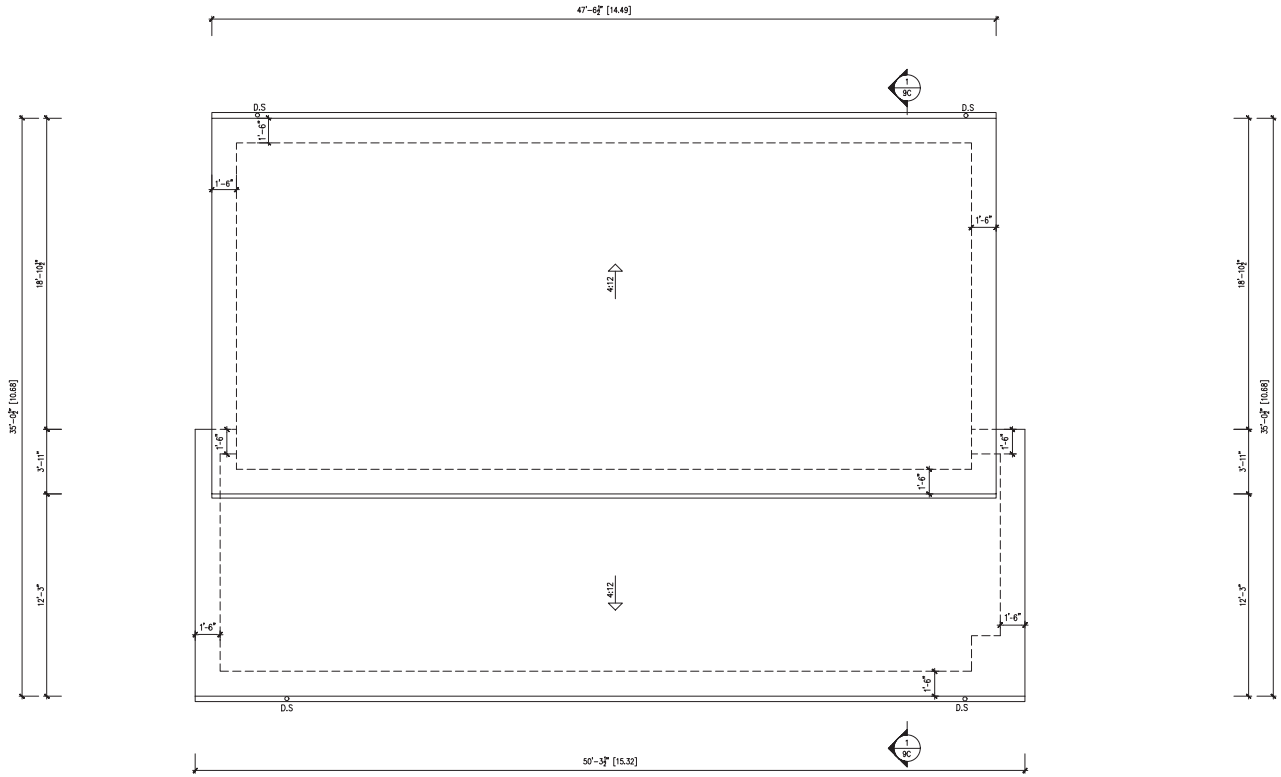

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ONTARIO ASSOCIATION OF ARCHITECTS
MAR 30/21
ALI MALEK ZADEH
LICENCE
5487

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
ROOF PLAN EL. 'C'
SCALE: 3/16"=1'-0"

DWG NO.
4C

18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN

URBANSCAPE ARCHITECTS
236 LESMILL ROAD,TORONTO ,ON,M3B 2T5
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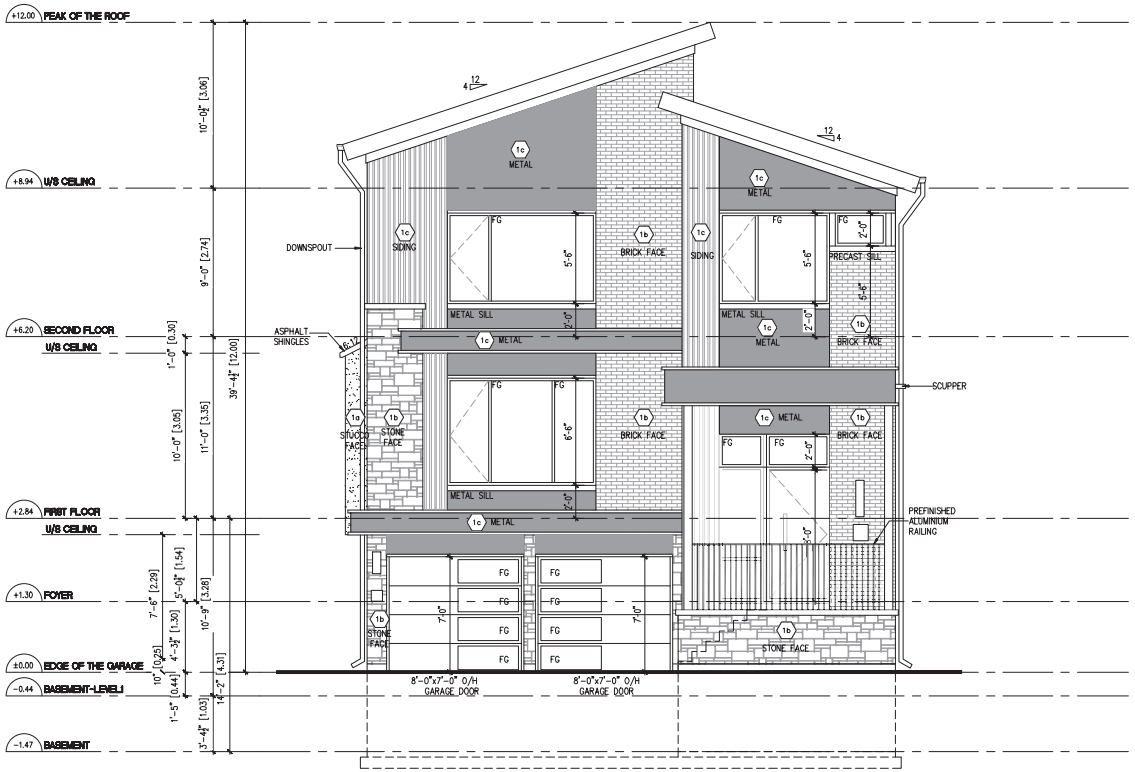

DORMER HILL 40-01 EL. C	ENERGY EFFICIENCY-SB12		
ELEVATION	WALL SQ.FT.	OPENING SQ.FT.	PERCENTAGE
FRONT	939.44	186.86	19.89%
REAR	939.44	253.26	26.96%
RIGHT	1372.11	106.97	7.80%
LEFT	1371.38	62.00	4.52%
TOTAL	4622.36	609.08	13.18%

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MAR 30/21
ALI MALEK-ZADEH
LICENSE
8487

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
FRONT ELEVATION EL. 'C'
SCALE: 3/16"=1'-0"

DWG NO.
5C

18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN

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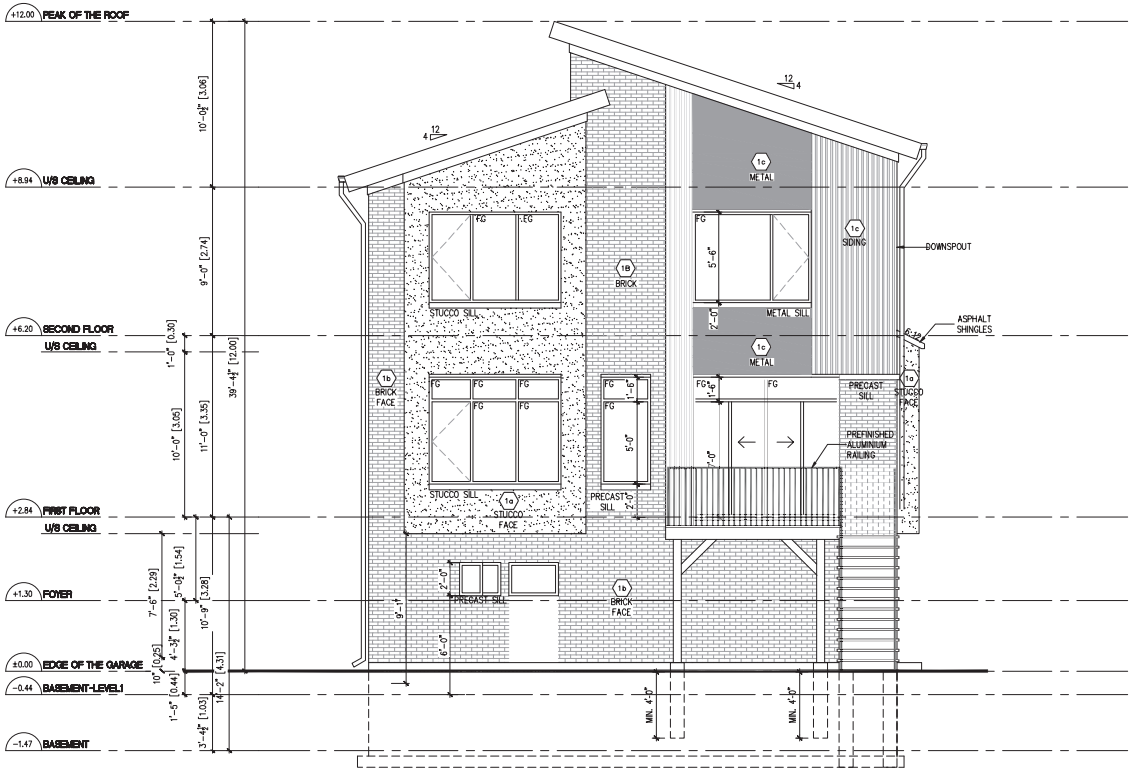

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ONTARIO ASSOCIATION OF ARCHITECTS
MAR 30/21
ALI MALEK ZADEH
LICENCE 5487

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
REAR ELEVATION EL. 'C'
SCALE: 3/16"=1'-0"

DWG NO.
6C

18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN

URBANSCAPE ARCHITECTS
236 LESMILL ROAD,TORONTO ,ON,M3B 2T5
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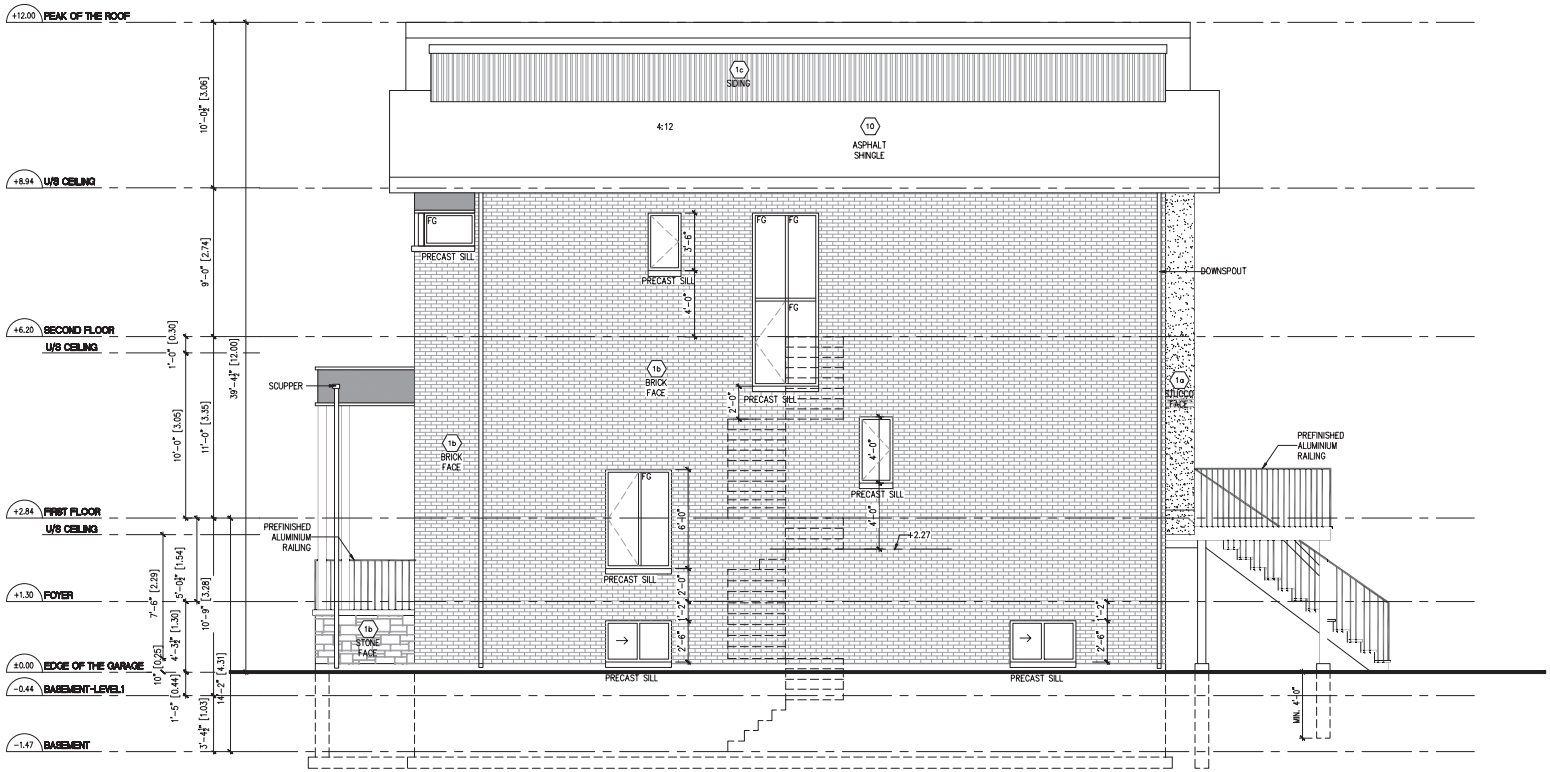

UNPROTECTED OPENING	
WALL AREA	1372.11
ALLOWABLE WINDOW AREA @7%	96.05
ACTUAL WINDOW AREA	106.97

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ONTARIO ASSOCIATION OF ARCHITECTS
MAR 30/21
ALI MALEK ZADEH
LICENCE 8487

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
RIGHT SIDE ELEVATION EL. 'C'
SCALE: 3/16"=1'-0"

DWG NO.
7C

18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN

URBANSCAPE ARCHITECTS
236 LESMILL ROAD,TORONTO ,ON,M3B 2T5
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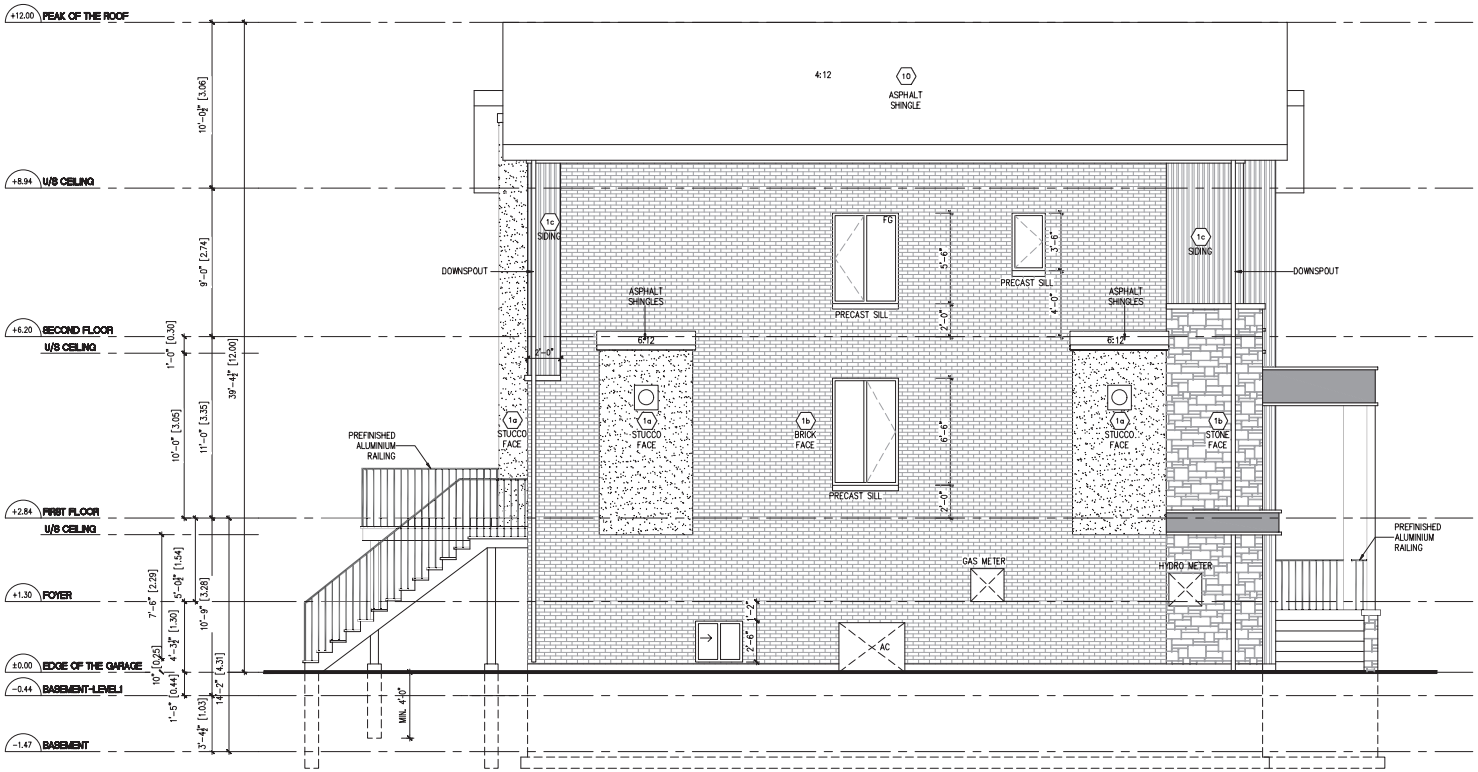

UNPROTECTED OPENING	
WALL AREA	1371.38
ALLOWABLE WINDOW AREA @7%	96.00
ACTUAL WINDOW AREA	62.00

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ONTARIO ASSOCIATION OF ARCHITECTS
MAR 30/21
ALI MALEK ZADEH
LICENCE 8487

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
LEFT SIDE ELEVATION EL. 'C'
SCALE: 3/16"=1'-0"

DWG NO.
8C

18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN

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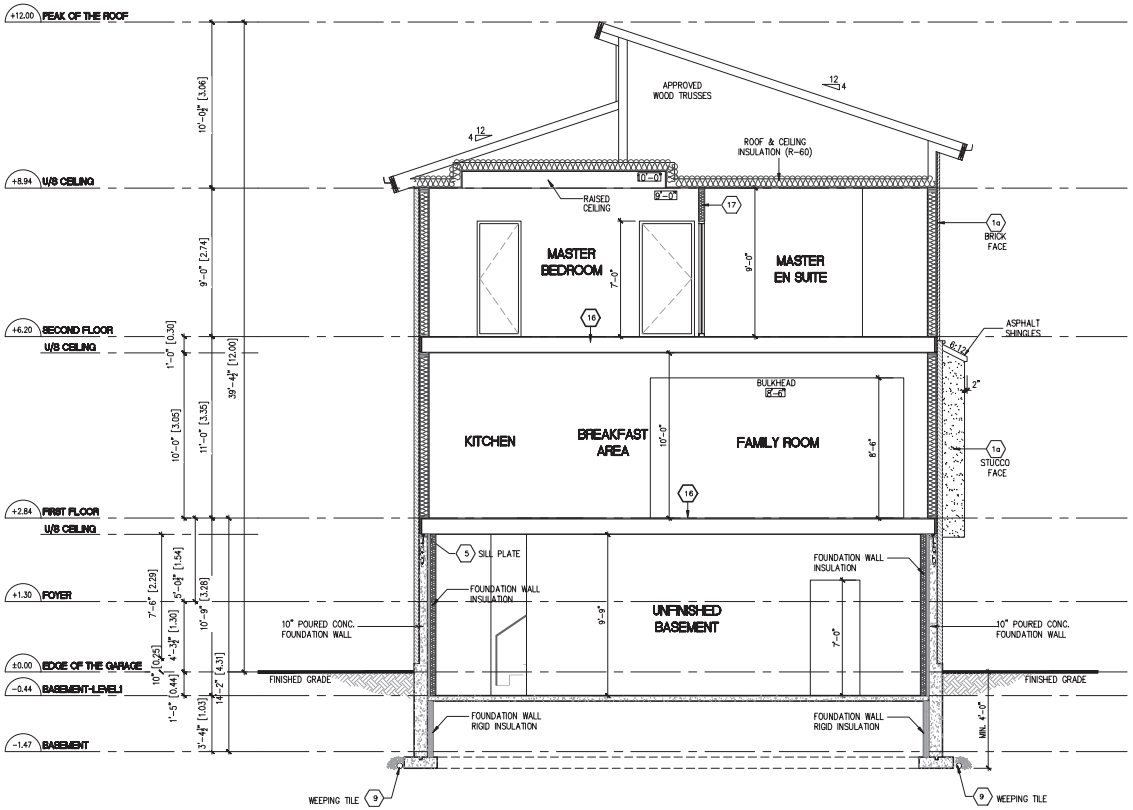

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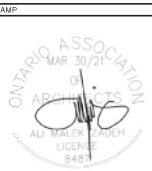

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
BUILDING SECTION EL. 'C'
SCALE: 3/16"=1'-0"

DWG NO.
9C

18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN

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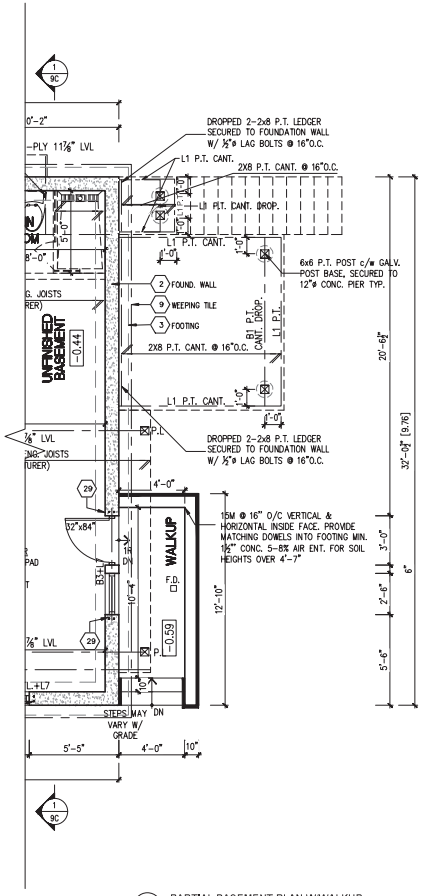
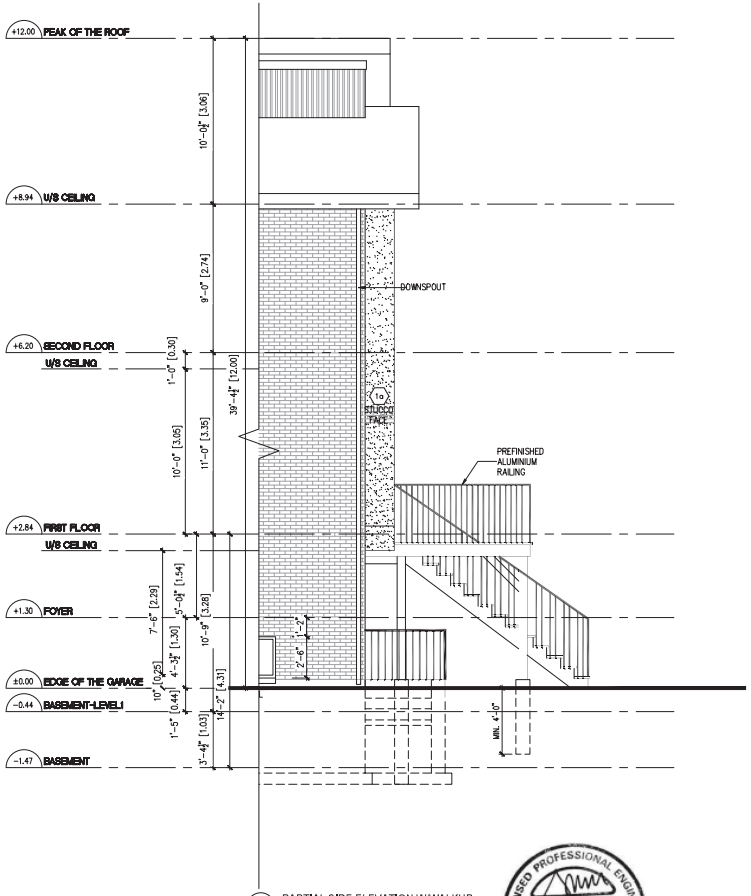


1 / 10C PARTIAL BASEMENT PLAN W/WALKUP



2 / 10C PARTIAL SIDE ELEVATION W/WALKUP

LICENSED PROFESSIONAL ENGINEER
W.S. WONG
29/03/2021
PROVINCE OF ONTARIO
SWS#20224
STRUCTURAL ONLY

TYPICAL BASEMENT FLOOR PLAN NOTES
PROVIDE FULL HEIGHT 10"CONC. FOUNDATION WALLS
WHERE SOIL HEIGHT EXCEEDS 4'-7" TYP. UNLESS NOTED OTHERWISE
ALL DECK FRAMING TO BE P.T. UNLESS NOTED OTHERWISE

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STAMP

ONTARIO ASSOCIATION OF ARCHITECTS
MAR 30/21
ALI MALEK KOUCH
LICENCE 8487

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
PARTIAL BASEMENT FLOOR PLAN & SIDE ELEVATION EL. 'C' W/WALKUP
SCALE: 3/16"=1'-0"

DWG NO.
10C

18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN

URBANSCAPE ARCHITECTS
236 LESMILL ROAD,TORONTO ,ON,M3B 2T5
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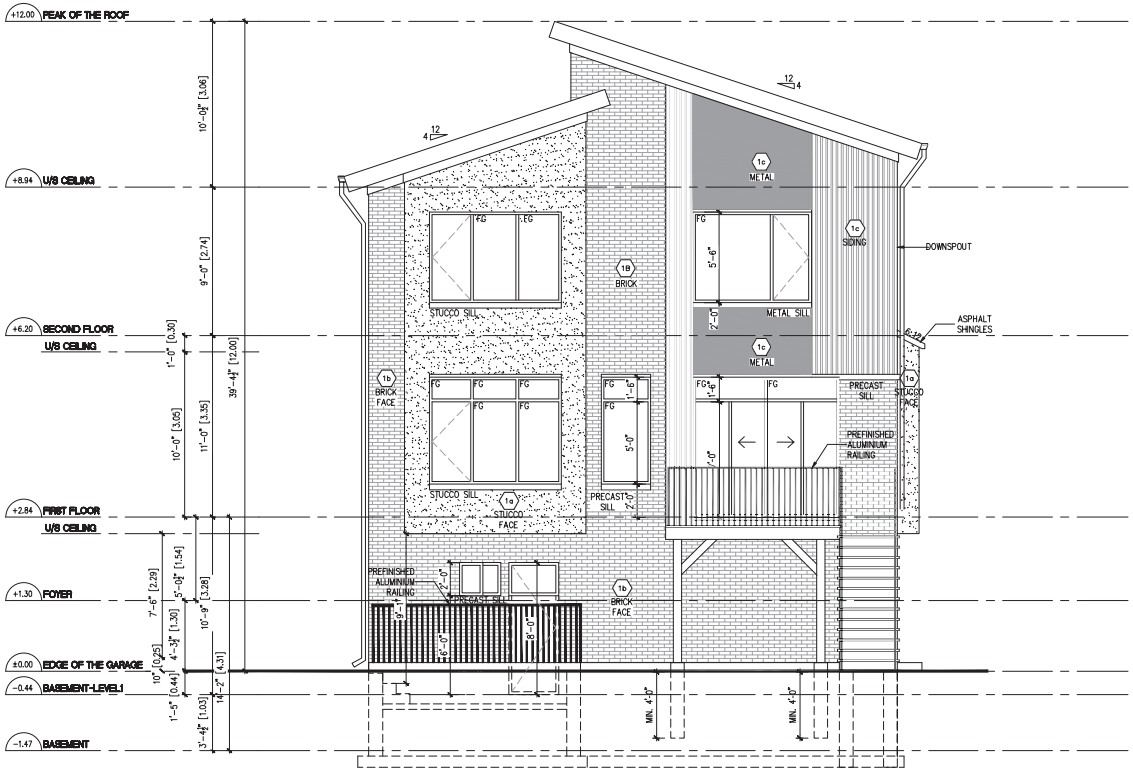

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MAR 30/21
ALI MALEK ZADEH
LICENCE 8487

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
REAR ELEVATION EL. 'C' W/WALKUP
SCALE: 3/16"=1'-0"

DWG NO.
11C
18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN
URBANSCAPE ARCHITECTS
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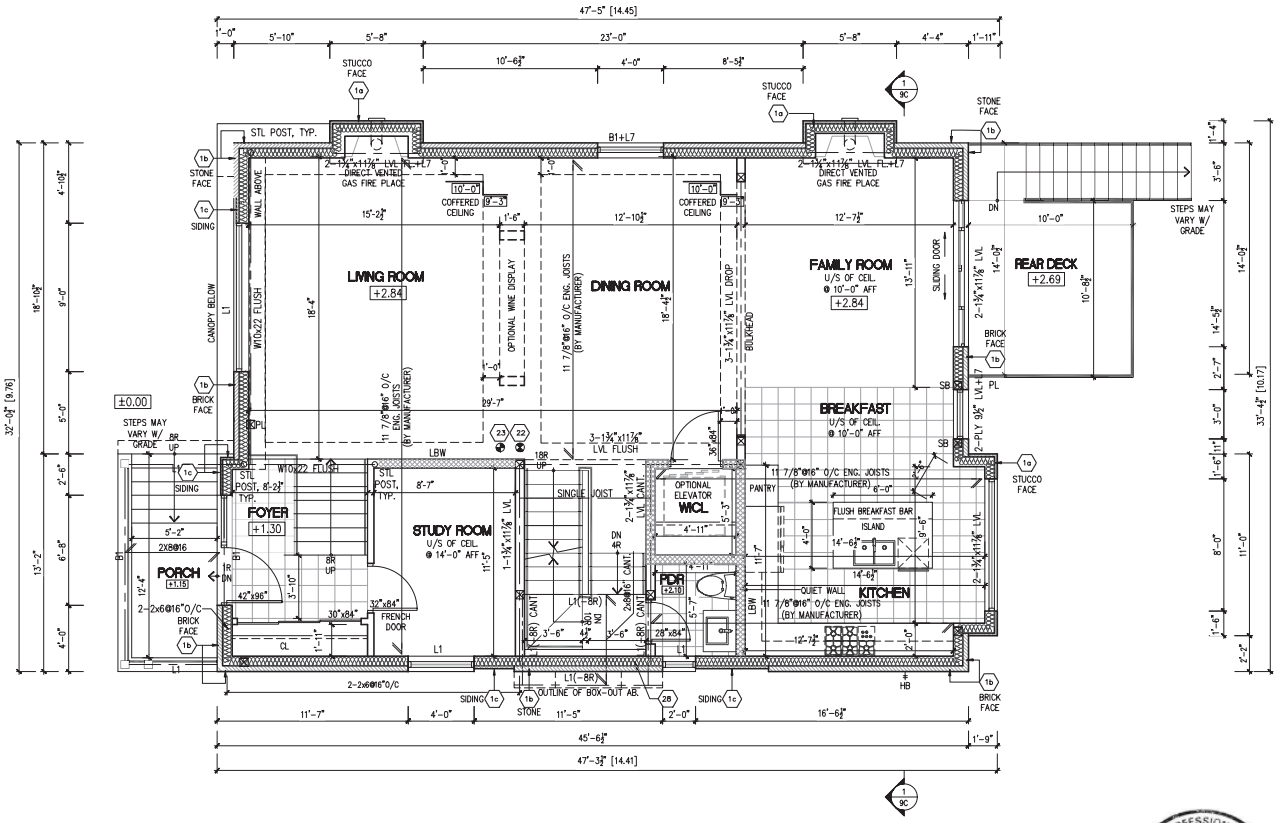

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MAR 30/21
ALI MALEK ZADEH
LICENSE 8481

NORTH

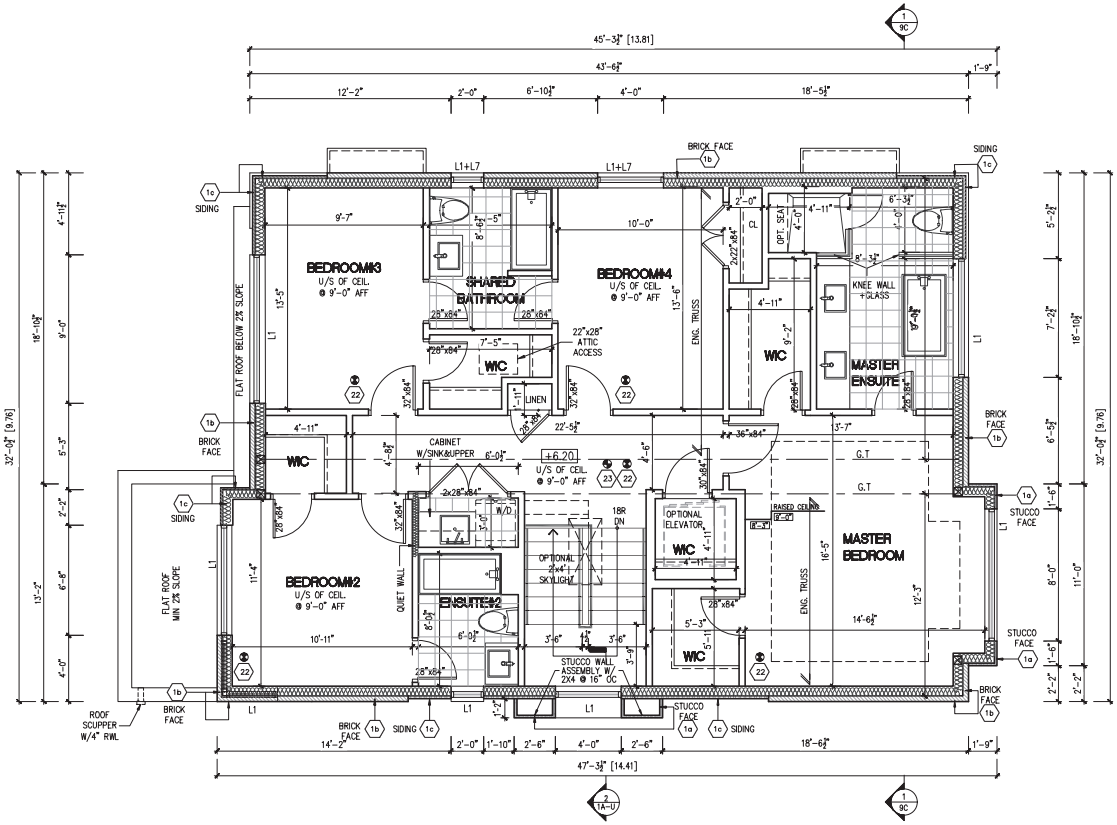
PROJ./REV. NO.
USG 16-198

SHEET TITLE
FIRST FLOOR PLAN EL. 'C' - SIDE UPGRADE
SCALE: 3/16"=1'-0"

DWG NO.
0C-U
18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN
URBANSCAPE ARCHITECTS
236 LESMILL ROAD,TORONTO ,ON,M3B 2T5
phone: 416.850.0021
info@urbanscaarchitect.com | www.urbanscapearchitect.com



SWS#20224
STRUCTURAL ONLY

NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-06-15	ISSUED FOR ZZC	CITY

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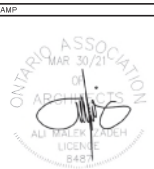

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
SECOND FLOOR PLAN EL. 'C' - SIDE UPGRADE
SCALE: 3/16"=1'-0"

DWG NO.
1C-U

18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN

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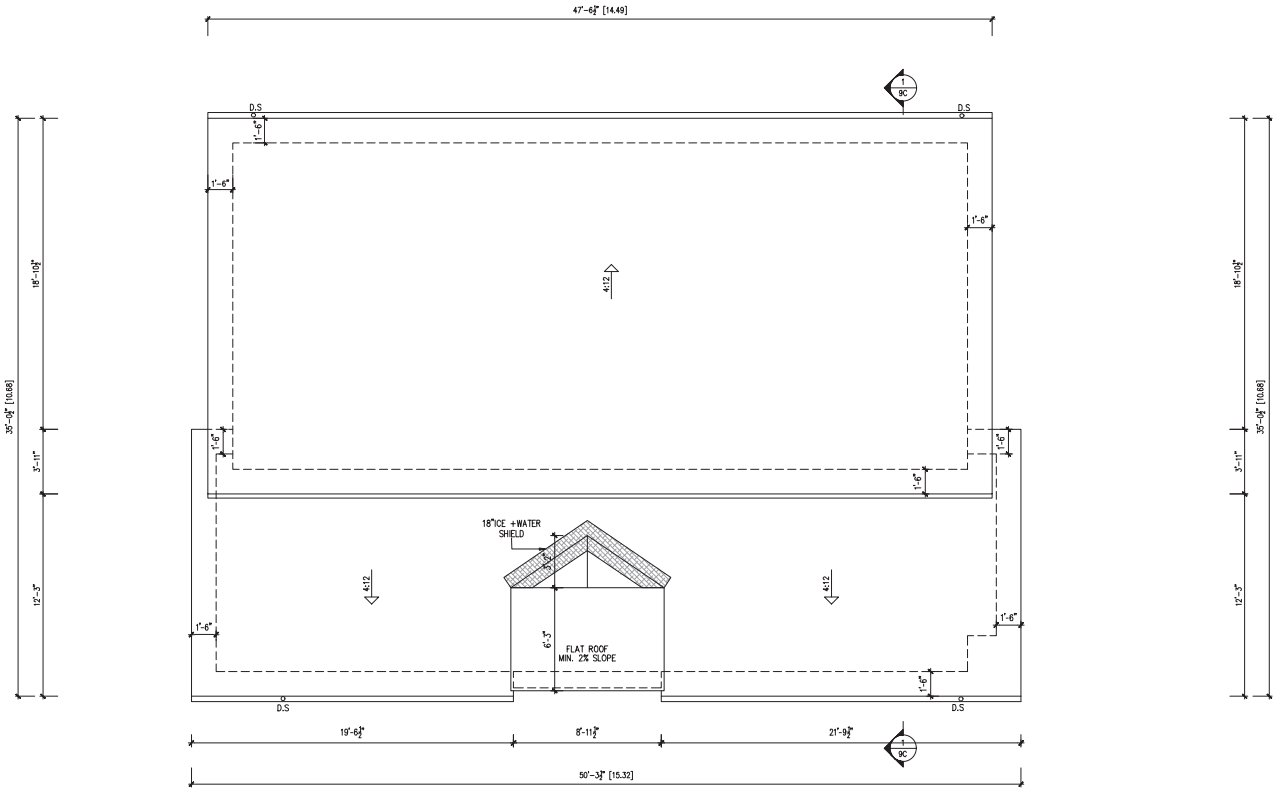

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ONTARIO ASSOCIATION OF ARCHITECTS
MAR 30/21
ALI MALEK ZADEH
LICENCE
8425

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
ROOF PLAN EL. 'C' - SIDE UPGRADE
SCALE: 3/16"=1'-0"

DWG NO.
2C-U

18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: _____
DATE: APRIL 2021
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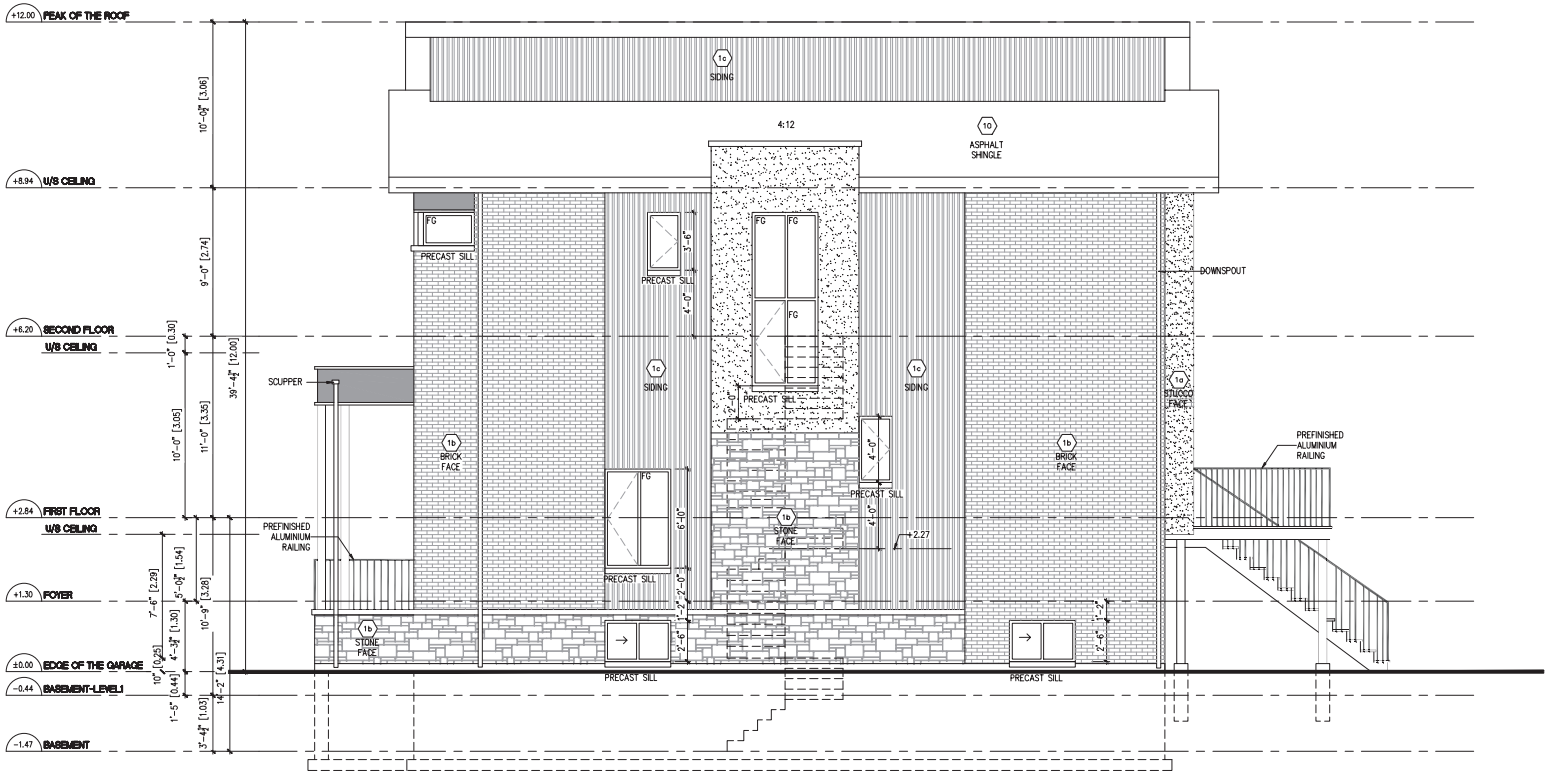

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ONTARIO ASSOCIATION OF ARCHITECTS
MAR 30/21
ALI MALEK ARDEH
LICENCE 8487

NORTH

PROJ./REV. NO.
USG 16-198

SHEET TITLE
RIGHT SIDE ELEVATION EL. 'C' - SIDE UPGRADE
SCALE: 3/16"=1'-0"

DWG NO.
3C-U

18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN

URBANSCAPE ARCHITECTS
236 LESMILL ROAD,TORONTO ,ON,M3B 2T5
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CONSTRUCTION NOTES

To apply unless noted otherwise on the drawings

1. EXTERIOR WALLS
- (Select cladding system from below)
- 5/8" exterior type sheathing. Lumber, plywood, OSB or gypsum sheathing
- 2"x6" wood studs @ 16" o.c.
  - o All lumber shall be spruce-pine-fir No. 1 & 2, and shall be identified by a grade stamp.
- Maximum moisture content 19% at time of installation
- Wood framing members which are supported on concrete in direct contact with soil shall be separated from the concrete with 6 mil polyethylene or type 'S' roll roofing.
- R-22-2" batt insulation in continuous contact w/ exterior sheathing (Refer to SB-12 2.1.1.2.A for details)
- Continuous air / vapour barrier
- 1/2" interior drywall finish
- 2" x 6" double top plate
- 2" x 6" single bottom plate

1a. STUCCO FINISH WALL
- ½" stucco finish
- 1 ½" polystyrene insulation
- Channeled insulation adhesive
- Blue shield – Air barrier system lapped 4" at joints
- Stucco lath or reinforcing shall be used to attach stucco to any substrate other than masonry
- Stucco shall be not less than 200 mm above finished ground level except when it is applied over concrete or masonry.

1b. BRICK/STONE VENEER WALL
- Minimum 2 3/4" thick if joints are not raked and 3 1/2" thick if joints are raked
- Minimum 1" air space to sheathing
- Provide weep holes @ 31 1/2" o.c. at the bottom of the cavity and over doors and windows.
- Direct drainage through weep holes with 0.5 mm poly flashing extending minimum 6" up behind the sheathing paper.
- Veneer ties minimum 0.030" thick x 7/8" wide corrosion resistant straps spaced @ 19 5/8" vertically and 23 5/8" horizontally.
- Fasten ties with corrosion resistant 0.125" diameter screws or spiral nails which penetrate at least 1-3/16" into studs.

Masonry Walls
- Where constructed of 3 1/2" brick, wall shall be bonded with header course every 23 5/8" o/c vertically and horizontally and 35 3/8" o/c for block or tile.
- Provide 2" solid masonry, concrete filled top course or continuous 1 ½" x 3 ½" wood plate under all roof and floor framing members.
- Provide 7 ½" solid masonry under beams and columns.
- Masonry fire wall to be tied to each tier of joists with 1 9/16" x 3/16" corrosion resistant steel straps, keyed minimum 4" into masonry. When joists are parallel to wall, ties are to extend across at least 3 joists @ 6'-7" o.c.
- Inside of wall to be parged and covered with No. 15 breather-type asphalt paper.
- For reduced foundation walls to allow a brick facing while maintaining lateral support, tie minimum 3 ½" brick to minimum 3 ½" back-up block with corrosion resistant ties at least 0.028 in²/in cross sectional area, spaced 7 7/8" vertically and 35 3/8" horizontally, with collar joists completely filled with mortar.
- Masonry over openings shall be supported on corrosion resistant or prime painted steel lintels with a minimum of 6" end bearing.

1c. SIDING VENEER WALL
- Aluminum/Vinyl or wood siding
- Blue shield – Air barrier system lapped 4" at joints

1d. EXISTING BRICK W/ STUCCO VENEER
- ½" stucco finish
- 1 ½" polystyrene insulation
- Channeled insulation adhesive
- Blue shield – Air barrier system lapped 4" at joints
- Existing brick veneer

EXTERIOR DOORS AND WINDOWS
- Every floor level containing a bedroom and not served by an exterior door shall contain at least 1 window having an unobstructed open area of 3.8 ft.² and no dimension less than 15", which is open able from the inside without tools.
- Exterior house doors and windows within 6' 7" from grade shall be constructed to resist forced entry. Doors shall have a deadbolt lock.
- The principal entry door shall have either a door viewer, transparent glazing or a sidelight

Exterior Walls
- No windows or other unprotected openings are permitted in exterior walls less than 3' 11" from property lines.
- 5/8" fire rated drywall shall be installed on the inside face of attached garage exterior walls and gable ends of roofs which are less than 3' 11" from property lines.
- Non combustible cladding shall be installed on all exterior walls less than 23 5/8" from property lines.

2. FOUNDATION WALL / FOOTING
- 15mpa (2200 psi) poured conc. foundation wall on continuous keyed concrete footing. the outside of the foundation shall be dampproofed from the top of the footing to finished grade and brush coat from the top to 2" below grade. provide a drainage layer on the outside of the foundation wall. seal the drainage layer at the top. the top of the concrete footing shall be dampproofed.
- Concrete footings supporting joist spans greater than 16'-1" (4900) shall be sized in accordance with 9.15.3.4 (1),(2) of the o.b.c. (refer to chart below for respective size). Brace foundation wall prior to backfilling. all footings shall rest on natural undisturbed soil or compacted engineered fill, with min. Bearing capacity of 150kpa or greater. If soil bearing does not meet minimum capacity, engineered footings are required.
- Refer to construction drawings and details for foundation wall strength and thickness and 9.15.4.
- Foundation walls shall not exceed 8'-2" (2.5m) in unsupported height unless otherwise noted. (9.15.4.2.1)

MINIMUM FOOTING SIZES FOR EXTERIOR WALLS (9.15.3.4.)		
NUMBER FLOORS SUPPORTED	EXTERIOR CLADDING	
	SIDING ONLY	MASONRY VENEER
1	16" WIDE x6" DEEP	16" WIDE x6" DEEP
2	16" WIDE x6" DEEP	20" WIDE x6" DEEP
3	16" WIDE x9" DEEP	20" WIDE x9" DEEP

MINIMUM FOOTING SIZES FOR INTERIOR WALLS (9.15.3.4.)		
NUMBER FLOORS SUPPORTED	INTERIOR LOAD BEARING WALL	
	PARTY WALL	MASONRY
1	16" WIDE x6" DEEP	16" WIDE x6" DEEP
2	24" WIDE x8" DEEP	24" WIDE x8" DEEP
3	36" WIDE x14" DEEP	36" WIDE x14" DEEP

THICKNESS OF SOLID CONCRETE FOUNDATION WALLS (9.15.4.2.)		
TYPE OF FOUNDATION	MAX. HEIGHT FROM SLAB TO GRADE	
STRENGTH	THICKNESS	UNSUPPORTED AT TOP / SUPPORTED AT TOP
15 MPa	8"	3'-11" (1.2m) / 6'-11" (2.15m)
	10"	4'-7" (1.4m) / 7'-7" (2.3m)
	12"	4'-11" (1.5m) / 7'-7" (2.3m)
20 MPa	8"	3'-11" (1.2m) / 7'-7" (2.3m)
	10"	4'-7" (1.4m) / 7'-7" (2.3m)
	12"	4'-11" (1.5m) / 7'-7" (2.3m)

3. STEP FOOTINGS
Vertical Rise
23 5/8" Max. for firm soils
15 3/4" Max. for sand or gravel
Horizontal Run = 23 5/8" Min.

4. GRADE AT HOUSE
Slope grade away from building face. Provide semi-solid block course at or below grade.

5. SILL PLATE
2"x6" sill plate fastened to foundation wall with min. 1/2" dia. anchor bolts, embedded min. 4" in concrete @ max. 7'-10" o/c. Provide caulking or gasket between plate & foundation wall.

6. FLOOR INSULATION
Continuous header joist with R-31 batt. insulation, extend air / vapour barrier & seal to joist and subfloor.

7. MINIMUM FOUNDATION INSULATION
- 1st layer: r10ci (continuous 2" thick rigid insulation) along concrete wall.
- 2nd layer: r12 batt insulation between 2x4 wood strapping @ 16" o/c. wood studs to be fastened to top and bottom plates.
- 6 mil polyethylene air/vapour barrier full height.

8. CONCRETE FLOOR SLAB
- Garage, carport and exterior slabs and exterior steps shall be 4650psi concrete with 5-8% air entrainment
- Other slabs 3600psi concrete
- Minimum 3" thick, placed on a minimum 4" of coarse, clean, granular material
- Minimum 2" rigid insulation with R10 thermal value beneath the concrete slab
- All fill other than coarse clean material placed beneath concrete slabs shall be compacted to provide uniform support

9. DAMP PROOFING AND DRAINAGE
- In normal soil conditions, the exterior surfaces of foundation walls enclosing basements and crawl spaces shall be damp proofed. Where hydrostatic pressure occurs, a waterproofing system is required.
- Masonry foundation walls shall be parged with 1/4" of mortar coved over the footing prior to damp proofing.
- 4" foundation drains shall be laid on level, undisturbed ground adjacent to the footings at or below the top of the basement slab or crawl space floor, and shall be covered with 6" of crushed stone. Foundation drains shall drain to a storm sewer, drainage ditch, dry well or sump.
- Window wells shall be drained to the footing
- Downspouts not directly connected to a storm sewer shall have extensions to carry water away from the building, and provisions shall be made to prevent soil erosion.
- Concrete slabs in attached garages shall be sloped to drain to the exterior.
- The building site shall be graded so that surface, sump and roof drainage will not accumulate at or near the building and will not adversely affect adjacent properties.

10. ROOF CONSTRUCTION
- Fasteners for roofing shall be corrosion resistant. Roofing nails shall penetrate through or at least 1/2" into roof sheathing.
- Every asphalt shingle shall be fastened with at least 4 nails.
- Open valleys shall be flashed with 2 layers of roll roofing, or 1 layer of sheet metal min. 3'11" wide.
- Flashing shall be provided at the intersection of shingle roofs with exterior walls and chimneys
- Sheet metal flashing shall consist of not less than 1/16" sheet lead, 0.013" galvanized steel, 0.018" copper, 0.018" zinc, or 0.019" aluminum.
- Hip and valley rafter shall be 2" deeper than common rafters.
- 2"x4" collar ties @ rafter spacing with 1"x4" continuous brace at mid span if collar tie exceeds 7' 10" in length.
- 20 years asphalt shingles on min. 3/8" exterior plywood sheathing, on approved roof trusses or conventional framing (see Structural).

Notching & Drilling of Trusses, Joists, Rafters
- Holes in floor, roof and ceiling members to be maximum ¼" x actual depth of member and not less than 2" from edges.
- Notches in floor, roof and ceiling members to be located on top of the member within ⅓ the actual depth from the edge of bearing and not greater than 1/3 joist depth.
- Wall studs may be notched or drilled provided that no less than 2/3 the depth of the stud remains, if load bearing, and 1 9/16" if non-load bearing.
- Roof truss members shall not be notched, drilled or weakened unless accommodated in the design.

11. OVERHANG CONSTRUCTION
Prefinished aluminum fascia, eaves trough and rain water leaders to match existing finishes. Provide drip edge at fascia and vented soffit. Extend downspouts to grade level.

12. ROOF VENTILATION
Every roof space above an insulated ceiling shall:
- be ventilated with unobstructed openings equal to not less than 1/300 of insulated area.
- Insulated roof spaces not incorporating an attic shall be ventilated with unobstructed openings equal to not less than 1/150 of insulated area.
- Roof vents shall be uniformly distributed with min. 25% at top of the space and 25% at bottom of the space designed to prevent the entry of rain, snow or insects.
- Unheated crawl spaces shall be provided with 1.1 ft² of ventilation for each 538 ft²
- Minimum natural ventilation areas, where mechanical ventilation is not provided, are:

Bathrooms: 0.97, ft²
other rooms: 3 ft²
Unfinished basement: 0.2% of floor area

13. EAVES PROTECTION
- Eave protection shall extend 2' 11" up the roof slope from the edge, and at least 11 3/4" from the inside face of the exterior wall, and shall consist of Type M or Type S Roll Roofing laid with minimum 4" head and end laps cemented together, or glass fiber or Polyester fiber coated base sheets, or self sealing composite membranes consisting of modified bituminous coated material or No. 15 saturated felt lapped and cemented. Eave protection is not required for unheated buildings, for roofs exceeding a slope of 1 in 5, or where a low slope asphalt shingle application is provided.

14. CEILING CONSTRUCTION
- See structural drawings for rafter, roof joist and ceiling joist size and spacing requirements.
- 1/2" interior drywall finish with continuous air / vapor barrier with min. R50 batt insulation.

15. WALL/CEILING INSULATION
- Ceiling with attic R-60
- Ceiling without attic R-31
- Exposed Floor R-31
- Exterior wall above grade R-22
- Basement wall R-20ci
- Foundation > 50% Exposed R-20
- Slabs on Grade R-10
- Supply Ducts in unheated space R-12

[Refer to SB-12 Table 3.1.1.2.A(IP) for details]

- Insulation shall be protected with gypsum board or an equivalent interior finish, except for unfinished basements where 6 mil poly is sufficient for fiberglass type insulations.
- Ducts passing through unheated space shall be made airtight with tape or sealant.
- Caulking shall be provided for all exterior doors and windows between the frame and the exterior cladding.
- Weather-stripping shall be provided on all doors and access hatches to the exterior, except doors from a garage to the exterior.
- Exterior walls, ceilings and floors shall be constructed so as to provide a continuous barrier to the passage of water vapor from the interior and to the leakage of air from the exterior.

16. FLOOR CONSTRUCTION
- See structural drawings for floor joist size and spacing requirements
- Joists to have minimum 1 1/2" of end bearing (1 3/4" for wood)
- Joists shall bear on a sill plate fixed to foundation with 1/2" anchor bolts @ 7' 10" o.c.
- Header joists between 3' 11" and 10' 6" in length shall be doubled. Header joists exceeding 10' 6" shall be sized by calculations.
- Trimmer joists shall be doubled when supported header is between 2' 7" and 6' 7". Trimmer joists shall be sized by calculations when supported header exceeds 6' 7".
- 2"x2" cross bridging required not more than 6' 11" from each support and from other rows of bridging
- Joists shall be supported on joist hangers at all flush beams, trimmers, and headers.
- Non-load bearing partitions shall be supported on a joist or on blocking between joists

Ceramic Tiles
- When ceramic tile applied to a mortar bed with adhesive, the bed shall be a minimum of 1/2" thick & reinforced with galvanized diamond mesh lath, applied over polyethylene on subflooring on joists at no more than 16"o.c. with at least 2 rows cross bridging.

17. INTERIOR STUD PARTITION
Interior load bearing walls shall consist of:
- 2"x6" studs @ 16" o.c.
- 2"x6" bottom plate and double 2"x6" top plate, provide sound attenuation in bathroom walls and where indicated on drawings.
- 2"x6" mid-girts if not sheathed
- ½" gypsum board sheathing

Columns, Beams & Lintels
- Steel beams and columns shall be shop primed.
- Minimum 3 1/2" end bearing for wood and steel beams, with 7 7/8" solid masonry beneath the beam.
- Steel columns to have minimum outside diameter of 2 7/8" and minimum wall thickness of 3/16"
- Wood columns for carports and garages shall be minimum 3 1/2" x 3 1/2"; in all other cases either 5 1/2" x 5 1/2" or 7 1/4" round, unless calculations based on actual loads show lesser sizes are adequate. All columns shall be not less than the width of the supported member
- Masonry columns shall be a minimum of 11 3/8" x 11 3/8" or 9 1/2" x 15"
- Provide solid blocking the full width of the supported member under all concentrated loads.

Plumbing
- Every dwelling requires a kitchen sink, lavatory, water closet, bathtub or shower stall and the installation or availability of laundry facilities.
- A floor drain shall be installed in the basement, and connected to the sanitary sewer where gravity drainage is possible. In other cases, it shall be connected to a storm drainage system, ditch or dry well.

Electrical
- An exterior light controlled by an interior switch is required at every entrance
- A light controlled by a switch is required in every kitchen, bedroom, living room, utility room, laundry room, dining room, bathroom, vestibule, hallway, garage and carport. A switched receptacle may be provided instead of a light in bedrooms and living rooms
- Stairs shall be lighted, and except where serving an unfinished basement shall be controlled by a 3 way switch at the head and foot of the stairs.
- Basements require a light for each 323ft² controlled by a switch at the head of the stairs.

18. MECHANICAL VENTILATION
- A mechanical ventilation system is required with a total capacity at least equal to the sum of:
  21.2 cfm each for basement and master bedroom
  10.6 cfm for each other room
- A principal dwelling exhaust fan shall be installed and controlled by a centrally located switch identified as such
- Supplemental exhaust shall be installed so that the total capacity of all kitchen, bathroom and other exhausts, less the principal exhaust, is not less than the total required capacity.
- A Heat Recovery Ventilator may be employed in lieu of exhaust to provide ventilation. An HRV is required if any solid fuel burning appliances are installed.
- Supply air intakes shall be located so as to avoid contamination from exhaust outlets.

19. STAIRS INTERIOR/EXTERIOR
Maximum rise = 7 7/8"
Minimum rise = 4 7/8"
Minimum run = 8 1/4"
Maximum run = 14"
Minimum tread = 9 1/4"
Maximum tread = 14"
Maximum nosing = 1"
Minimum width = 2'-10"
Minimum headroom = 6'-5"

- Curved stairs shall have a min. run of 5 7/8" at any point and a minimum average run of 7 7/8"
- Winders which converge to a point in stairs must turn through an angle of no more than 90° with no less than 30° or more than 45° per tread. Sets of winders must be separated by 3' 11" along the run of the stair.
- A landing is required at the top of any stair leading to the principal entrance to a dwelling and other exterior entrances with more than 3 risers.
- Exterior concrete stairs with more than 2 risers require foundations.
-

20. GUARDS (C,B,C, 9,8,8)
Interior landings = 2'-11"
Exterior balcony = 3'-6"
Interior stairs = 2'-11"
Exterior stairs = 2'-11"
Max. between pickets = 4"
Guard height if deck to grade is:
Greater than 5'-11" = 3'-6"
5'-11" or less = 2'-11"

- No member or attachment between 4" and 2'-11" high shall facilitate climbing
- A handrail is required for interior stairs containing more than 2 risers and exterior stairs containing more than 3 risers.
- Guards are required around every accessible surface which is more than 23 5/8" above the adjacent level and where the adjacent surface has a slope more than 1:2

21. ATTIC ACCESS
- Access hatch to have a minimum area of 3.4 ft² with no dimension less than 21-1/2". Must be provided to every crawl space and every roof space which is 108 ft², 3' 3" in length or width and more than 23 5/8" in height.

22. SMOKE ALARM
- At least one smoke alarm shall be installed on or near the ceiling on each storey and basement level and in each sleeping room.
- Smoke alarms shall be interconnected and located between sleeping room and the remainder of the storey, in accordance with OBC. 9.10.19.
- A smoke alarm required in Sentence (1) shall have a visual signaling component conforming to the requirements in 18.5.3. (Light, Color and Pulse Characteristics) of NFPA 72, "National Fire Alarm and Signaling Code".

23. CARBON MONOXIDE DETECTOR
- A carbon monoxide detector shall be installed adjacent to every sleeping area for dwellings with fuel burning fireplace or stove, or an attached garage
- Provide detector conforming to CAN/CGA-6.19 or UL 2034. Install not more than 12" above finished floor close to possible source of CO.

Garage Gas proofing
- The walls and ceiling of an attached garage shall be constructed and sealed so as to provide an effective barrier to exhaust fumes.
- All plumbing and other penetrations through the walls and ceiling shall be caulked
- Doors between the dwelling and attached garage may not open into a bedroom and shall be weather-stripped and have a self-closer.

24. ZERO-CLEARANCE FIREPLACE
Install as per manufacturer's specifications.

25. EXCAVATION AND BACKFILL
- Excavation shall be undertaken in such a manner so as to prevent damage to existing structures, adjacent property and utilities.
- The topsoil and vegetable matter in unexcavated areas under a building shall be removed. The bottom of excavations for foundations shall be free of all organic material.
- If termites are known to exist, all stumps, roots and wood debris shall be removed to a minimum depth of 11 3/4" in excavated areas under a building, and the clearance between untreated structural wood elements and the ground shall be no less than 17 3/4"
- Backfill within 23 5/8" of the foundation walls shall be free of deleterious debris and boulders over 9 7/8" in diameter.

26. ADJUSTABLE STEEL BASEMENT COLUMN
9'-10" Max span between columns. 3 ½"(90)ø single tube adjuctable steel column conforming to CAN/CGSB-7.2m, and with 6x6x⅜"(150x150x9.5) steel plate top & bottom. Field weld basement column connection. Footing on undisturbed soil of 75 kpa or engineered fill capable of sustaining a pressure of 150kpa minimum and as per soils report.
Supporting 2 storey flr. load provide 34"x34"x16" (870x870x410) conc. footing
Supporting 3 storey flr. load provide 40"x40"x19" (1060x1060x480) conc. footing

26A. NON-ADJUSTABLE STEEL BASEMENT COLUMN
3 1/2" (90)ø x 0.188" (4.78) non-adjustable steel column with 6"x6"x3/8" (150x150x9.5) steel plate top & bottom. field weld basement column connection. 42"x42"x18" (1070x1070x460) conc. footing on undisturbed soil of 75 kpa or engineered fill capable of sustaining a pressure of 150 kpa minimum and as per soils report.
supporting 2 storey flr. load provide 42"x42"x18" (1070x1070x460) conc. footing
supporting 3 storey flr. load provide 48"x48"x24" (1220x1220x610) conc. footing

26B. NON-ADJUSTABLE STEEL COLUMN AT FOUNDATION WALL
3 1/2" (90)ø x 0.188" (4.78) non-adjustable steel column with 6"x6"x3/8" (150x150x9.5) steel top plate & 6"x4"x3/8" (150x100x9.5) bottom plate. base plate 4-1/2"x10"x1/2" (120x250x12.7) with 2- 1/2"ø x 12" long x 2" hook anchors (2- 12.7ø x305x50). field weld column to base plate and steel beam.

27. BUILT-UP WOOD POST & FOOTING
3-2"x6" (3-38x140) built-up wood post (unless otherwise noted) on metal base shoe anchored to conc. with 1/2" (12.7) ø bolt, 24"x24"x12" (610x610x305) conc. footing. (9.17.4.1.)

28. TWO STORY VOLUME SPACES
- For wind loads <= 0.5 kpa (q50): for a max. 18'-4" (5600) height. Provide 2-2"x6" (2-38x140) spr.#2 continuous studs @ 12" (300) o.c. For brick and 16" (400) o.c. for siding c/w 3/8" (9.5) thick exterior plywood sheathing. provide solid wood blocking between wood studs @ 4'-0" (1200) o.c. vertically. (9.23.10.1.)
- For wind loads > 0.5 kpa (q50): for a maximum 18'-4" (5600) height. Provide 2-2"x6" (2-38x140) spr.#2 continuous studs @ 8" (200) o.c. For brick and 12" (300) o.c. For siding c/w 3/8" (9.5) thick exterior plywood sheathing. Provide solid wood blocking between wood studs @ 4'-0" (1200) o.c. vertically.
- For wind loads <= 0.5 kpa (q50): for a max. 21'-0" (6400) height. provide 2-2"x8" (2-38x184) spr.#2 continuous studs @ 12" (300) o.c. for siding c/w 3/8" (9.5) thick exterior plywood sheathing. provide solid wood blocking between wood studs @ 4'-0" (1200) o.c. vertically. (9.23.10.1.) – for wind loads > 0.5 kpa (q50): for a maximum 21'-0" (6400) height. provide 2-2"x8" (2-38x184) spr.#2 continuous studs @ 12" (300) o.c. for brick and 16" (400) o.c. for siding c/w 3/8" (9.5) thick exterior plywood sheathing. provide solid wood blocking between wood studs @ 4'-0" (1200) o.c. vertically.
- For horizontal distances less than 9'-6" (2900) provide 2"x6" (38x140) studs @ 16" (400) o.c. with continuous 2-2"x6" (2-38x140) top plate + 1-2"x6" (1-38x140) bottom plate & minimum of 3-2"x8" (3-38x184) cont. header at ground floor ceiling level toe-nailed & glued at top, bottom plates & headers.

29. UNSUPPORTED FOUNDATION WALLS

REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS
2-20m bars in top portion of wall (up to 8'-0" opening)
3-20m bars in top portion of wall (8'-0" to 10'-0" opening)
4-20m bars in top portion of wall (10'-0" to 15'-0" opening)
– Bars stacked vertically at interior face of wall

REINFORCING AT BASEMENT WINDOWS
2-15m horiz. reinforcing on the inside and outside face of the foundation wall below the window sill. extend bars 24" (600) beyond the opening. 2-15m vertical reinforcing on the inside and outside face of the foundation wall on each side of the window opening.
– bars to have min. 2" (50) conc. cover
– bars to extend 2'-0" (600) beyond both sides of opening

30. COLD CELLAR PORCH SLAB
For max. 8'-2" (2500) porch depth, 5" (125) 32 mpa (4640psi) conc. slab with 5-8% air entrainment. rein. with 10m bars @ 7 7/8" (200) o.c. each dir., w/ 1 1/4" (30) clear cover from bottom of slab to first layer of bars, and second layer of bars laid directly on top of lower layer in opposite dir. 24"x24" (610x610) 10m dowels @ 23 5/8" (600) o.c., anchored in perimeter foundation walls. slope slab 1.0% from door. (9.40.)

PROFESSIONAL ENGINEER — LICENSED — S. W.S. WONG — 29/03/2021 — PROVINCE OF ONTARIO

SWS#20224
STRUCTURAL ONLY

TOWN OF AURORA
PLANNING & DEVELOPMENT SERVICES - BUILDING DIVISION
PERMIT NO.: PR20210685 DATE: Jun. 17, 2021
ALL CONSTRUCTION SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND/OR OTHER APPLICABLE LEGISLATION
THE REVIEWED DOCUMENTS MUST BE KEPT ON SITE AT ALL TIMES.
INSPECTION REQUEST EMAIL: BUILDINGINSPECTIONS@AURORA.CA
INSPECTION REQUEST TELEPHONE: (905) 726-4778

NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-06-15	ISSUED FOR ZZC	CITY

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ONTARIO ASSOCIATION OF ARCHITECTS — MAR 30/21 — ALI MALEK-ZADEH — LICENSE 8487

NORTH
Building Division
OBC Review
Terence Wong
05/28/2021
Town of Aurora
Planning and Development Services

PROJ./REV. NO.
USG 16-198

SHEET TITLE
CONSTRUCTION NOTE
SCALE: -

DWG NO.
12
18"x24" SHEET SIZE

PROJECT
DORMER HILL 40-01
14029 YONGE ST. Aurora ON L4G OP1

DESIGN
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