

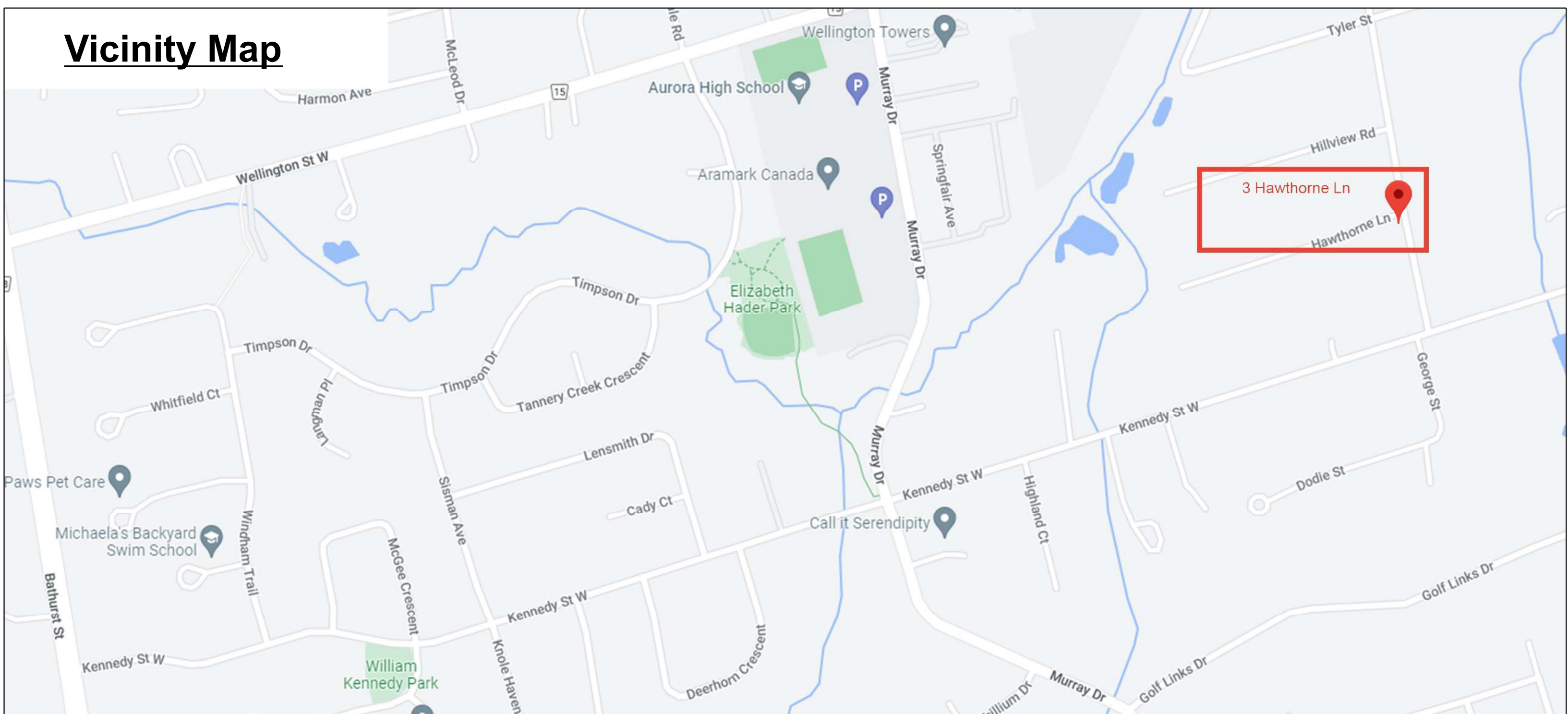
Abbreviations

AB	Anchor Bolt
ABV	Above
A/C	Air Conditioner
AD	Area Drain
ADJ	Adjacent
AFF	Above Finished Floor
AG	Average Grade
ALUM	Aluminum
A/V	Audio/Visual
BALC	Balcony
BEW	Bottom Bars Each Way
BF	Basement Floor
B/I	Built-In
BLDG	Building
BLK	Block
BLW	Below
BM	Beam
BPL	Bearing Plate
BRG	Bearing
BRK	Brick
BSMT	Basement
BS	Both Sides
BW	Both Ways
CAB	Cabinet
CANT	Cantilever
CI	Continuous Insulation
CL	Center Line
CLG	Ceiling
CLR	Clear
CMU	Concrete Masonry Unit
CO	Carbon Monoxide Detector
COL	Column
CONC	Concrete
CONT	Continuous
COV'D	Covered
CT	Ceramic Tile
C/W	Complete With
DIA	Diameter
DIM	Dimension
DN	Down
DRN	Drain
DWG	Drawings
DVG FP	Direct Vent Gas Fireplace
EG	Established Grade
EL	Elevation
EQ	Equal
EXIST	Existing
EXT	Exterior
FD	Floor Drain
FDN	Foundation
FF	Finished Floor
FG	Fixed Glass
FIN	Finish
FLR	Floor
FTG	Footing
GT	Girder Truss
GYP	Gypsum
HGT	Height
HL	Heel
HORZ	Horizontal
INSUL	Insulation
INT	Interior
LAU	Laundry
MAX	Maximum
MECH	Mechanical
MIN	Minimum
N.T.S.	Not To Scale
OC	On Center
O.H.	Overhang
PA	Post Above
PTD	Painted
REFER	Reference
REINF	Reinforcing/Reinforced
RO	Rough Opening
S.A.	Smoke Alarm
SCHED	Schedule
SS	Stainless Steel
STL	Steel
STOR	Storage
SUSP	Suspended
SW	Swale
TFW	Top of Foundation Wall
TW	Top of Wall
TYP	Typical
UF	Underside of Footing
UNO	Unless Noted Otherwise
U/S	Under Side
VB	Vapor Barrier
VERT	Vertical
WC	Water Closet
WD	Wood
WIC	Walk In Closet
WP	Wall Plate
1R	(1) Riser

TOWN OF AURORA  
PLANNING AND DEVELOPMENT SERVICES  
Development Planning Division  
DATE: Jun. 3, 2022  
RECEIVED



The Boyd Home



Drawing Index

- SP - Site Plan
- AB1 - As-Built Plans
- AB2 - As Built Elevations
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- A3 - Second Floor Plan
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- A5 - Front & Right-Side Elevations
- A6 - Rear & Left-Side Elevations
- A7 - General Notes & Section A-A
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- S1 - Structural Notes & Details

TOWN OF AURORA  
PLANNING & DEVELOPMENT SERVICES  
BUILDING DIVISION  
PERMIT NO.: PR20220456 DATE: Apr. 6, 2022  
APPROVED BY: Ashley Vandervord  
PRELIMINARY ZONING REVIEW

3 Hawthorne Lane  
Aurora, Ontario

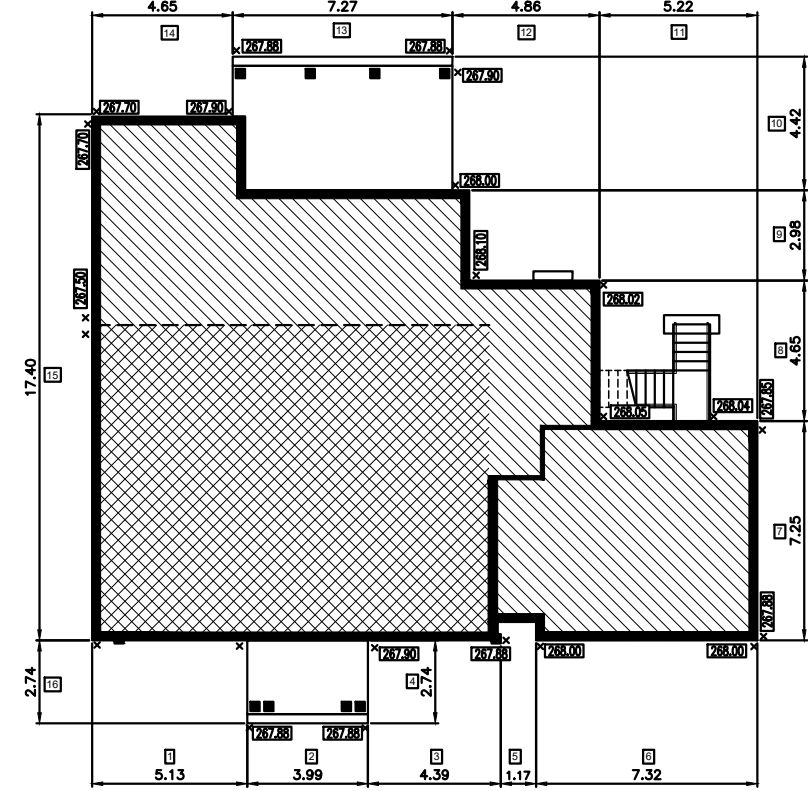
Project No. 1857

Revision Record		
No.	Date	Revision / Comment
1	Mar 21/22	Issued to Owner for Zoning Approvals

David  
Small  
Designs



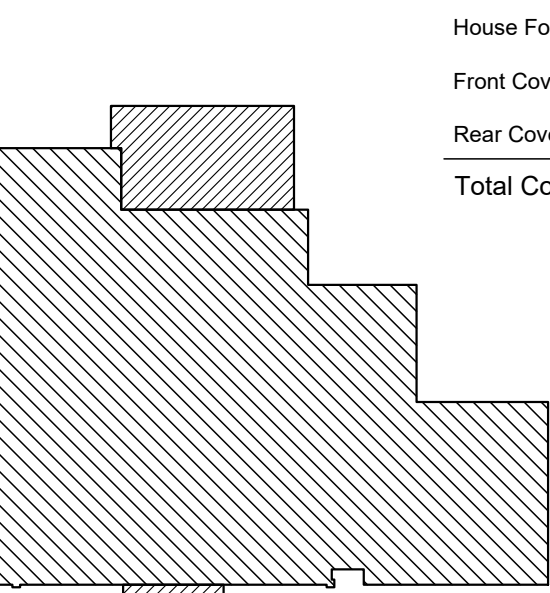
Average Grade Diagram 1:250



Wall No.	Wall Average Grade	Wall Length (m)	Product
1	267.79	5.13	1,373.76
2	267.88	3.99	1,068.84
3	267.89	4.39	1,176.04
4	267.89	2.74	734.02
5	267.94	1.17	313.49
6	268.00	7.32	1,961.76
7	267.86	7.25	1,941.99
8	267.94	4.65	1,245.92
9	268.05	2.98	798.79
10	267.95	4.42	1,184.34
11	268.05	5.22	1,399.22
12	268.06	4.86	1,302.77
13	267.88	7.27	1,947.49
14	267.80	4.65	1,245.27
15	267.60	17.40	4,656.24
16	267.79	2.74	733.74
<b>Total</b>		<b>4,286.37</b>	<b>23,063.66</b>

Average Grade = Total Product Divided By Total Wall Length = 267.85

Lot Coverage Diagram 1:300



Lot Coverage	House Footprint
House Footprint	286.35 sm
Front Covered Porch	9.72 sm
Rear Covered Porch	28.90 sm
<b>Total Coverage</b>	<b>324.97 sm</b>
	<b>24.80 %</b>

Legend	Base Information:
3R Main Level Entrance/Exit 3R Lower Level Entrance/Exit --- Property Line --- Existing To Be Removed 102.05 Existing Spot Elevation 102.05 Proposed Spot Elevation Rainwater Downspouts AC Air Conditioner Solid Hoarding Framed Hoarding ESC Or Site Fence Hoarding AD Area Drain 0.300C Denotes Coniferous Tree (with trunk diameter) To Remain 0.300D Denotes Deciduous Tree (with trunk diameter) To Remain 0.300C Denotes Tree (with trunk diameter) To Be Removed R# Denotes Replacement Tree Native Species Min 60mm Caliper For Deciduous And 1.5m Height For Coniferous (SPECIES) Refers To Type of Replacement Tree As Per Arborist Report (R#) Refers To Replacement Tree Number Corresponding w/ Arborist Report # Denotes Tree Number Corresponding w/ Arborist Report	<p>Base Information Taken From Plan Of Survey BY Young &amp; Young Surveying Dated: November 12, 2020</p> <p>Location Plan of Park Lot 3 Registered Plan 38 Town of Aurora Regional Municipality of York</p> <p>City Benchmark Elevations Are Referred To The Town of Aurora Benchmark No. 3055, Having An Elevation of 269.25 Meters</p> <p>*TFW (Top Of Foundation Wall) Floor Still Plate On Inside Face Of Foundation. See Reduced Thickened Foundation Wall Detail &amp; Reverse Veneer Detail For Foundation Wall Ledger Condition On Outside Face Of Foundation Walls. - Extent Of Each Type To Be Determined By Contractor On Site During Construction</p> <p>**U/F (Under Side Of Footing) - U/F Denotes Minimum Depth Of Under Side Of Footing - Under Side Of Footing May Differ Depending On Basement Conditions. See Floor Plans And Elevations For Specific Under Side Of Footing Conditions - Footings To Be Min 1.2m Below Grade</p>

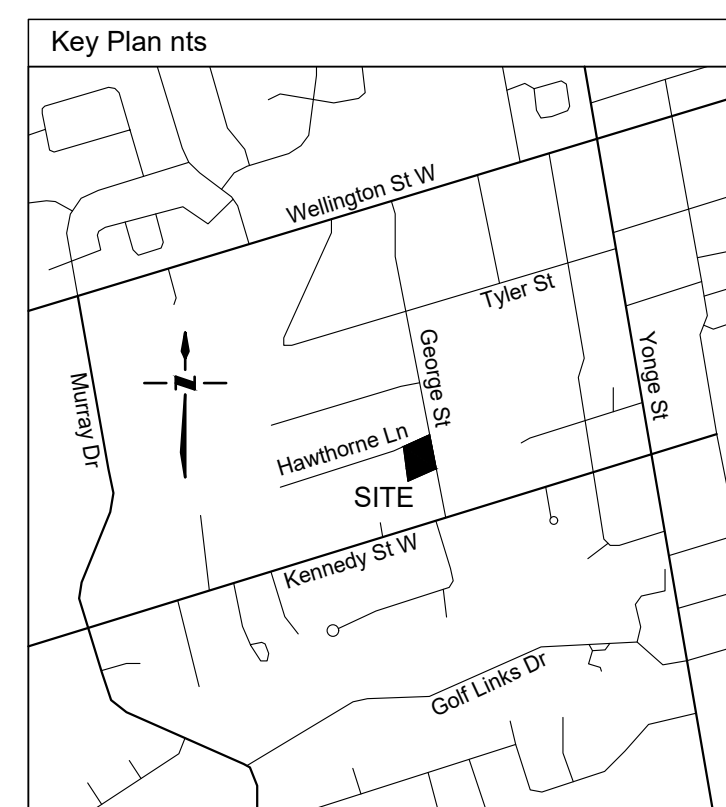
- General Notes:
1. Do Not Scale Drawings
  2. These Plans Are To Remain The Property Of The Designer And Must Be Returned Upon Request. These Plans Must Not Be Used In Any Other Location Without The Written Approval Of The Designer.
  3. All Works To Be In Accordance With The Ontario Building Code And All Code References Refer To O.B.C. 2012 Division 'B'

Site Data					
Lot Area	1,310.25 sm		(0.131 ha)		
Zoning			R2(2)		
Average Grade			267.85		
	Existing	Removed	Proposed		
Floor Area	153.39 sm	165.11 sf	0.95 sm	10.2 sf	74.93 sm 806.6 sf
(Includes 44.2 sf of Stairs, Excludes 10.3 sf of Office)					
Second Floor	140.35 sm	1510.8 sf	1.20 sm	12.9 sf	68.96 sm 742.3 sf
(Excludes 15.6 sf of Stairs & 22.7 sf of Office)					
Total Area	293.74 sm	3161.9 sf	2.15 sm	23.1 sf	143.89 sm 1548.9 sf
Garage	53.93 sm	580.5 sf	0.77 sm	8.3 sf	4.78 sm 51.4 sf
(Measured to Exterior Face of Garage Walls)					
Less Parking	28.62 sm	308.1 sf	0.00 sm	0.0 sf	0.00 sm 0.0 sf
(Parking Space @ 2.7m x 6.3m = 14.1 sqm)					
Total Gross Floor Area	319.05 sm	3434.3 sf	2.92 sm	31.4 sf	148.67 sm 1600.3 sf
Interior Alterations					
Garage Interior					
(Measured to Interior Face of Garage Walls)					
Finished Basement					
(Measured to Inside Face of Finished Basement Walls)					
Lot Coverage					
House Footprint					
(Including Garage)					
Front Covered Porch					
Rear Covered Porch					
Total Proposed Coverage					
Max Allowed Coverage					

PARK LOT 2  
PARK LOT 3

GEORGE STREET  
(By Registered Plan 38)

HAWTHORNE LANE  
(By Registered Plan 597)



TOWN OF AURORA  
PLANNING AND DEVELOPMENT SERVICES  
Development Planning Division  
DATE: Jun. 3, 2022  
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The Undersigned Has Reviewed And Takes Responsibility For This Design, And Has The Qualifications And Meets The Requirements Set Out In The Ontario Building Code To Be A Designer.  
Qualification Information Required Unless The Design Is Exempt Under Division C-3.2.5.1. Of The 2012 ONTARIO Building Code.  
Name: Peter Giordano  
Signature: [Signature]  
Registration Information Required Unless The Design Is Exempt Under Division C-3.2.4.1. Of The 2012 ONTARIO Building Code.  
Firm Name: SMALL DESIGNS INC.  
Firm No.: 29990

no.	date	revision / comment
1	Mar 21/22	Issued To Owner For Zoning Approvals

Project:

The Boyd Home  
3 Hawthorne Lane  
Part Of Park Lot 3  
Registered Plan 38  
Town of Aurora,  
Regional Municipality of York

Drawing:  
**Site & Grading Plan**

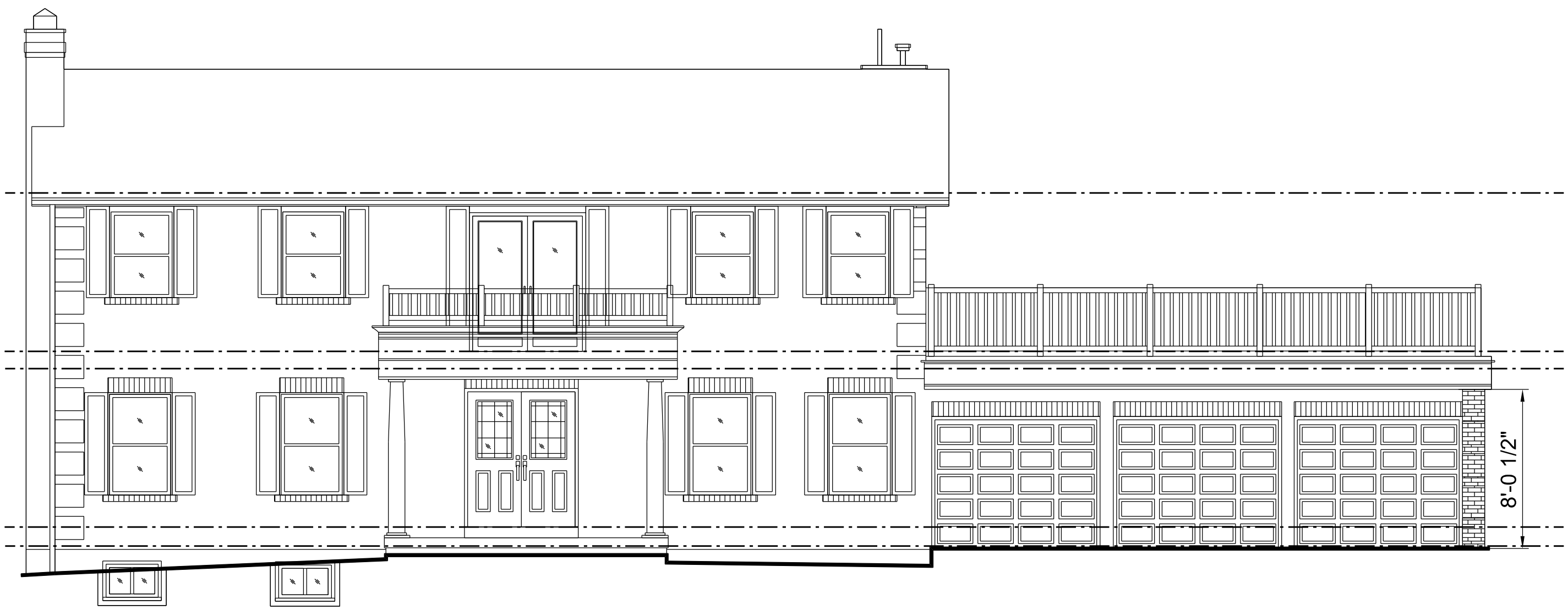
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Date: Mar 2022  
Dwn by: MM  
Proj. no.: 20-1857

**SP**

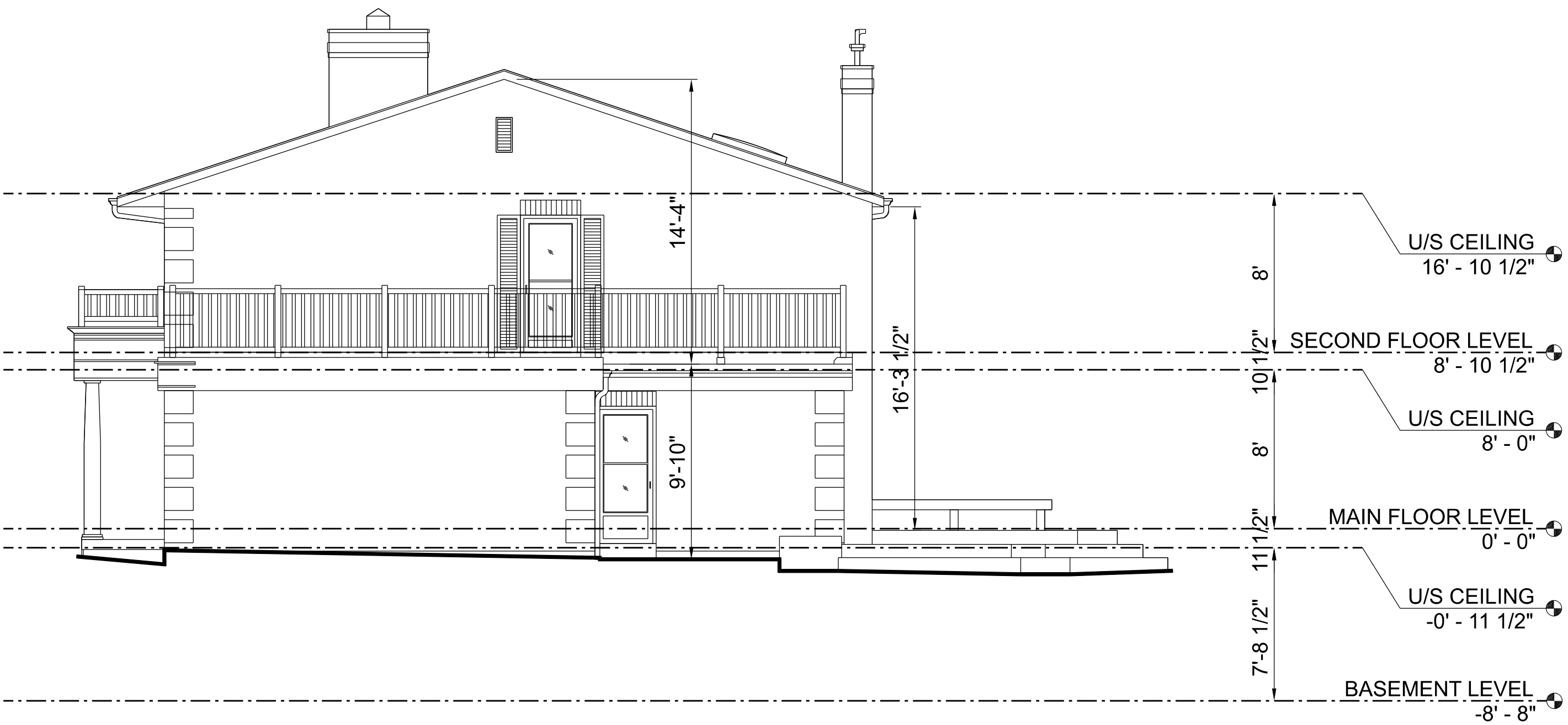
TOWN OF AURORA  
PLANNING AND DEVELOPMENT SERVICES  
BUILDING DIVISION  
PERMIT NO.: PR20220456 DATE: Apr. 6, 2022  
APPROVED BY: [Signature]  
PRELIMINARY ZONING REVIEW

David  
Small  
Designs

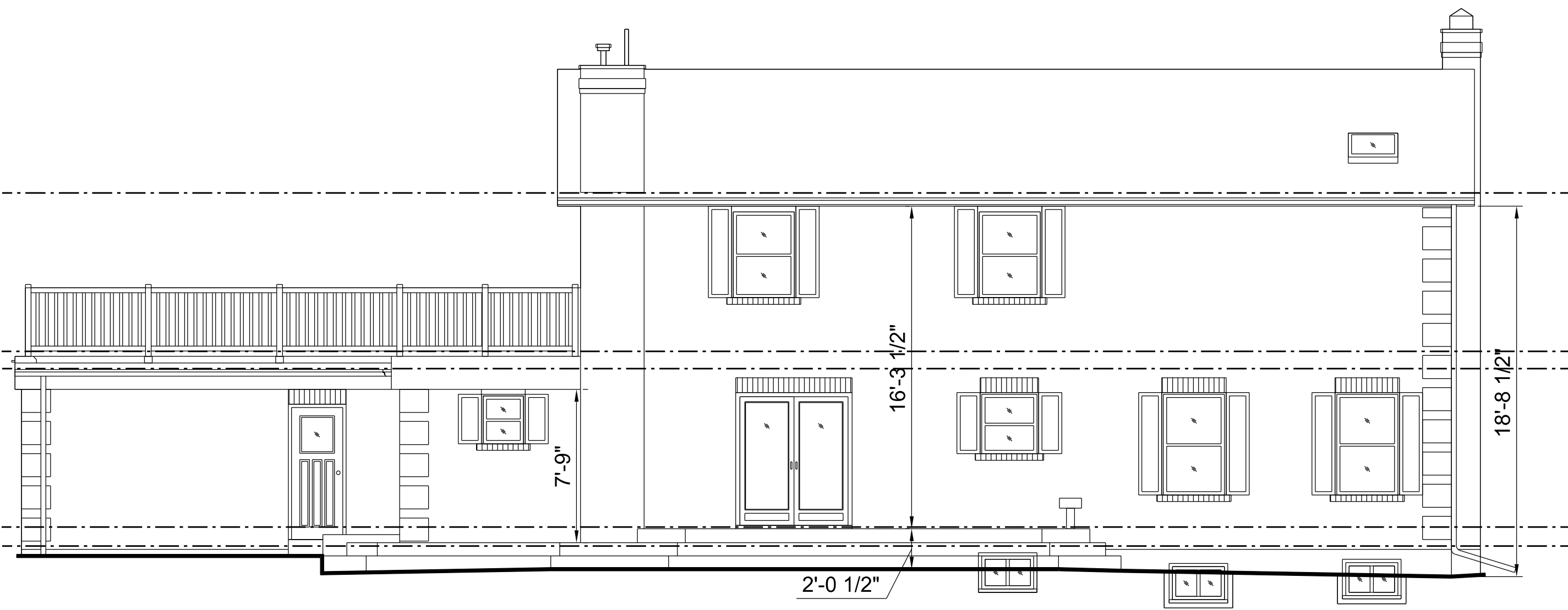




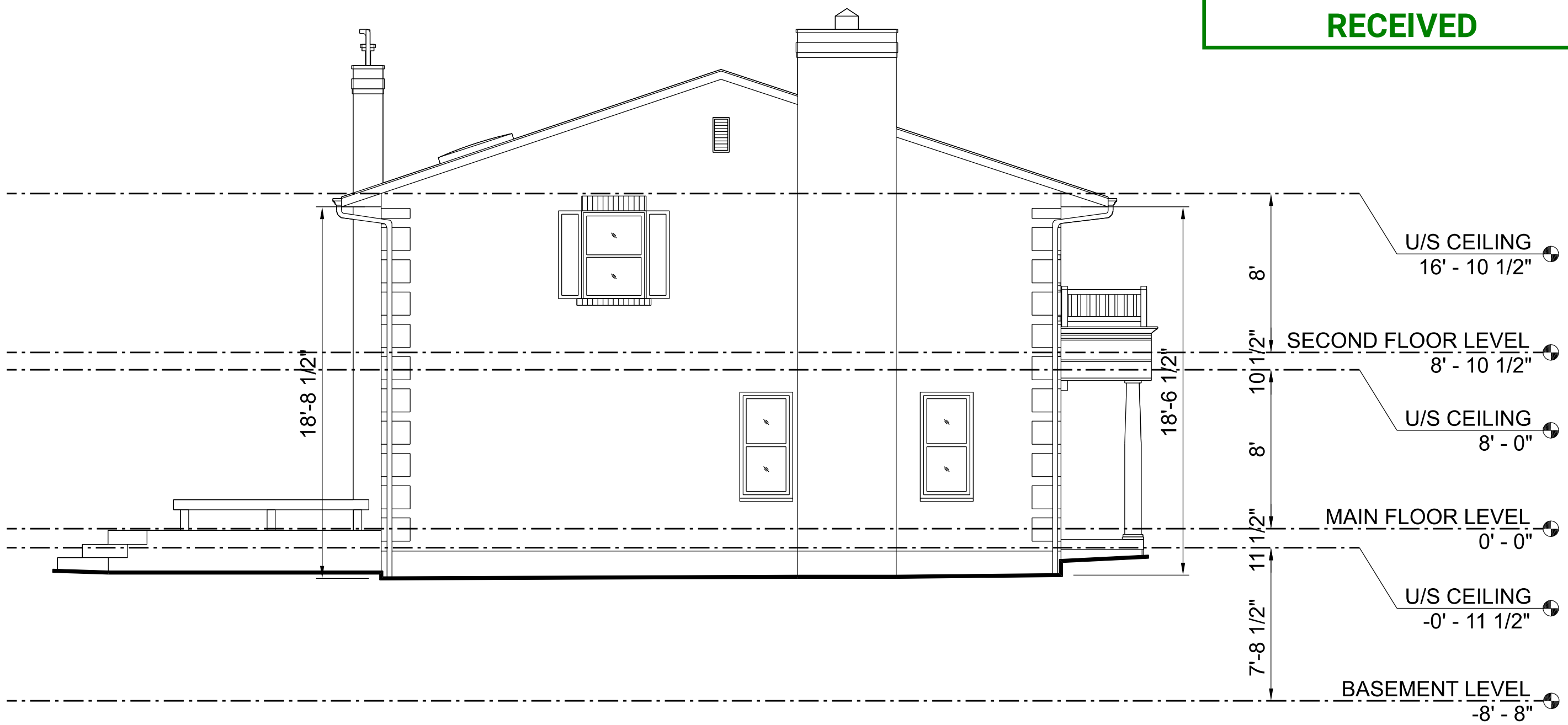
Existing Front Elevation



Existing Right Elevation



Existing Rear Elevation



Existing Left Elevation

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Project: **The Boyd Home**  
**3 Hawthorne Lane**  
Part of Lot 3  
Registered Plan 38  
Town of Aurora,  
Regional Municipality of York

Drawing:

As Built Elevations

Scale: 1/4"=1'-0"  
Date: Mar. 2022  
Dwn by:  
Proj. no.: 20-1857

AB2

NOTE:  
BASE INFORMATION  
PROVIDED BY PLANIT.  
DIMENSIONS SUBJECT  
TO SITE VERIFICATION  
BY BUILDER PRIOR TO  
CONSTRUCTION



NOTE:  
BASE INFORMATION PROVIDED BY  
PLANIT. DIMENSIONS SUBJECT TO SITE  
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CONSTRUCTION

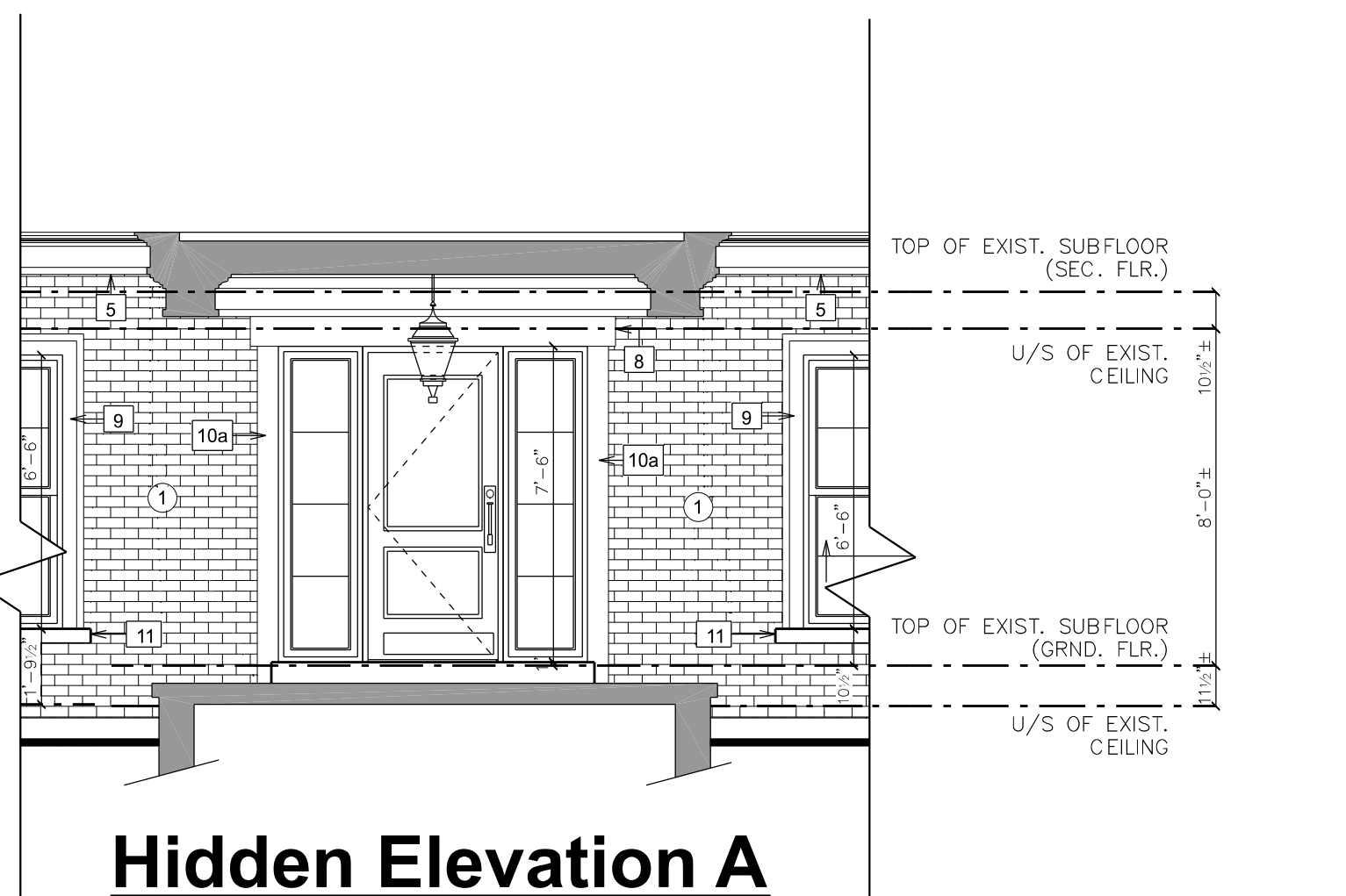
#### Elevation Notes

- 1 Prefinished 'natural' wood siding to comply with ONT. Reg. 332/12 subsection 9.27.6. Lumber-siding and table 9.27.5.4.
- 2 Blocking or furring for the attachment of siding to comply with 9.27.5.2 and 9.27.5.3. and as per manufacturer's specifications
- 3 All stucco to be 'DuROCK' EIFS P.U.C.C.S. exterior insulation and finish system CCMC 12969R approved - install as per OBC 9.28. and manufacturer's specifications - note use 'Polar Bear' by DuROCK for air/moisture barrier below stucco in place of Tyvek or equivalent product specified for all walls not clad in stucco
- 4 Note: All over-hangs are 4" inset from stone facing on ground floors (typical)
- 5 Note: Refer to roof plan for all roof slopes and overhang info
- 6 Stepped footing per OBC 9.15.3.9.
- 7 Glazing to be tempered glass (if operable window provide opening restrictor) - Comply with OBC 9.8.8.1 (5) and (6)
- 8 12" dia. Poured concrete Sono tubes min. 48" below finished grade or to undisturbed soil (Typ.)
- 9 New foundations to connect with existing at same level, plus extend 2-15M rebars into existing footing set with Epoxy and extending 12" into new footing

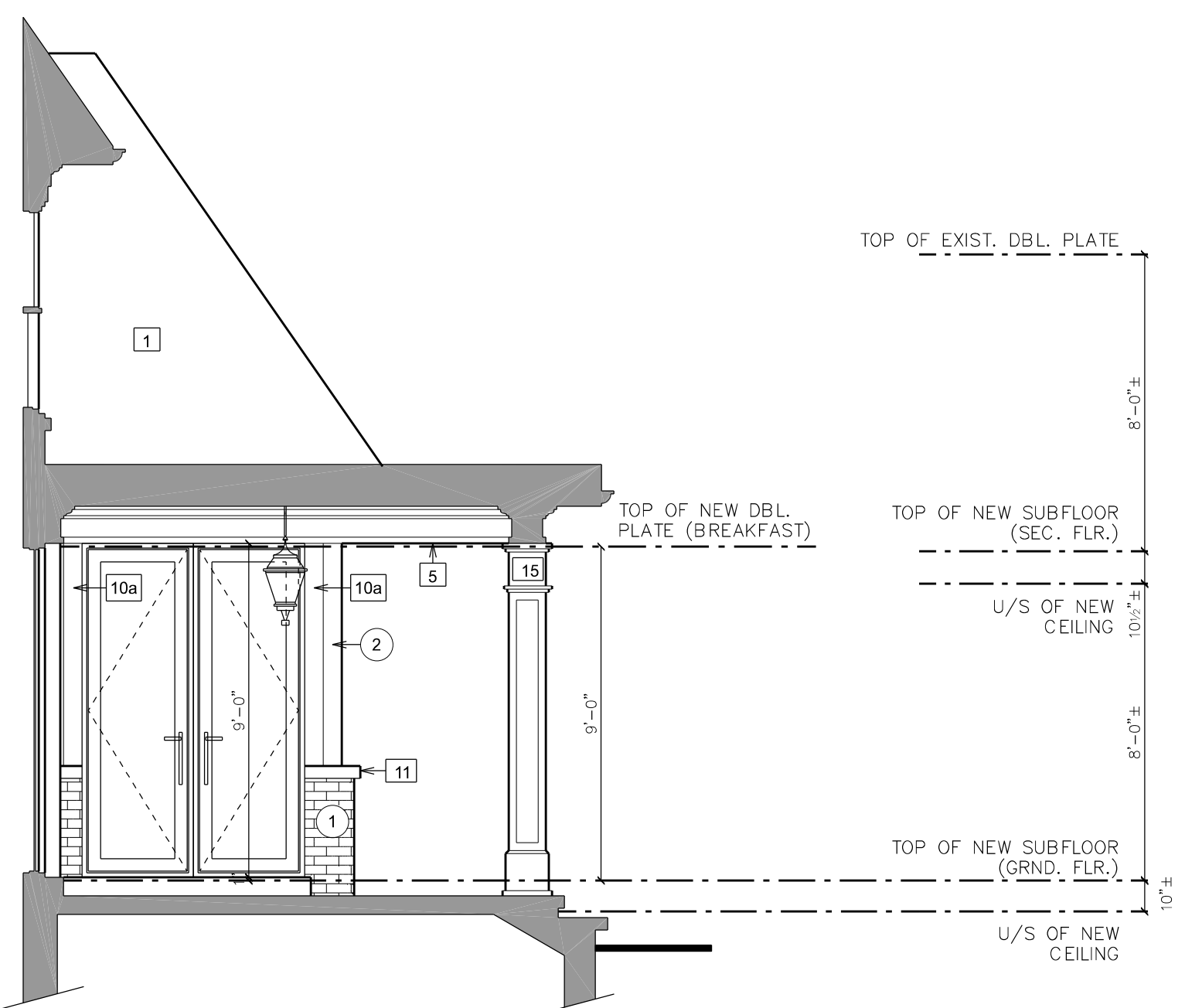
#### Unprotected Openings Calculations

Limiting Distance	1.53m
Wall Area	1149.8 sf (106.8 sm)
Opening Area Allowed	81.2 sf (7.1 %)
Opening Area Existing	0.0 sf (0.0 %)
Opening Area Proposed	35.1 sf (3.1 %)
Total Opening Area	35.1 sf (3.1 %)

Please Note The Figure For % Openings Allowed Has Been Interpolated Based On O.B.C. Table 9.10.15.4 And Glazed Areas Were Used To Calculate Proposed Openings As Allowed By 9.10.15.4.



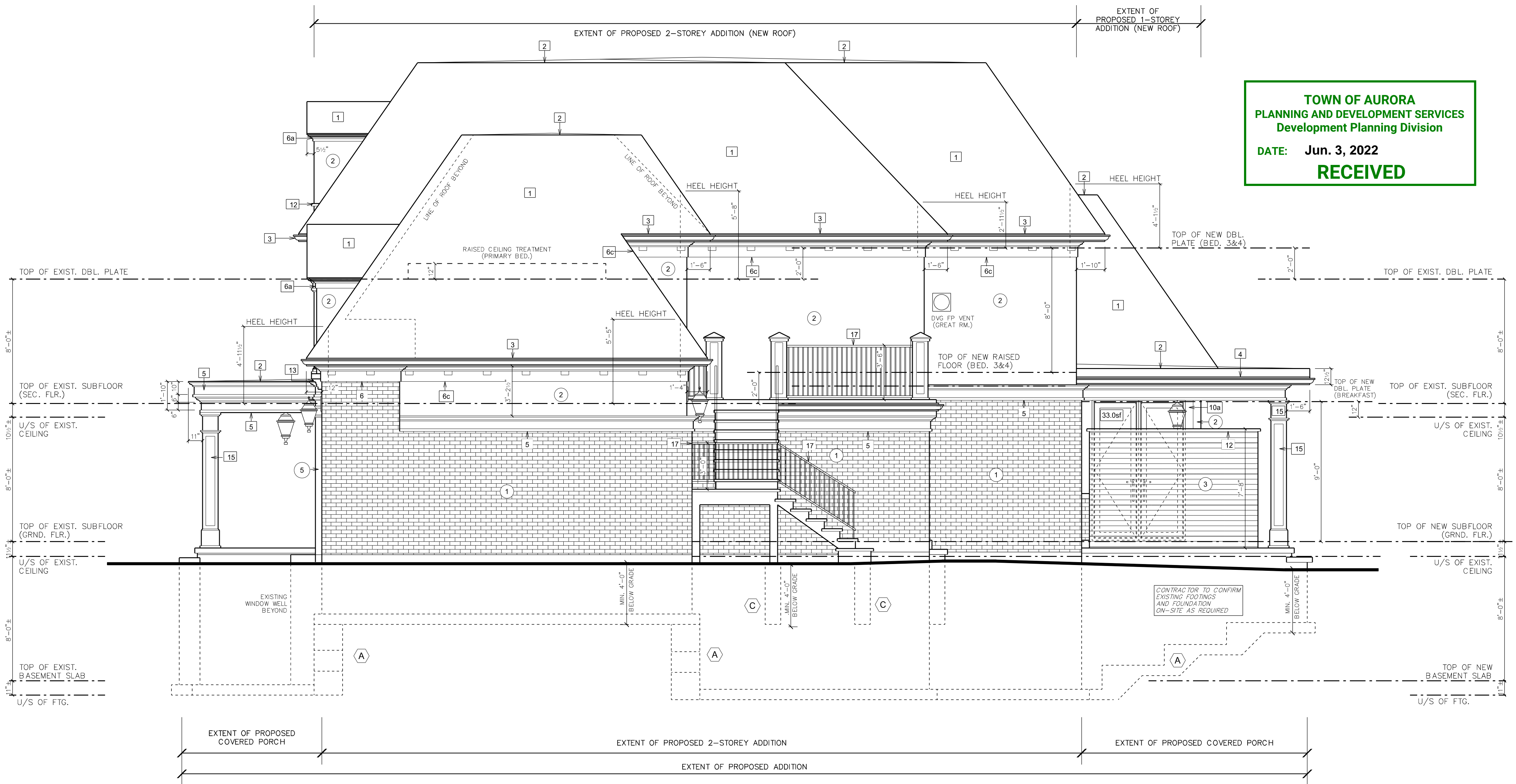
Hidden Elevation A



Hidden Elevation B



Front Elevation



Right-Side Elevation

#### Drawing Legend

##### 1.0 Materials

- 1 New Brick Veneer
- 2 New Pigmented Epoxy Stucco
- 3 New 4" Prefinished Horizontal Wood Siding
- 4 New Prefinished Aluminum Panel
- 5 Smooth Cut Stone

##### 2.0 Roofing

- 1 New 40 Year Asphalt Shingles
- 2 New 2-Ply Torched On Rubber Membrane Roof Sloped To 2% To Outside Edge On 1/2" Plywood Roof Sheathing On Roof Trusses/Joists

##### 3.0 Trim, Cornice,

##### Moulding, &

##### Gutter Notes

- 3 New Prefinished Aluminum Gutter on 6" Prefinished Aluminum Fascia
- 4 New 12" Wide Prefinished Aluminum Fascia c/w Starter Strip & Drip Edge 1"x12" Base Fascia Board 1"x6" Flat Stock 6" Prefinished Aluminum Gutter
- 5 New 4" Crown Mould Cut Stone Trim on Flat w/ 2" High x 6" Wide and 1" Projection (Total 12" High)
- 6 New 4" Crown Mould Cut Stone Trim on Flat w/ 3" High x 6" Wide and 1" Projection (Total 12" High)
- 6a New 4" Crown Mould Stucco Trim on Flat (Total 8" High)
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- 7 New 4" Crown Mould Stucco Trim
- 8 New 10" Cut Stone Lintel
- 9 New 6" Cut Stone Surround w/ 2" Edge Reveal
- 9a New 6" Stucco Surround w/ 2" Edge Reveal
- 10 New 8" Stucco Trim
- 10a New 6" Stucco Trim
- 10b New 2" Stucco Trim
- 11 New 4" Cut Stone Sill Projected 2"
- 12 New 2" Stucco Sill Projected 2"
- 13 New Cut Stone Decorative Brackets
- 15 New 12"x12" Cut Stone Post As Shown
- 16 New 3"x3" Crezon Clad Site-Painted Wood Post
- 17 New Site Painted wood Handrail and posts as shown - Min 42" Above Finished Deck surface. Add 1"x1" Metal Mesh Panel in front of all intermediate gaurd banding to Avoid climbing and as per OBC 9.8.7. & 9.8.8.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. Qualification information required unless the design is exempt under Division C - 3.2.5.1 of the 2012 Ontario Building Code.

Peter Giordano  
Name  
29991 BCIN  
Registration information required unless the design is exempt under Division C - 3.2.4.1 of the 2012 Ontario Building Code.  
David W. Small Designs Inc.  
Firm Name  
29999 BCIN

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The Boyd Home  
3 Hawthorne Lane

Part of Lot 3  
Registered Plan 38  
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Regional Municipality of York

Drawing:

Front & Rightside  
Elevations

Scale: 1/4"=1'-0"  
Date: Mar 2022  
Dwn by: CJ  
Proj. no.: 20-1857

A5

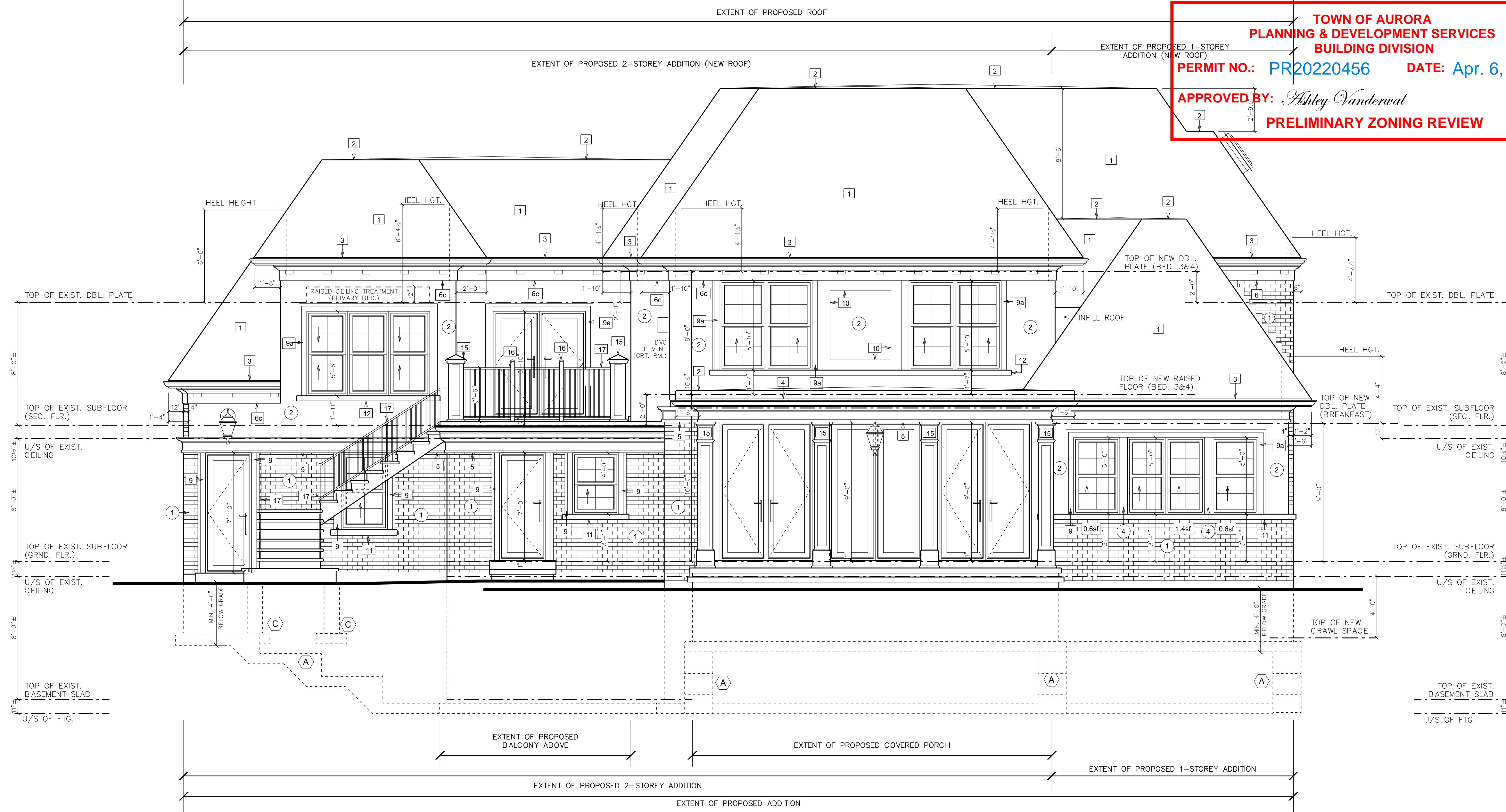
David  
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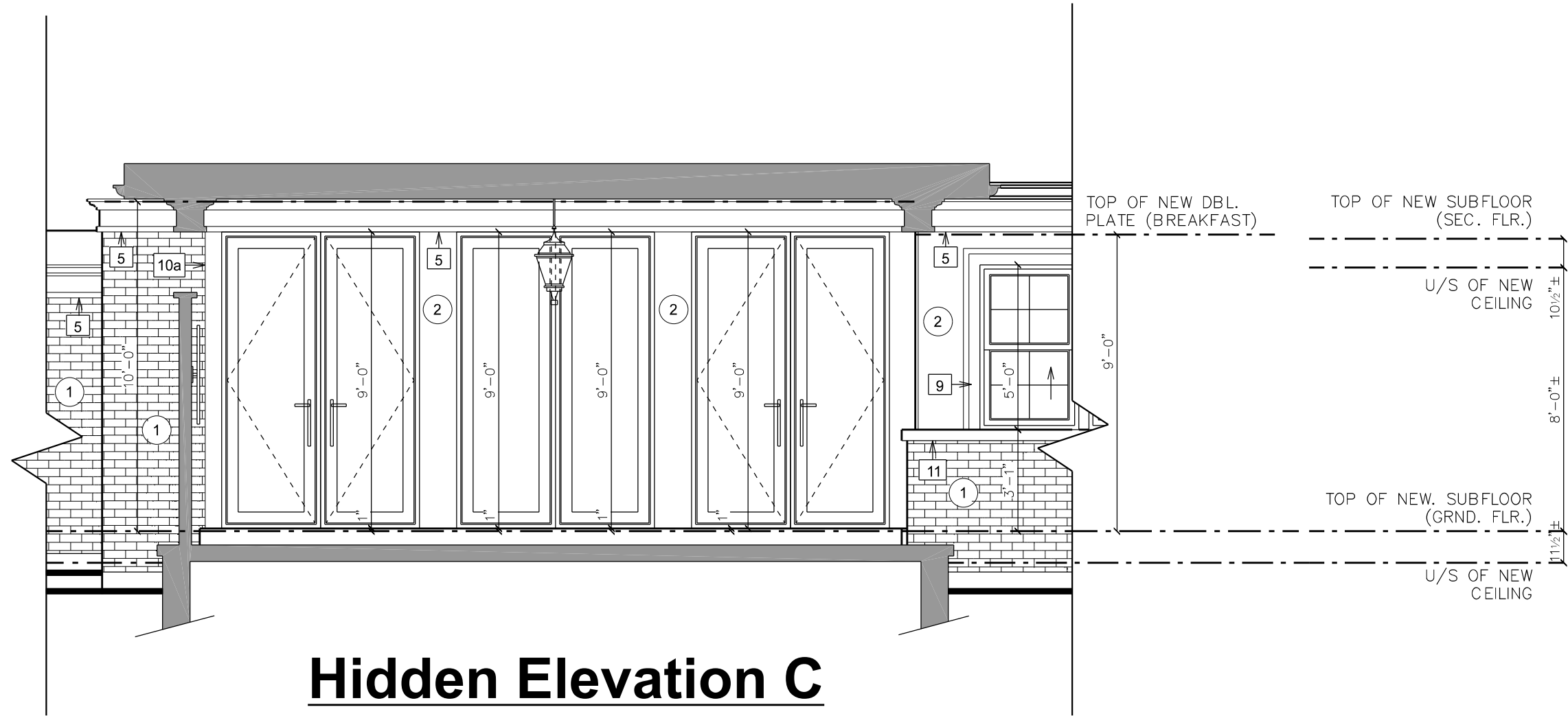
NOTE:  
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Elevation Notes

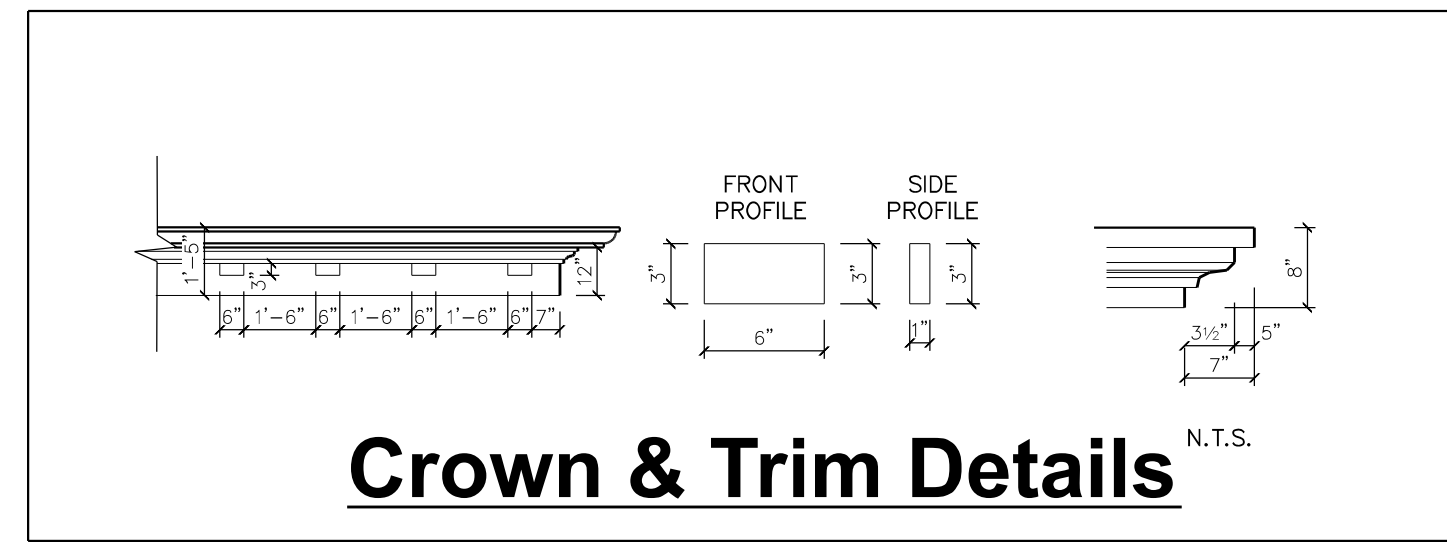
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Rear Elevation



Hidden Elevation C



Crown & Trim Details

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Left-Side Elevation

TOWN OF AURORA  
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BUILDING DIVISION  
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APPROVED BY: Ashley Vanderwal  
PRELIMINARY ZONING REVIEW

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Peter Giordano  
Name  
Signature  
25961 BCN

Registration information required unless the design is exempt under Division C - 3.2.4.1. of the 2012 Ontario Building Code.

David W. Small Designs Inc.  
Firm Name  
29990 BCN

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Rear & Left-Side Elevations

Scale: 1/4" = 1'-0"  
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A6

David  
Small  
Designs