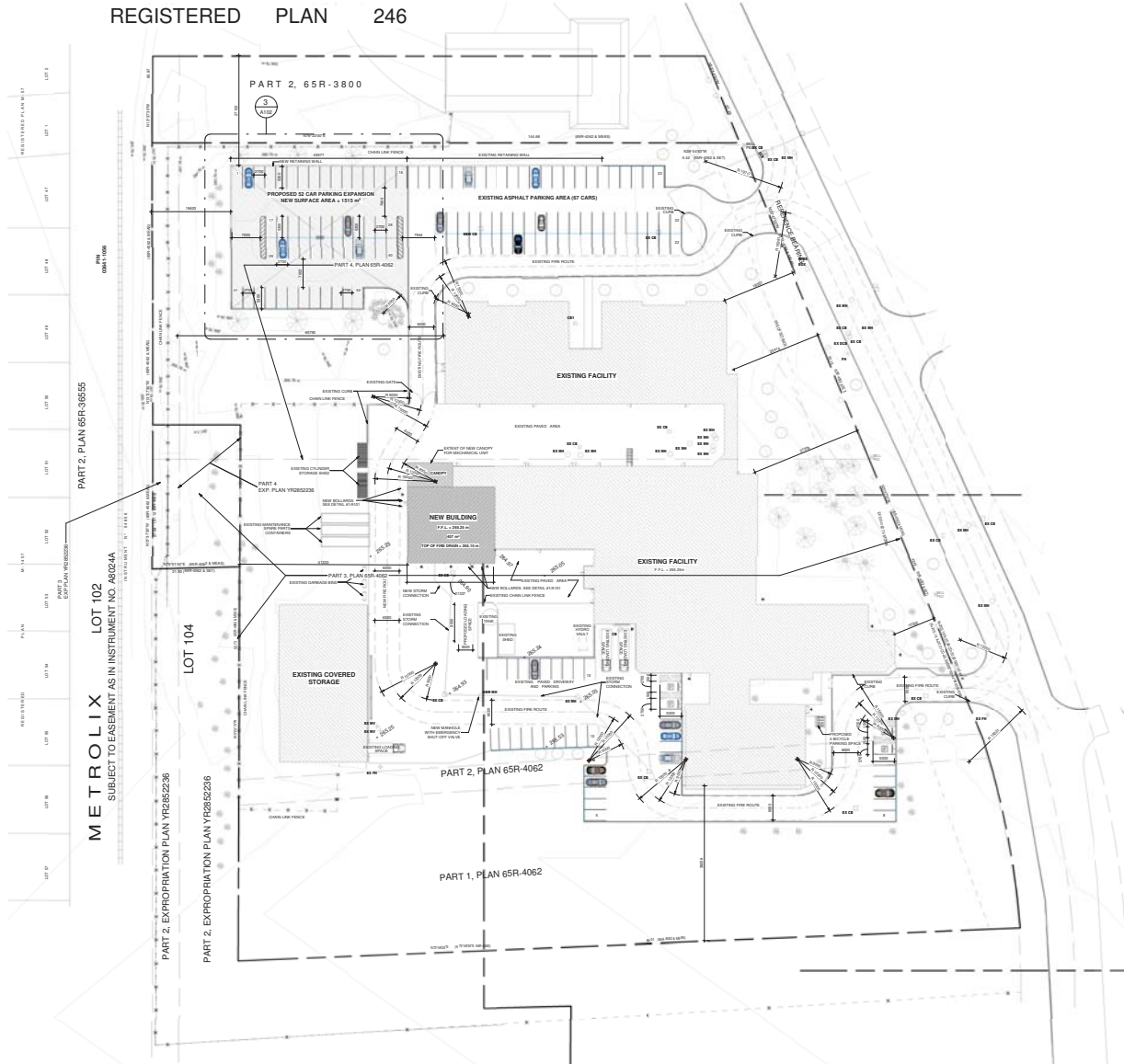


REGISTERED PLAN 246



SITE PLAN
1:400

SITE STATISTICS

| | | |
|---|--|-------|
| ZONING: | E2 - GENERAL EMPLOYMENT | |
| LOT AREA: | 4.2022 HECTARES (42,221.78 m ²) | |
| BUILDING AREA: | 6,712 m ² | |
| GROSS FLOOR AREA: | | |
| EXISTING BUILDING: | | |
| GROUND FLOOR | 5703 m ² | |
| PLATFORM LEVEL 2 | 2080 m ² | |
| PLATFORM LEVEL 3 | 576 m ² | |
| SUB TOTAL GFA | 8459 m ² | |
| NEW ADDITION: | | |
| GROUND FLOOR | 407 m ² | |
| SECOND FLOOR | 274 m ² | |
| THIRD FLOOR | 274 m ² | |
| SUB TOTAL GFA | 956 m ² | |
| TOTAL GROSS FLOOR AREA: | 9414 m ² | |
| CAR PARKING CALCULATION (5.4 OF ZONING BY LAW #6000-17): | | |
| GFA OF 5,601 M ² OR GREATER | 1.2 SPACES FOR 100 M ² OF GFA | |
| REQUIRED: | PROVIDED: | |
| EXISTING: | 95 | 104 |
| PARKING LOT EXTENSION: | 0 | 52 |
| TOTAL: | 95 | 156 |
| BARRIER FREE CAR PARKING CALCULATION (5.4 OF ZONING BY LAW #6000-17): | | |
| 1:1.200 | 1 PLUS 3% OF THE TOTAL NUMBER OF PARKING SPACES PROVIDED IN PARKING AREA | |
| BARRIER FREE PARKING | 4 | 4 |
| BICYCLE PARKING CALCULATION (5.7 OF ZONING BY LAW #6000-17): | | |
| 2.0 SPACES | PLUS 0.25 SPACES FOR EVERY 1000 M ² OF GFA | |
| REQUIRED: | PROVIDED: | |
| REAR YARD HEIGHT (MAXIMUM): | 30 m | 42 m |
| LOT COVERAGE (MAXIMUM): | N/A | 16.8% |

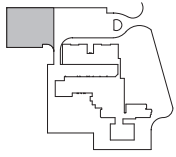
LEGAL DESCRIPTION

PART OF LOT 101, REGISTERED PLAN 246,
ADDRESS: 110 INDUSTRIAL PARKWAY NORTH L4G 4C3, AURORA, ONTARIO

| ITEM | Ontario's 2012 Building Code Data Mark Part 3 OR 9 | IBC Reference |
|------|---|---|
| 1 | Project Description: 110 INDUSTRIAL PARKWAY NORTH AURORA, ONT. CA <input type="checkbox"/> NEW <input checked="" type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION <input type="checkbox"/> CHANGE OF USE | <input checked="" type="checkbox"/> PART 3 1.1.2 |
| 2 | Major Occupancy(s): GROUP F, DIVISION 2 | 1.4.1.2 |
| 3 | Building Area: EXISTING (5,703 m ²) + NEW ADDITION (407 m ²) = 6110 m ² | 1.4.1.2 |
| 4 | EXIST. GROSS FLOOR AREA: GROUND FLOOR = 5703 m ² PLATFORM LEVEL 2 = 2080 m ² PLATFORM LEVEL 3 = 576 m ² TOTAL = 8459 m ² AREA OF NEW ADDITION: GROUND FLOOR = 407 m ² SECOND FLOOR = 274 m ² THIRD FLOOR = 274 m ² TOTAL = 955 m ² TOTAL G.F.A. = 9414 m ² | 1.4.1.2 |
| 5 | Number of Storey (Existing): Above grade ONE Below grade 0 Number of Storey (New Addition): Above grade TWO Below grade 0 | 1.4.1.2 and 3.2.1.1 |
| 6 | Number of Streets/Fire Fighter Access: THREE | 3.2.2.10 and 3.2.5 |
| 7 | Building Classification: 3.2.2.67 GROUP F2, ANY HEIGHT, ANY AREA, SPRINKLERED | 3.2.57 |
| 8 | Sprinkler System Proposed: <input checked="" type="checkbox"/> Entire Building <input type="checkbox"/> Selected compartments <input type="checkbox"/> Selected floor areas <input type="checkbox"/> Basement <input type="checkbox"/> In lieu of roof rating <input type="checkbox"/> Not required | 3.2.2.70 |
| 9 | Standpipe Required: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO | 3.2.9 |
| 10 | Fire Alarm Required: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO | 3.2.4 |
| 11 | Water Service/Supply is Adequate: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO | 3.2.5.7 |
| 12 | High Building: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO | 3.2.6 |
| 13 | Construction Restrictions: <input type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-combustible required <input type="checkbox"/> Both Actual Construction: <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input type="checkbox"/> Both | 3.2.2.70 |
| 14 | Mezzanine(s) Area m ² : N/A | 3.2.1.1, (3-8) |
| 15 | Occupant load based on: <input type="checkbox"/> Dispersion <input checked="" type="checkbox"/> Design of Building 1st Floor: Occupancy: INDUSTRIAL Load: 10 Persons | 3.1.1.17 |
| 16 | Barrier-free Design: <input checked="" type="checkbox"/> YES (GROUND FLOOR ONLY) <input type="checkbox"/> NO | 3.6 |
| 17 | Hazardous Substances: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO | 3.3.1.2 and 3.3.1.10 |
| 18 | Required Fire Resistance Rating (FRR): Horizontal Assemblies: FRR (Hours): Existing Platform: N/A Existing Roof: N/A Mezzanine: N/A New Floors: 2 HRS FRR of New Supporting Members: 2 HRS New Roof: N/A | 3.2.2.67 and 3.2.1.4 |
| 19 | Spatial Separation: WALL: Area of EBF (m ²), L.D. (m), L/H or H/L, Permitted Max. % of Opening, Proposed % of FRR, Listed Design No. or Description, Comb. Corb., Comb. Corb. Cleaving, Non-Comb. Corb. | |
| 20 | Plumbing Fixture Requirements: Male/Female Count(s) 50%/50% except as noted otherwise: North: EXIST. >15M N/A N/A N/A N/A East: EXIST. >15M N/A N/A N/A N/A South: EXIST. >15M N/A N/A N/A N/A West: EXIST. >15M N/A N/A N/A N/A | 3.7.4 |

NOTES

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KEYPLAN

1:1000 0' 10' 20' 30' 40' 50' 60' 70' 80' 90' 100'

LEGEND

PH DENOTES PROPERTY IDENTIFICATION NUMBER
BS DENOTES SHOP BUILD ELEVATION
GS DENOTES GARAGE SLAB ELEVATION
JP DENOTES JUMP
ISM DENOTES SITE BENCHMARK
SW DENOTES SW MOUND
DENOTES OVERPASS WING
CS DENOTES CATCH BASIN
CON DENOTES CONCRETE
WH DENOTES MAIN HOLE
WV DENOTES WATER WELL
RS DENOTES ROAD SIGN
RD DENOTES FIRE HYDRANT
HW DENOTES HAND WELL
CP DENOTES CABLE POST/STAKE
DENOTES BENCH MARK
LS DENOTES LIGHT STANDARD
COND DENOTES CONDUIT

Professional Seal



Client: **SNC-LAVALIN**
100 King Street West, Toronto, Ontario, M5X 1C1, Canada

Client: **wba**
architects and engineers inc.

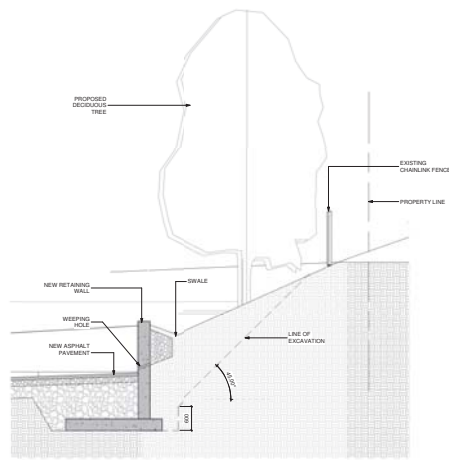
Client: **Piramal**
PIRAMAL HEALTHCARE CANADA LTD.
110 INDUSTRIAL PARKWAY NORTH L4G 4C3, AURORA, ONT. CA

Project Name: **RISE - REACTOR INTEGRATED SUITE EXPANSION**

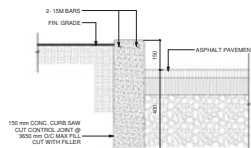
Drawing Title: **SITE PLAN**

| Rev | Date | By | Check | Scale |
|-------------|------------|------------|------------|------------|
| Rev 2019 | 1.1 | 1.1 | 1.1 | 1.1 |
| Drawn by | 11/05/2019 | 11/05/2019 | 11/05/2019 | 11/05/2019 |
| Checked by | 11/05/2019 | 11/05/2019 | 11/05/2019 | 11/05/2019 |
| Project No. | 2190502 | 2190502 | 2190502 | 2190502 |

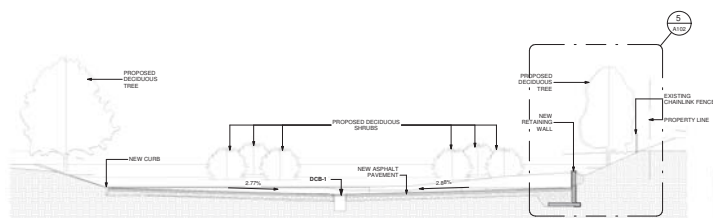
A101



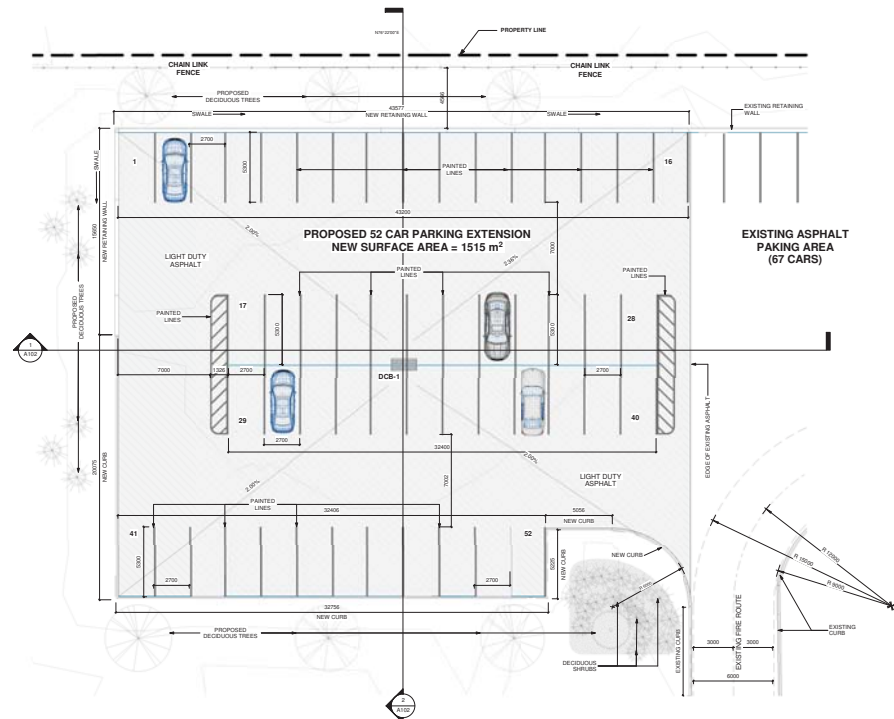
1 ENLARGED NORTHERN SECTION
1:50



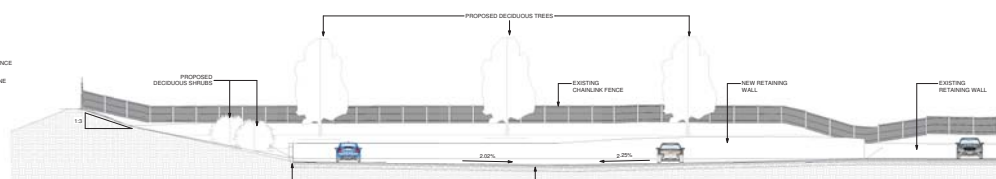
2 TYP'L CURB DETAIL
1:10



3 NORTH - SOUTH SECTION
1:100



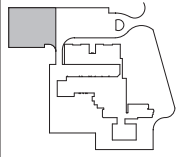
4 ENLARGED PARKING LOT EXTENSION
1:100



5 EAST - WEST SECTION
1:100

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KEYPLAN
1:1000

Professional Seal

Professional Seal

1:100

Consultant

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